



NOTICE OF MEETING

CITY OF PACIFIC GROVE

PLANNING COMMISSION

REGULAR MEETING AGENDA

Thursday, May 14, 2020, 6:00 P.M.

Council Chamber – City Hall – 300 Forest Avenue, Pacific Grove, CA

THIS MEETING WILL BE HELD VIRTUALLY AND IS COMPLIANT WITH THE GOVERNOR'S EXECUTIVE ORDERS N-25-20 AND N-29-30, ALLOWING FOR A DEVIATION OF THE TELECONFERENCE RULES REQUIRED BY THE BROWN ACT.

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AGENDA

CALL TO ORDER

1. **APPROVAL OF AGENDA**
2. **COMMISSION AND STAFF ANNOUNCEMENTS (City-Related Items Only)**
3. **COUNCIL LIAISON ANNOUNCEMENTS**
4. **GENERAL PUBLIC COMMENT**

General Public Comment must deal with matters subject to the jurisdiction of the City and the Planning Commission that are not on the Regular Agenda. This is the appropriate place to comment as to items on the Consent Agenda, only if you do not wish to have the item pulled for individual consideration by the Planning Commission. Comments from the public will be limited to three minutes and will not receive Planning Commission action. Comments regarding items on the Regular Agenda shall be heard prior to Planning Commission's consideration of such items at the time such items are called. Whenever possible, written correspondence should be submitted to the Planning Commission in advance of the meeting, to provide

adequate time for its consideration.

CONSENT AGENDA

The Consent Agenda deals with routine and non-controversial matters, and may include action on resolutions, ordinances, or other public hearings for which testimony is not anticipated. The vote on the Consent Agenda shall apply to each item that has not been removed. Any member of the Planning Commission, staff, or the public may remove an item from the Consent Agenda for individual consideration. When items are pulled for discussion, they will be automatically placed at the end of their respective section within the Regular Agenda. One motion shall be made to adopt all non-removed items on the Consent Agenda. Items pulled from this section will be placed under The Consent Agenda deals with routine and non-controversial matters, and may include action on resolutions, ordinances, or other public hearings for which testimony is not anticipated. The vote on the Consent Agenda shall apply to each item that has not been removed. Any member of the Planning Commission, staff, or the public may remove an item from the Consent Agenda for individual consideration. When items are pulled for discussion, they will be automatically placed at the end of their respective section within the Regular Agenda. One motion shall be made to adopt all non-removed items on the Consent Agenda. Items pulled from this section will be placed under 6. Regular Agenda

5. Adoption of the draft minutes of the Planning Commission's March 12, 2020, meeting.
Reference: Alyson Hunter, Senior Planner
Recommended Action: Adopt the March 12, 2020, meeting minutes as presented.
CEQA: Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

6. Receive Historic Resources Committee Meeting Minutes of February 26, 2020.
Reference: Alyson Hunter, Senior Planner
Recommended Action: Receive the draft minutes of the February 26, 2020, Historic Resources Committee meeting as information only.
CEQA: Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

7. Receive the draft minutes of the March 10, 2020, Architectural Review Board meeting as information only.
Reference: Alyson Hunter, Senior Planner
Recommended Action: Receive the draft minutes of the March 10, 2020, Architectural Review Board meeting as information only.
CEQA: Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

8. Annual Progress Reports on Housing Element and General Plan implementation. This item is informational only and no action is required.
Reference: Alyson Hunter, Senior Planner
Recommended Action: Receive the Annual Progress Reports for Housing Element Implementation and General Plan Implement as information only.
CEQA: Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

REGULAR AGENDA

9. **PUBLIC HEARINGS**

For public hearings involving a quasi-judicial determination by the Planning Commission, the proponent of an item may be given 10 minutes to speak and others in support of the proponent's position may be given three minutes each. A designated spokesperson for opposition to the item may be given 10 minutes to speak and all others in opposition may be given three minutes each. Very brief rebuttal and surrebuttal may be allowed in the sole discretion of the Planning Commission. In public hearings not involving a quasi-judicial determination by the Planning Commission, all persons may be given three minutes to speak on the matter. Public hearings on non-controversial matters or for which testimony is not anticipated may be placed on the Consent Agenda, but shall be removed if any person requests a staff presentation or wishes to be heard on the matter.

- A. Coastal Development Permit for Sewer Line Replacement in Portions of the Asilomar Blvd/Carmel Ave. Rights-of-Way

Description: The proposed work is part of the Council-approved Capital Improvement Program (CIP) 3, 4, 8 Project and entails the replacement of approximately 2,741.5 feet of sewer line and several manhole covers.

Zone District/General Plan Designation: n/a

Coastal Zone: Yes

Archaeological Zone: Yes

Historic Resources Inventory: No

Area of Special Biological Significance: Yes

CEQA: Categorical Exemption, CEQA Guidelines Section 15301, Class I, Existing Facilities

Recommended Action: Approve CDP 20-0149 for the replacement of sewer line within portions of the Asilomar Blvd. and Carmel Ave. public rights-of-way subject to the conditions of approval and Class 1 CEQA exemption provided herein.

Reference: Alyson Hunter, Senior Planner

- B. Annexation of the Mission Linen property located at 801 Sunset Drive.

Description: The City of Pacific Grove (City) is undertaking the annexation of the Mission Linen Supply property located at 801 Sunset Drive (APN 007-101-036). The 2.99 acre property is located at the intersection of Sunset Drive and Congress Avenue, is surrounded on all sides by City limits, and is the only property within the City's Sphere of Influence identified in the 1994 General Plan for future annexation. No changes to the property are proposed at this time. The property was rezoned Light Commercial (C-1) on March 4, 2020, by the City Council through the adoption of Ordinance 19-028 and this is the zoning district that will become effective upon annexation.

Zone District/General Plan Designation: Monterey County Zone and General Plan of Resource Conservation (RC) with a 10-acre minimum parcel size.

Coastal Zone: No

Archaeological Zone: No

Historic Resources Inventory: No

Area of Special Biological Significance: No

CEQA: Categorical Exemption, CEQA Guidelines Section 15319(a) Class 19, Annexations to City or Special Districts or Areas-Existg Public or Private Structure

Recommended Action: Receive the staff report and provide a recommendation of approval of the proposed annexation to the City Council.

Reference: Alyson Hunter, Senior Planner

10. **DISCUSSION ITEM(S)**

- A. Brief oral presentation by the Deputy Public Works Director, Joyce Halabi, on the City's Capital Improvement Program (CIP).

Reference: Joyce Halabi, Deputy Public Works Director

Recommended Action: Receive report as information only.

CEQA: Does not constitute a “Project” per California Environmental Quality Act Guidelines Section 15378

Next Meeting – June 11, 2020

ADJOURNMENT

NOTICE OF ADA COMPLIANCE: Pursuant to Title II of the Americans with Disabilities Act (Codified At 42 United States Code Section 12101 and 28 Code of Federal Regulations Part 35), and Section 504 of the Rehabilitation Act of 1973, the City of Pacific Grove does not discriminate on the basis of race, color, religion, national origin, ancestry, sex, disability, age or sexual orientation in the provision of any services, programs, or activities. The City of Pacific Grove does not discriminate against persons with disabilities. City Hall is an accessible facility. A limited number of assisted listening devices will be available at this meeting. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting or provide the requested agenda format.



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Chair Murphy and Members of the Planning Commission
FROM: Alyson Hunter, Senior Planner
MEETING DATE: 05/14/2020
SUBJECT: Adoption of the draft minutes of the Planning Commission's March 12, 2020, meeting.
CEQA: Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

RECOMMENDATION

Adopt the March 12, 2020, meeting minutes as presented.

Attachments

3-12-20 PC Draft Minutes



CITY OF PACIFIC GROVE PLANNING COMMISSION

DRAFT MEETING MINUTES

Thursday, March 12, 2020, 6:00 P.M.

Council Chamber – City Hall – 300 Forest Avenue, Pacific Grove, CA

CALL TO ORDER

Commissioners Chakwin, Aeschliman, Bluhm, Byrne, Fredrickson, and Chair Murphy and Vice Chair Lilley present.

1. APPROVAL OF AGENDA

On a motion by **Bluhm** and a second by **Byrne**, the agenda was unanimously approved as presented (7-0-0).

2. COMMISSION AND STAFF ANNOUNCEMENTS (City-Related Items Only)

- Vice Chair Lilley informed the Commission of his participation on the Housing Consultant interview panel;
- Chair Murphy reminded the Commissioners that their Form 700s are due;
- Senior Planner Hunter announced that the Coastal Commission certified the City's Local Coastal Plan (LCP) the day before

3. COUNCIL LIAISON ANNOUNCEMENTS

Councilmember Huitt was absent.

4. GENERAL PUBLIC COMMENT

None.

CONSENT AGENDA

5. A. Approval of Minutes of the February 13, 2020, PC Regular Meeting

Recommendation: Approve minutes.

Reference: Alyson Hunter, Senior Planner

CEQA Status: Does not constitute a "Project" as defined by CEQA Guidelines Section 15378

On a motion by **Chakwin** and a second by **Bluhm**, the consent agenda was unanimously approved (7-0-0).

REGULAR AGENDA

6. PUBLIC HEARINGS

A. Pacific Grove Municipal Code Title 23 Map Amendment for the Asilomar State Park & Conference Grounds

Recommendation: Receive the staff report and draft ordinance, and adopt PC Resolution 20-01 recommending approval of the proposed amendments to the City Council.

Reference: Alyson Hunter, Senior Planner

CEQA Status: Categorically exempt per Section 15061(b)(3) of the CEQA Guidelines

After receiving an oral staff report, the Chair opened the public hearing and received testimony. The Commission deliberated on the item. On a motion by **Chakwin** and a second by **Bluhm**, the Commission adopted Resolution 20-01 on a **6-1-0** vote with **Fredrickson** dissenting.

B. Pacific Grove Municipal Code Title 23 Text Amendment for the Deletion of § 23.16.090 (R-1-B-2)

Recommendation: Receive the staff report and draft ordinance, and adopt PC Resolution 20-02 recommending approval of the proposed amendment to the City Council.

Reference: Alyson Hunter, Senior Planner

CEQA Status: Categorically exempt per Section 15061(b)(3) of the CEQA Guidelines

After receiving an oral staff report, the Chair opened the public hearing. There was no public testimony in this item. The Commission deliberated on the item. On a motion by **Byrne** and a second by **Chakwin**, the Commission unanimously adopted Resolution 20-02 on a **7-0-0**.

C. Proposed Zoning Code Amendment to Remove the Use Permit Requirement for Multi-Family Developments from PGMC Sections 23.24.020 (R-3), 23.28.020 (R-4), and 23.57.020 (R-3-PGB)

Recommendation: Receive the staff report and draft ordinance, and recommend approval of the proposed amendments to the City Council.

Reference: Alyson Hunter, Senior Planner

CEQA Status: Categorically exempt per Section 15061(b)(3) of the CEQA Guidelines

Staff provided a brief oral report. The Chair opened the hearing for public testimony and received comments. After deliberating on the item and expressing concerns primarily about the interface between single-family and multi-family development, Commissioner **Chakwin** moved to deny the proposed amendment. The motion to deny was seconded by **Byrne** and approved on a **6-1-0** vote with Chair **Murphy** dissenting.

D. Discussion of Capital Improvement Program (CIP) Items

Recommendation: Vote on the CIP project ideas submitted by Commissioners and direct the Chair to complete the requisite form for submittal to the Public Works Department.

Reference: Don Murphy, Planning Commission Chair

CEQA Status: Does not constitute a “Project” as defined by CEQA Guidelines Section 15378.

A brief discussion by the Commission took place, including public comment. Although no motion was made, the Commission agreed unanimously to submit the the project recommended by Chair Murphy to restore the Recreation Trail mural for an estimated cost of \$40,000.00. The Chair would submit the online form to the Public Works Dept. immediately following the meeting.

7. REPORTS, DISCUSSION ITEM(S), AND PRESENTATIONS - None

Next Meeting – April 9, 2020

ADJOURNMENT

By order of the Chair, the meeting was adjourned at 7:02 p.m.

NOTICE OF ADA COMPLIANCE: Pursuant to Title II of the Americans with Disabilities Act (Codified At 42 United States Code Section 12101 and 28 Code of Federal Regulations Part 35), and Section 504 of the Rehabilitation Act of 1973, the City of Pacific Grove does not discriminate on the basis of race, color, religion, national origin, ancestry, sex, disability, age or sexual orientation in the provision of any services, programs, or activities. The City of Pacific Grove does not discriminate against persons with disabilities. City Hall is an accessible facility. A limited number of assisted listening devices will be available at this meeting. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting or provide the requested agenda format.



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Chair Murphy and Members of the Planning Commission
FROM: Alyson Hunter, Senior Planner
MEETING DATE: 05/14/2020
SUBJECT: Receive Historic Resources Committee Meeting Minutes of February 26, 2020.
CEQA: Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

RECOMMENDATION

Receive the draft minutes of the February 26, 2020, Historic Resources Committee meeting as information only.

Attachments

Draft 2-26-20 HRC Minutes



MINUTES

CITY OF PACIFIC GROVE HISTORIC RESOURCES COMMITTEE REGULAR MEETING MINUTES

3:00 p.m., Wednesday, February 26, 2020

Council Chambers – City Hall – 300 Forest Avenue, Pacific Grove, CA

1. Call to Order - 3:00 p.m.

2. Roll Call

Members Present: Mimi Sheridan, Vice Chair, Mark Travaille, Joseph Rock, Jill Kleiss, Secretary; Rick Steres, Geoff Welch.

Members Absent: Claudia Sawyer, Chair.

3. Approval of Agenda

On a motion by Member Rock, seconded by Member Steres, the Committee voted 6-0-1 (Sawyer absent) to approve the agenda.

Motion passed.

4. Committee Member and Staff Announcements (City-Related Items Only)

Vice-Chair Sheridan shared an update on the recent California Preservation Foundation (CPF) workshop and noted that the CPF Conference is upcoming in May.

5. General Public Comment

Lisa Ciani spoke of the City's work at Lover's Point & the importance of cultural resources.

6. Reports of Council Liaison

Councilmember Tomlinson provided an update on actions taken at recent City Council meetings.

7. Items to be Continued or Withdrawn - None

8. Consent Agenda

a. Approval of January 22, 2019, HRC Minutes

Recommended Action: Approve minutes

CEQA Status: Does not constitute a "Project" as defined by CEQA Guidelines §15378

Staff Reference: Alex Othon, Assistant Planner

b. Initial Historic Screening Request No. IHS 20-0083, 1223 Surf Ave.

Description: Initial Historic Screening

Applicant/Owner: Jim Musbach

CEQA status: Not a project under CEQA per §15378

Staff reference: Alyson Hunter, Senior Planner

Recommended action: Determine ineligible for the Historic Resources Inventory

On a motion by Member Steres, seconded by Member Rock, the Committee voted 6-0-1 (Sawyer absent) to approve the Consent Agenda.

Motion passed.

9. Continued Items - None

10. Regular Agenda

a. Election of Officers

Recommendation: Hold an election for Chair, Vice Chair, and Secretary

Reference: Alyson Hunter, Senior Planner

CEQA Status: Does not constitute a “Project” as defined by CEQA Guidelines Section 15378

On a nomination by Rock, seconded by Travaille, the Committee voted 6-0-1 (Sawyer absent) to reelect Claudia Sawyer as Chair.

Motion passed.

On a nomination by Rock, seconded by Travaille, the Committee voted 6-0-1 (Sawyer absent) to reelect Mimi Sheridan as Vice-Chair.

Motion passed.

On a nomination by Rock, seconded by Travaille, the Committee voted 6-0-1 (Sawyer absent) to reelect Jill Kleiss as Secretary.

Motion passed.

b. Architectural Permit 19-0683, 228 1st Street, APN 006-242-007

Description: An Architectural Permit (AP) for a 64 sq. ft. second-story, rear addition.

Applicant/Owner: Suzanne Weichert

CEQA status: Not a project per CEQA Guidelines, Sections 15301(e)(1) and 15331

Staff reference: Alex Othon, Assistant Planner

Recommended action: Approve the permit subject to findings, conditions, and Class 3 and 31 CEQA Exemptions.

Alex Othon, Assistant Planner, provided a staff report.

The Chair opened the floor to public comment.

The Chair closed the floor to public comment.

The Committee discussed the item.

On a motion by Member Rock, seconded by Member Welch, the Committee voted 6-0-1 (Sawyer absent) to approve the item.

Motion passed.

c. **Removal of Twenty (20) Heavily Modified Properties from the Historic Resources Inventory (HRI)**

Project Description: On November 20, 2019, the City Council accepted the Final Historic Resources Inventory (HRI) Survey Update, including the recommendations for deletion, and directed the Historic Resources Committee (HRC) to begin the removal process. The 20 properties below represent the second group of proposed deletions.

Recommendation: Consider the evidence provided, remove the subject properties from the HRI per PGMC § 23.76.030 and adopt Resolution 20-02 memorializing this action.

CEQA Status: Given that the subject properties are not historic resources, their removal from the Inventory does not constitute an individual nor cumulative significant negative effect on the environment. The administrative act of removing non-historic resources from the Inventory is not a “Project” per § 15378 of the California Environmental Quality Act (CEQA) Guidelines.

Staff Reference: Alyson Hunter, Senior Planner | ahunter@cityofpacificgrove.org | 831-648-3127

	Property Address	Assessor Parcel No.	Property Owner	Reason for Removal from the HRI	Approx. Year Built
1.	200 1 st St.	006-223-002	Garland, V & G	No historic significance	c. 1925
2.	222 1 st St.	066-242-010	Leo, L	Extensive alterations; effect. demolished	1903
3.	523 2 nd St.	006-515-009	Hyde, R & McLean, L	Extensive alterations; lost integrity	1930
4.	132 4 th St.	006-229-003	O’Neil, R & M	Cumulative alterations; lost integrity	1892
5.	315 5 th St.	006-257-006	Dietz, M & S	Heavily Modified; lost integrity	1910
6.	414 9 th St.	006-501-005	Bitter, R & Devine, K	Extensive alterations; lost integrity	1922
7.	160 11 th St.	006-197-008	Laiolo, C	Cumulative alterations; lost integrity	1910
8.	308 14 th St.	006-285-004	Anderson, T & R	Cumulative alterations; lost integrity	1906
9.	315 14 th St.	006-279-008	Williams, M	Addition results in loss of integrity	1940
10.	219 Bentley St.	006-342-008	Dunn, M	Cumulative alterations; lost integrity	1926
11.	220 Bentley St.	006-341-008	Aeschliman, G & R	Addition results in loss of integrity	1925
12.	212 Carmel Av.	006-274-004	Dwyer, W	Addition results in lost integrity	1912
13.	522 Central Av.	006-181-009	Center for Spiritual Awakening	Additions over time result in lost integrity	1939
14.	409 Chestnut St.	006-443-010	White, R & S	Alterations; lost integrity	1907
15.	864 Laurel Ave.	006-333-006	Davis, M & J	Alteration to original form; lost integrity	1900
16.	562 Park Pl.	006-157-013	Kohlmanslehner, S	Significant alterations; lost integrity	1906
17.	315 Pine Ave.	006-504-001	Davalos, E & Krienke, D	Cumulative alterations; lost integrity	1922
18.	1125 Pico Ave.	006-422-002	O’Rourke, H	Highly visible additions; lost integrity	1922
19.	703 Spruce Ave.	006-466-002	Balison, B & R	Large addition results in lost integrity	1910
20.	731 Spruce Ave.	006-467-001	Mrizek, A & Grenfell, S	Cumulative alterations; lost integrity	1918-1928

Alyson Hunter, Senior Planner, provided a staff report.

The Chair opened the floor to public comment.

Lisa Ciani spoke against the removal of 220 Bentley Street from the Historic Resources Inventory.

The Chair closed the floor to public comment.

The Committee discussed the item.

On a motion by Member Travaille, seconded by Member Steres, the Committee voted 6-0-1 (Sawyer absent) to remove Nos. 1, 2, 4, 6, 7, 16, 17, 18, 19, and 20 from the Historic Resources Inventory.

Motion passed.

11.	220 Bentley St.	006-341-008
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On a motion by Member Rock, seconded by Member Welch, the Committee voted 5-1-1 (Sheridan opposed, Sawyer absent) to retain 220 Bentley on the Historic Resources Inventory.

Motion passed.

5.	315 5 th St.	006-257-006
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On a motion by Member Rock, seconded by Member Travaille, the Committee voted 6-1-0 (Sawyer absent) to remove 315 5th Street from the Historic Resources Inventory.

Motion passed.

9.	315 14 th St.	006-279-008
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On a motion by Member Rock, seconded by Member Steres, the Committee voted 6-1-0 (Sawyer absent) to remove 315 14th Street from the Historic Resources Inventory.

Motion passed.

8.	308 14 th St.	006-285-004
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On a motion by Member Rock, seconded by Member Steres, the Committee voted 4-1-2 (Travaille and Kleiss opposed, Sawyer absent) to remove 308 14th Street from the Historic Resources Inventory.

Motion passed.

12.	212 Carmel Av.	006-274-004
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On a motion by Member Rock, seconded by Member Steres, the Committee voted 5-1-1 (Steres opposed, Sawyer absent) to remove 212 Carmel Avenue from the Historic Resources Inventory.

Motion passed.

15.	864 Laurel Ave.	006-333-006
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On a motion by Member Travaille, seconded by Member Welch, the Committee voted 5-1-1 (Sheridan opposed, Sawyer absent) to continue this item to the next meeting.

Motion passed.

3.	523 2 nd St.	006-515-009
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On a motion by Member Rock, seconded by Member Steres, the Committee voted 6-1-0 (Sawyer absent) to remove 523 2nd Street from the Historic Resources Inventory.

Motion passed.

13.	522 Central Av.	006-181-009
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On a motion by Member Rock, seconded by Member Steres, the Committee voted 6-1-0 (Sawyer absent) to remove 522 Central Avenue from the Historic Resources Inventory.

Motion passed.

14.	409 Chestnut St.	006-443-010
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On a motion by Member Rock, seconded by Member Travaille, the Committee voted 6-0-1 (Sawyer absent) to remove 409 Chestnut Street from the Historic Resources Inventory.

Motion passed.

10.	219 Bentley St.	006-342-008
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On a motion by Member Travaille, seconded by Member Steres, the Committee voted 5-1-1 (Sheridan opposed, Sawyer absent) to continue the item to the next meeting.

Motion passed.

11. Presentations and Trainings

a. Coastal Development Permit (CDP) Tutorial

Recommendation: Receive training on CDP procedure, process.

Reference: Alyson Hunter, Senior Planner

CEQA Status: Does not constitute a “Project” per § 15378 of the CEQA Guidelines.

Alyson Hunter, Senior Planner, provided a staff report and answer Committee Members’ questions.

The Chair opened the floor to public comment.

The following member of the public spoke on the item:

Lisa Ciani spoke on the importance of the Cultural & Historic Resources sections of the Local Coastal Plan.

The Chair closed the floor to public comment.

12. Adjournment – 4:14p.m.

Next meeting is date is March 25, 2020 at 3:00 p.m.



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Chair Murphy and Members of the Planning Commission
FROM: Alyson Hunter, Senior Planner
MEETING DATE: 05/14/2020
SUBJECT: Receive the draft minutes of the March 10, 2020, Architectural Review Board meeting as information only.
CEQA: Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

RECOMMENDATION

Receive the draft minutes of the March 10, 2020, Architectural Review Board meeting as information only.

Attachments

Draft 3-10-20 ARB Minutes



MINUTES

CITY OF PACIFIC GROVE ARCHITECTURAL REVIEW BOARD

REGULAR MEETING MINUTES

Tuesday, March 10, 2020, 4:00 P.M.

Council Chamber – City Hall – 300 Forest Avenue, Pacific Grove, CA

1. CALL TO ORDER AND ROLL CALL

Members Present: Sarah Boyle, Chair; Michael Gunby, Secretary; Terrance Coen, Brett Grinkmeyer, Rosemary Wells, and Garrett Van Zanten.

Members Absent: Jeff Edmonds, Vice-Chair

2. APPROVAL OF AGENDA

On a motion by Gunby, seconded by Wells, the Board voted 6-0-1 (Edmonds absent) to approve the agenda. Motion passed unanimously.

3. BOARD AND STAFF ANNOUNCEMENTS (City-Related Items Only)

Alyson Hunter, Senior Planner, provided a staff update on the LCP going to the March 11, 2020 Coastal Commission Hearing for certification and on how the City is dealing with the Corona Virus.

Sarah Boyle, Chair reported on the California Preservation Foundation Workshop that she, Jeff Edmonds, Vice-Chair and Alyson Hunter, Senior Planner attended this month.

4. GENERAL PUBLIC COMMENT

Lisa Ciani asked to have information added to the Architectural Review Board website.

5. REPORTS OF COUNCIL LIAISON

None

CONSENT AGENDA

6. A. **Approval of the February 11, 2019 Architectural Review Board Meeting Minutes**
Reference: Laurel O'Halloran, Associate Planner
Recommended Action: Approve minutes.
CEQA Status: Does not constitute a "Project" as defined by CEQA Guidelines Section 15378.

On a motion by Member Gunby, seconded by Member Grinkmeyer, the Board voted 6-0-1 (Edmonds absent) to approve the consent agenda. Motion passed unanimously.

REGULAR AGENDA

7. PUBLIC HEARINGS

A. 365 Grove Acre | AP 20-0047 | APN 006-401-021

Description: An Architectural Permit to allow the renovation and addition to an existing 1,764 sq. ft. single family single-story residence including an existing 893 sq.ft. garage with a studio.

Zone District/General Plan Designation: Residential Single-Family / Low Density

Coastal Zone: No **Archaeological Zone:** No **Historic Resources Inventory:** No

Area of Special Biological Significance: No

CEQA Status: Exempt per §15301(a) – Minor Alterations to Existing Structures

Applicant/Owner: Hunter Eldridge (Applicant) / Jonathon Graves (Owner)

Recommendation: Approve the project as proposed subject to findings, conditions of approval and a Class 1, Section 15301(a) CEQA exemption.

Staff Reference: Laurel O’Halloran, Associate Planner | lohalloran@cityofpacificgrove.org

Laurel O’Halloran, Associate Planner, provided a staff report.

Hunter Eldridge, the project architect, spoke on the project and answered the Board’s questions.

The Chair opened the floor to public comment.

Lisa Ciani commented on tree protection.

Rudy Fischer commented that it is a positive project improving our housing stock.

The Chair closed the floor to public comment.

The Board discussed the item.

On a motion by Member Gunby, seconded by Member Grinkmeyer, the Board voted 6-0-1 (Edmonds absent) to approve the project. Motion passed unanimously.

8. Presentations and Trainings

A. Coastal Development Permit (CDP) Tutorial

Recommendation: Receive training on CDP procedure, process.

Reference: Alyson Hunter, Senior Planner

CEQA Status: Does not constitute a “Project” per § 15378 of the CEQA Guidelines.

ADJOURNMENT – 4:40pm. Next meeting is April 14, 2020.

APPROVED BY ARCHITECTURAL REVIEW BOARD

Michael Gunby, Secretary

Date



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Chair Murphy and Members of the Planning Commission
FROM: Alyson Hunter, Senior Planner
MEETING DATE: 05/14/2020
SUBJECT: Annual Progress Reports on Housing Element and General Plan implementation.
This item is informational only and no action is required.
CEQA: Does not constitute a "Project" per California Environmental Quality Act
Guidelines Section 15378

RECOMMENDATION

Receive the Annual Progress Report for Implementation of General Plan policies as information only.

California Government Code Sections 65400 and 65700 mandate that cities and counties submit an annual report on the status of their General Plan and any progress in its implementation to their legislative bodies. This includes reporting on the implementation of measures adopted as part of the Housing Element. Annual Progress Reports (APRs) must be presented to the local legislative body for its review and acceptance, usually as a consent or discussion item on a regular meeting agenda. After review and acceptance, a copy of the APR required to be filed with the Governor's Office of Planning and Research (OPR) and the Housing and Community Development Department (HCD).

These reports were provided to the City Council on March 18, 2020 (HE) and May 6, 2020 (GP). No action is required at this time.

Attachments

GP APR Council Report 5-06-20
Housing Element APR



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Honorable Mayor and Members of the City Council
FROM: Anastazia Aziz, AICP, Community Development Director
MEETING DATE: May 6, 2020
SUBJECT: Receive the Draft Annual Progress Report for General Plan Implementation.
CEQA: Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

RECOMMENDATION

Receive the Draft Annual Progress Report for General Plan Implementation as required by the Governor's Office of Planning and Research (OPR) and the Housing and Community Development Dept. (HCD).

DISCUSSION

California Government Code Sections 65400 and 65700 mandate that cities and counties submit an annual report on the status of their General Plan and any progress in its implementation to their legislative bodies. Annual Progress Reports (APRs) must be presented to the local legislative body for its review and acceptance, usually as a consent or discussion item on a regular meeting agenda. After review and acceptance, a copy of the APR is required to be filed with the Governor's Office of Planning and Research (OPR) and the Housing and Community Development Department (HCD).

The attached draft APR report template is provided by HCD and prepared with 2018/2019 data to comply with statutory requirements. Note that the City's 1994 General Plan has not been comprehensively updated other than the required Housing Element updates and a minor amendment pertaining to short-term rentals. Although separate from the general plan amendment process described in the attached APR, it is important to note that the City has been heavily engaged in its Local Coastal Program (LCP) update over the past six years which is directly related to land use planning within the Coastal zone. As indicated in the report, staff recommends that the City undertake a comprehensive update to its Safety Element in the near term in an effort to be better prepared for land use planning under the new realities of climate change.

The City Council accepted the Housing Element APR at its March 18, 2020, meeting.

OPTIONS

1. Take no action.
2. Provide alternative direction.

FINANCIAL IMPACT:

None.

GOAL ALIGNMENT: Not Applicable.

**CY 2018/2019 General Plan Annual Progress Report for the
City of Pacific Grove, a Charter City
Prepared for OPR in March 2020**

I. Introduction

The City of Pacific Grove has not undertaken a comprehensive update to any of the Elements of its 1994 General Plan other than its Housing Element (HE) which was adopted in March 2016 for the effective years 2015-2023. The 2020 HE Annual Progress Report (APR) was presented to the Pacific Grove City Council on March 18, 2020. The 2020 HE APR was submitted to the State Housing and Community Development Dept. (HCD) on March 31, 2020.

In a separate, but related process, the City recently adopted, and the Coastal Commission certified on March 11, 2020, its first Local Coastal Program (LCP). The LCP update was initiated in 2014 with a grant from the Coastal Commission and has been a major City focus and priority for the last six years. The adoption represents a major City milestone. The City had previously utilized its 1989 Land Use Plan, later incorporated as an Element of the 1994 General Plan, for development in the Coastal zone. This year Pacific Grove acquired permitting authority through the certification of our first Implementation Plan (IP). The Land Use Plan (LUP) portion of the LCP remains the newly amended Coastal Land Use Element of the 1994 General Plan.

A very minor amendment to Section 2.6 (Land Use Element) of the General Plan occurred in December 2018 (effective January 1, 2019) and pertained to the approval of a voter initiative in 2018 limiting the number and location of Short-Term Rentals (STRs) throughout the City. The City Council approved the amendment through the adoption of Ordinance 18-018.

The 1994 General Plan is ripe for updating given the many changes affected by the State over the years. In an effort to keep up with climate change and the associated likely impacts related to wildfire and sea level rise, the Community Development Dept. (CDD) intends to undertake a comprehensive update to the Safety Element in FY 20/21 or 21/22 as allowed by the budget; however City funds are limited and the City will seek grant funds to facilitate updates.

II. 1994 General Plan

The City Council of the City of Pacific Grove adopted Resolution 6423 on October 5, 1994, adopting the General Plan (Plan) and associated maps and figures. This Plan superseded the City's previous 1973 General Plan and incorporated as its Coastal Land Use Element, the certified 1989 Land Use Plan.

III. Housing Element APR

As mentioned in Section I. above, no comprehensive updates to the 1994 Plan have occurred other than the cyclical Housing Element updates as required by Government

Code Sections 65400, 65583, and 65584. The HE APR was submitted separately to HCD in March 2020.

IV. Compliance with OPR's 2017 General Plan Guidelines

The City's 1994 General Plan contains the required elements per the OPR's 2017 Guidelines and California Government Code Section 65302 (the City's Element title is listed in parentheses after the mandated chapter title):

- Land Use
- Circulation (Transportation)
- Housing
- Conservation (Natural Resources)
- Open Space (Parks & Recreation)
- Noise (imbedded within the Health & Safety Element)
- Safety (Health & Safety)

In addition to the required Elements above, the City's General Plan contains the following optional Elements:

- Historic & Archaeological Resources
- Urban Structures & Design
- Public Facilities

As mentioned in Section I. above, the City also has a certified LCP which contains a Land Use Plan (LUP). The LUP constitutes the Coastal Land Use Element of the General Plan.

In the 1980s and 1990s when the City's General Plan was being drafted, reviewed, and adopted, there were no requirements for the consideration of disadvantaged communities (environmental justice), consultation with Native American tribes (SB 18), or collaboration with military facilities. The City of Pacific Grove is bounded to the south and east by the Army Presidio and is also a very archaeologically sensitive area and, since 1994, the City has worked very closely with the our military neighbors and, even more so, with the Ohlone Costanoan-Esselen Nation (OCEN) to ensure that development does not contradict the policies and goals of these important stakeholders.

Even under today's rigorous mandates, Pacific Grove does not meet the definition of "disadvantaged community" (Health & Safety Code, Section 39711) that would trigger the preparation of an Environmental Justice Element.

Given the age of the Plan, there other inconsistencies with current OPR Guidelines which will be addressed, as needed, as we look forward to the Safety Element update and other amendments.

V. Land Use Priorities

- a. Housing - With the most recent passage of several bills at the State level mandating the production of housing for all income levels, the City embarked on the development of an updated Accessory Dwelling Unit (ADU) Ordinance which was adopted by the City Council (Ordinance 20-007) in March 2020 and is currently under review by HCD. The City is open to working with partners on the development of in-fill affordable projects in an effort to meet our Regional Housing Needs Assessment (RHNA) numbers;
- b. Water - The Monterey Peninsula has experienced a “regulatory drought” for the past 20+ years which has heavily impacted development. The State Water Resources Control Board has limited the issuance of new water meters through a cease and desist order levied on the area’s water provider. Although the City is geographically small and development is constrained by other factors, the water meter issuance has effectively resulted in a moratorium on large new in-fill projects where water entitlement did not already exist. As a result of a number of recent water recycling and conservation activities, the State has made some water available for purchase in the City and a new downtown hotel, a mixed-use housing in-fill project and several smaller residential projects are moving forward;
- c. Annexation - the City recently pre-zoned an adjacent property (Ordinance 20-008) in preparation for annexation. The property is surrounded on all sides by City limits and is a County island. The 1994 General Plan does not include a Growth Management section or other clear policies regarding annexation other than the identification of this particular property within its mapped Sphere of Influence. The Land Use Element includes the general goal of *providing for orderly, well-planned, and balanced development consistent with the historic nature of Pacific Grove, the capacity of the City’s infrastructure, and ability to assimilate new growth*. As this property is currently developed with an industrial laundry facility (Mission Linen Supply) and is already designated Neighborhood Commercial on the General Plan, an annexation feasibility analysis is not warranted.

VI. Adjusted Goals, Policies, Objectives

As mentioned previously in this APR, the City intends to update the Safety Element in the next budget cycle, if feasible. There are also a variety of Goals and Policies in the Land Use Element that are very restrictive and out of alignment with the State’s current housing directives. Several of these have already been identified in the adopted Housing Element. Given the built-out nature of the City and relatively little room for expansion, the majority of development in the future will be in-fill in nature and will be located in existing urban areas like downtown, the Forest Hill area, and possibly the Sunset Drive/State Route 68 corridor. The City is undertaking a review of the policies in the Land Use element that may be ripe for reconsideration within the context of the State’s housing crisis using SB2 grant funds.

VII. Studies and Activities Intended to Advance the Implementation of the GP

Since January 2018, there have been no specific studies, specific plans, master plans, annexation studies or other analyses prepared in an effort to advance the implementation of the General Plan; however, as stated earlier the City achieved certification of the Local Coastal Program for the first time in the City's history and is a major achievement that required considerable resources. The Local Coastal Program included a Background Report and Vulnerability Analysis.

In relation to the City's Shoreline Management Plan (draft), however, which is intended to inform the repair and maintenance of public infrastructure along the City's shoreline, the City had prepared a [Biological Resources Assessment](#), a [Vulnerability Assessment](#), and a [Geologic/Hydrologic Conditions Report](#).

The City Council accepted the 2019 HE APR on March 18, 2020 and was submitted to HCD on March 31, 2020.

The following table denotes the General Plan Amendment (GPA) that has occurred since January 2018.

Amendment	Date	Element
Ratification of a Voter Initiative (Measure M) effecting Short Term Rentals (STR). General Plan amendment embedded in Ordinance 18-018 adding Policy 1.5 regarding STRs.	Dec. 5, 2018	Land Use

The majority of the development in Pacific Grove consists of minor alterations and additions to existing buildings, single-family residential development, ADUs, minor commercial tenant improvements. However, since January 1, 2018, the following large commercial projects have been approved or in the application review process:

Project Name / Description	Location	Permit Type / CEQA	Status
Hotel Durrell / 116 room hotel (demo and new construction)	157 Grand Ave.	AP*-UP** / EIR	Finalizing water entitlement; applicant preparing for Bldg Permit submittal
Holman Bldg / Mixed-Use Rehab; 25 residential units	542 Lighthouse Ave.	AP-UP / §§ 15331, 15332 exemptions	Anticipate issuing final occupancy Summer 2020
Goodies Bldg / Mixed-Use (demo and new construction)	522 Lighthouse Ave.	AP-UP / §15332 exemption	In Bldg Permit plan check currently
American Tin Cannery (ATC) Hotel & Commercial Project / 225 room hotel and retail (demo and new construction)	109/125 Ocean View Blvd.	AP-UP-CDP*** / EIR	Entitlements and EIR underway now; expected to begin public review early Summer 2020

*AP – Architectural Permit

**UP – Use Permit

***CDP – Coastal Development Permit

VIII. Additional Content

- a. Monterey County Multi-Jurisdictional Hazard Mitigation Plan 2020 – the City is participating in this 5-year effort with the Monterey County OES as lead. The City anticipates using much of the information in the near-term Safety Element update.
- b. Pacific Grove fire services are provided by contract through the City of Monterey. Monterey Fire is working on a Wildland Fire Risk Assessment that covers most of the Monterey Peninsula, including the City which has very few high or extreme high fire hazard areas, but is adjacent to both.



CITY OF PACIFIC GROVE
 300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Honorable Mayor and Members of the City Council
FROM: Terri C. Schaeffer, Senior Program Manager
MEETING DATE: March 18, 2020
SUBJECT: Draft 2019 Annual Progress Report for General Plan and Housing Element Implementation
CEQA: Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

RECOMMENDATION

Receive the Draft Annual Progress Report for General Plan and Housing Element Implementation.

DISCUSSION

The California Government Code Section 65400 mandates that cities and counties submit an annual report on the status of their General Plan and any progress in its implementation to their legislative bodies. Annual Progress Reports (APRs) must be presented to the local legislative body for its review and acceptance, usually as a consent or discussion item on a regular meeting agenda. After review and acceptance, a copy of the APR is required to be filed with the Governor's Office of Planning and Research (OPR) and the Housing and Community Development Department (HCD) by April 1.

The attached draft APR report template is provided by HCD and prepared with 2019 data to comply with statutory requirements. With recent updates in Housing Law this past year, HCD continues to develop new tools to increase transparency and local accountability regarding how cities and counties are performing towards the housing goals established in the local Housing Element. More extensive reporting is required along with continued demonstration of the achievement of housing goals.

OPTIONS

1. Take no action.
2. Provide alternative direction.

FINANCIAL IMPACT:

There is no fiscal impact from accepting the APR.

GOAL Not Applicable.

ALIGNMENT:

Attachments

Draft APR

Jurisdiction	Pacific Grove
Reporting Year	2019 (Jan. 1 - Dec. 31)

**ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation**

(CCR Title 25 §6202)

Note: "*" indicates an optional field

Cells in grey contain auto-calculation formulas

Table A Housing Development Applications Submitted																			
Project Identifier				Unit Types		Date Application Submitted	Proposed Units - Affordability by Household Incomes							Total Approved Units by Project	Total Disapproved Units by Project	Streamlining	Notes		
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	
Prior APN*	Current APN	Street Address	Project Name*	Local Jurisdiction Tracking ID*	Unit Category (SFA,SFD,2 to 4.5+ ADU,MH)	Tenure R=Renter O=Owner	Date Application Submitted	Very Low-Income Deed Restricted	Very Low-Income Non Deed Restricted	Low-Income Deed Restricted	Low-Income Non Deed Restricted	Moderate-Income Deed Restricted	Moderate-Income Non Deed Restricted	Above Moderate-Income	Total PROPOSED Units by Project	Total APPROVED Units by project	Total DISAPPROVED Units by Project (Auto-calculated Can Be Overwritten)	Was APPLICATION SUBMITTED Pursuant to GC 65913.4(b)? (SB 35 Streamlining)	Notes*
Summary Row: Start Data Entry Below																			
	007041035000	1661 Sunset	New Single Family Dwelling (SFD)	AP19-0645	SFD	O	10/22/2019							15	7	26	26	0	No
	006132012000	850 Bayview	Demo existing home, build new SFD	AP19-0625 and BP190211	SFD	O	10/14/2019								1	1	1		No
	006327010000	309 Cedar st	Garage conversion into Accessory Dwelling Unit (ADU)	ADU19-0619 and BP19-0137	ADU	R	10/9/2019				1				1	1			No
	007565011000	1213 Funston	Demo existing home, build new SFD	AP19-0523	SFD	O	8/26/2019								1	1	1		No
	006712029000	1119 Seaview	New Accessory Dwelling Unit (ADU)	ADU19-0371 and BP19-0004	ADU	R	6/18/2019						1		1	1			No
	006392004000	270 Crocker Ave	New Accessory Dwelling Unit (ADU)	ADU19-0369 and PGBP-19-1543	ADU	R	6/17/2019						1		1	1			No
	007592016000	1023 Hillside Ave	New Accessory Dwelling Unit (ADU)	ADU19-0311 and PGBP-19-1157	ADU	R	5/15/2019						1		1	1			No
	006422021000	510 Evergreen Rd	New Single Family Dwelling (SFD)	AP19-0217	SFD	O	4/2/2019								1	1	1		No
	006013002000	1235 Surf Ave	Demo existing home, build new SFD	AP/AUP/TPD19-0179	SFD	O	3/14/2019								1	1	1		No
	006287012000	301 Grand	Second story addition of three affordable studio units.	AP19-0173	2 to 4	R	3/13/2019			3					3	3			No
	006475014000	17th St	New two-story Single Family Dwelling (SFD)	AP19-0163	SFD	O	3/7/2019								1	1	1		No
	006572012000	611 Dennett	Legalize existing structure into Accessory Dwelling Unit (ADU)	ADU19-0159 and PGBP-19-0912	ADU	R	3/6/2019						1		1	1			No
	006145015000	107 20th St	Demolish existing house (leave existing detached garage) and new construct new two story single-family residence and remove tree.	AP/TPD19-0122 and PGBP-19-1597	SFD	O	2/20/2019								1	1	1		No
	006134001000	181 17 Mile	Conversion of existing structure into Accessory Dwelling Unit (ADU)	ADU19-0086	ADU	R	2/8/2019						1		1	1			No
	007643010000	2816 Forest Hill	New Accessory Dwelling Unit (ADU)	AP/ADU19-0034 and PGBP-19-1253	ADU	R	1/17/2019						1		1	1			No
	006634044000	855 Maple	New Accessory Dwelling Unit (ADU)	ADU19-0021	ADU	R	1/14/2019						1		1	1			No
	006483009000	409 Grand Ave	New Accessory Dwelling Unit (ADU)	AP/ADU/HPP19-0211	ADU	R	4/2/2019						1		1	1			No
	006444011000	413 Walnut St	New Accessory Dwelling Unit (ADU)	19-0234	ADU	R	12/5/2019						1		1	1			No
	006132014000	870 Bayview Ave	New Accessory Dwelling Unit (ADU)	19-0211	ADU	R	11/22/2019						1		1	1			No
	006663015000	718 Sunset Dr	New Accessory Dwelling Unit (ADU)	PGBP-19-1600	ADU	R	7/24/2019						1		1	1			No
	006712006000	1122 Devisadero St	New Accessory Dwelling Unit (ADU)	PGBP-19-1543	ADU	R	7/16/2019						1		1	1			No
	006402030000	280 Grove Acre Ave	New Accessory Dwelling Unit (ADU)	PGBP-19-1192	ADU	R	6/3/2019						1		1	1			No
	007561033000	1313 Lawton Ave	New Accessory Dwelling Unit (ADU)	PGBP-19-0241	ADU	R	1/30/2019						1		1	1			No
	006273009000	475 Lighthouse Ave	New Single Family Dwelling (SFD)	PGBP-19-0281	SFD	O	2/5/2019						1		1	1			No
															0	0	0		

Jurisdiction	Pacific Grove	
Reporting Year	2019	(Jan. 1 - Dec. 31)

ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation
 (CCR Title 25 §6202)

This table is auto-populated once you enter your jurisdiction name and current year data. Past year information comes from previous APRs.
 Please contact HCD if your data is different than the material supplied here

Table B													
Regional Housing Needs Allocation Progress													
Permitted Units Issued by Affordability													
		1	2									3	4
Income Level		RHNA Allocation by Income Level	2015	2016	2017	2018	2019	2020	2021	2022	2023	Total Units to Date (all years)	Total Remaining RHNA by Income Level
Very Low	Deed Restricted	28											28
	Non-Deed Restricted												
Low	Deed Restricted	18					3					3	15
	Non-Deed Restricted												
Moderate	Deed Restricted	21										25	
	Non-Deed Restricted				5	20							
Above Moderate	Non-Deed Restricted	48		4	1	38	4					47	1
Total RHNA		115											
Total Units				4	1	43	27					75	44

Note: units serving extremely low-income households are included in the very low-income permitted units totals
 Cells in grey contain auto-calculation formulas

ANNUAL ELEMENT PROGRESS REPORT

Housing Element Implementation

(CCR Title 25 §6202)

Jurisdiction	Pacific Grove	
Reporting Year	2019	(Jan. 1 - Dec. 31)

Table D

Program Implementation Status pursuant to GC Section 65583

Housing Programs Progress Report

Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.

1	2	3	4
Name of Program	Objective	Timeframe in H.E	Status of Program Implementation
Program 1.1 Housing Preservation & Rehabilitation	Rehabilitate 2 extremely-low-, 15 very-low-, and 15 low-income units	Ongoing	CDBG 2017 NOFA Awarded; HRLP Guidelines updated; ongoing outreach; ongoing application intake
Program 1.2 Mobile Home Park preservation	Preserve 103 mobile home units	Ongoing	Continued efforts.
Program 2.1 Monitor Housing Production & potential housing sites	NA	Ongoing	Continued efforts.
Program 2.2 Funding for Affordable	NA	Ongoing	City Council adopted Affordable Housing Goal will continue to explore options. SB2 grant funding allowed us to hire Housing Consultant to conduct feasibility studies. Other funding sources could include bond measures.
Program 2.3.a Density Bonus	1 extremely-low-, 4 very-low-, and 15 low-income units	Within 2 years	The City continues to explore development incentives for developers in specific locations in line with City Council Affordable Housing goal.
Program 2.3.b Downtown Master Plan	NA	Ongoing	The City will seek funding to develop plan.
Program 2.3.c. Encourage Residential & mixed use development in commercial zones.	10 very-low-, 10 low-, and 10 moderate-income units on underutilized sites	Ongoing	Incentives and assistance will be considered as opportunities arise. The City encourages parcel consolidation when contacted by realtors representing owners of properties zoned mixed use or multi-family uses.
Program 2.3.d. Preserve Affordable Housing Units	Preserve 7 low-income & 2 moderate income units	Ongoing	The City continues to monitor and work with owners of affordable units.

Program 2.3.e Facilitate Housing Development on Underutilized Parcels	4 very-low-income units	Ongoing	The City will evaluate the feasibility of small lot development including infrastructure needs. Illegal units are addressed by encouraging owners to comply with Accessory Dwelling Unit standards. The City encourages parcel consolidation when contacted by realtors representing owners of properties zoned for multi-family uses.
Program 2.3.f Affordable Housing Development Assistance	NA	Ongoing	The City continues to work with developers interested in adding units to the housing stock. With limited development space, developers in commercial areas where mixed use projects are possible are encouraged to add affordable units. Lack of potable water continues to be a major constraint to developing new units.
Program 2.3.g Short-term Rental of Private homes	NA	Completed	The City adopted amendments in the municipal code to limit the number of Short term rentals. A ballot measure was adopted which limits the activity even more. Both approaches have offset and mitigated the impact.
Program 2.4 Continue to encourage second units or ADUs	10 low income second units	Ongoing	The City will conduct a survey of rent levels to determine the affordability of accessory dwelling units and junior accessory dwelling units.
Program 3.1 Water Supply	NA	Ongoing	At this time a California Public Utility Commission (CPUC) moratorium may interfere with Cal-Am's (water provider) ability to set new water meters to serve projects that do not have access to a current, active, Cal-Am water meter. City representatives participate on regional water panels; the City adopted water distribution policy with incentive for affordable housing development. The City received entitlement water due to the City's recycled water project (referred to as the City Local Water Project) and began selling water entitlements. The City's water policy identifies affordable housing as a dedicated recipient for development and the City Council set aside 11.5 acre feet of entitlement water for affordable unit development. Some affordable units (primarily ADUs) have purchased available entitlement water to facilitate new units.
Program 3.2 School District Coordination on Housing Issues	NA	Ongoing	The City maintains a positive relationship with the district.
Program 3.3.a Development fees	NA	Completed	Completed
Program 3.3.b Adequate sites to accommodate housing needs	NA	Ongoing	The City will employ the help of Housing Consultant to determine feasibility of streamlining processes and approvals for a significant number of housing units.

Program 3.3.c Use Permit for multifamily development	NA	Within 2 years	The City initiated an amendment to Zoning code to eliminate Use permits for multi-family development in R-3 and R-4 zones. This item will be before the Planning Commission in Winter 2020 and before Council Spring 2020.
Program 3.4.a Parking Standards	NA	Completed	Completed
Program 3.4.b Single room Occupancy Units	5 extremely low income units	Ongoing	The City shall explore incorporating incentives for development of SRO units along with other density bonus incentives.
Program 3.4.c Mobile Homes and Manufactured homes	NA	Ongoing	The City will review zoning regulations to ensure compliance with state law.
Program 4.1.a Housing Rehabilitation for persons with special needs	4 rehabilitated units	Ongoing	The City continues to conduct outreach.
Program 4.1.b Reasonable accommodation	NA	Completed	Completed
Program 4.2.a Emergency Shelters, Transitional/Supportive Housing and Residential Care	NA	Completed	Completed
Program 4.2.b Section 8 Rental Assistance	NA	Ongoing	The City continues to provide referrals and information regarding Section 8.
Program 4.3.a Shared Housing	NA	Ongoing	The City continues to work with Sally Griffin Center and Alliance on Aging.
Program 4.3.b Support Persons with Developmental Disabilities	NA	Ongoing	The City continues to support the Gateway Center.
Program 5.1 Support Fair Housing	NA	Ongoing	The City conducts public education and outreach about fair housing at community events; the City promotes Fair Housing Month in April
Program 6.1 Energy conservation in existing homes	NA	Ongoing	The City promotes energy conservation and employs energy efficient opportunities in rehabilitation projects.
Program 6.2 Energy Efficiency in New Homes	NA	Ongoing	The City updates the municipal code to adopt California Building Code standards, including green standards.

Jurisdiction	Pacific Grove	
Reporting Year	2019	(Jan. 1 - Dec. 31)

Building Permits Issued by Affordability Summary		
Income Level		Current Year
Very Low	Deed Restricted	0
	Non-Deed Restricted	0
Low	Deed Restricted	0
	Non-Deed Restricted	0
Moderate	Deed Restricted	0
	Non-Deed Restricted	0
Above Moderate		0
Total Units		0

Note: Units serving extremely low-income households are included in the very low-income permitted units totals

Housing Applications Summary	
Total Housing Applications Submitted:	0
Number of Proposed Units in All Applications Received:	26
Total Housing Units Approved:	26
Total Housing Units Disapproved:	0

Use of SB 35 Streamlining Provisions	
Number of Applications for Streamlining	0
Number of Streamlining Applications Approved	0
Total Developments Approved with Streamlining	0
Total Units Constructed with Streamlining	0

Units Constructed - SB 35 Streamlining Permits			
Income	Rental	Ownership	Total
Very Low	0	0	0
Low	0	0	0
Moderate	0	0	0
Above Moderate	0	0	0
Total	0	0	0

Cells in grey contain auto-calculation formulas

ANNUAL ELEMENT PROGRESS REPORT

**Housing Element Implementation
Table A2**

Project Identifier			Unit Types		Affordability by Household Incomes - Completed Entitlement				Affordability by Household Incomes - Building Permits				Affordability by Household Incomes - Certificates of Occupancy				Streamlining	Housing without Financial Assistance or Deed Restrictions	Notes
1			2	3	4	5	6	7	8	9	10	11	12	14	18	21			
Current APN	Street Address	Local Jurisdiction Tracking ID*	Unit Category (SFA,SFD,2 to 4,5+,ADU,MH)	Tenure R=Renter O=Owner	Moderate-Income Non Deed Restricted	Above Moderate-Income	Entitlement Date Approved	# of Units issued Entitlements	Moderate-Income Non Deed Restricted	Above Moderate-Income	Building Permits Date Issued	# of Units Issued Building Permits	Moderate-Income Non Deed Restricted	Above Moderate-Income	Certificates of Occupancy or other forms of readiness (see instructions) Date Issued	# of Units issued Certificates of Occupancy or other forms of readiness	Was Project APPROVED using GC 65913.4(b)? (SB 35 Streamlining) Y/N	For units affordable without financial assistance or deed restrictions, explain how the locality determined the units were affordable (see instructions)	Notes*
					0	0		0	0	1		1	4	1		5	0		
006632005000	920 Cedar St	PGBP-18-1228	ADU	R	1		8/8/2018	1	1		9/18/2018	1	1		5/14/2019	1	N	by design	
006631015000	815 Walnut St	PGBP-18-1154	ADU	R	1		8/8/2018	1	1		9/11/2018	1	1		10/29/2019	1	N	by design	
006533016000	384 Gibson Ave	PGBP-17-1899	ADU	R	1		11/3/2017	1	1		4/5/2018	1	1		3/11/2019	1	N	by design	
006304012000	225 Congress Ave	PGBP-17-1213	ADU	R	1		6/7/2017	1	1		11/28/2017	1	1		1/22/2019	1	N	by design	
006293006000	212 17th St	PGBP-19-1402	SFD	R		1		1		1	7/18/2019	1		1	9/16/2019	1	N		CONVERT EXISTING COMMERCIAL SPACE BACK TO RESIDENTIAL



CITY OF PACIFIC GROVE
 300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Chair Murphy and Members of the Planning Commission
FROM: Alyson Hunter, Senior Planner
MEETING DATE: 05/14/2020
SUBJECT: Coastal Development Permit for Sewer Line Replacement in Portions of the Asilomar Blvd/Carmel Ave. Rights-of-Way
CEQA: Categorical Exemption, CEQA Guidelines Section 15301, Class I, Existing Facilities

RECOMMENDATION

Approve CDP 20-0149 for the replacement of sewer line within portions of the Asilomar Blvd. and Carmel Ave. public rights-of-way subject to the conditions of approval and Class 1 CEQA exemption provided herein.

DISCUSSION

The City of Pacific Grove (City) provides sewer collection services for residences and commercial businesses over an area of approximately 1,414 acres with a population of approximately 15,000 residents. The City’s collection and conveyance system consists of approximately 58 miles of pipelines: 57 miles of gravity pipelines, which vary in diameter from 4-inch to 18-inch, and one mile of force mains. Maintenance access to the sewers is provided by 904 manholes and a number of structures, such as clean outs and inspection holes. There are nine sewer lift stations located in the City's service area, seven of which are owned by the City, and two of which are owned by Monterey One Water (M1W), formerly known as Monterey Regional Water Pollution Control Agency. M1W operates and maintains all nine lift stations. Collected sewage is conveyed via an interceptor pipeline to M1W’s regional sewer treatment plant located north of the City of Marina.

The City’s sewer collection service is a self-sufficient enterprise fund. Revenues are generated from sewer rates, which fund the total cost of service and Capital Improvement Program (CIP) projects on an annual basis. At the May 21, 2014 City Council Meeting, the Council received the [Sewer Collection System Master Plan](#) (Plan) which includes nine projects to be completed over the next 10 years.

Sewer and water infrastructure age over time. In order to keep sewer lines in good repair and to prevent leaks that could create environmental impacts and water quality violations, these mains and laterals need to be repaired and replaced from time to time. The proposed sewer line replacement project is part of the City's Sewer Collection System Master Plan and adopted CIP for Fiscal Year (FY) 19/20. The CIP project includes areas outside the Coastal zone for which no planning permits are required. A brief description of the project (CIP 3, 4, 8) is attached. The proposed work is to occur both inside and outside the Coastal Commission's appeal jurisdiction as mapped in the certified Local Coastal Program (LCP). The areas outside the Appeal jurisdiction qualify for a Coastal Development Permit (CDP) waiver. Given that a full

CDP is required for the portions of the project within the appeal jurisdiction, staff decided to combine the permits rather than processing two (2) separate permits.

Location maps showing the project sites in relation to the Coastal zone boundary and engineered plans including detail sheets are attached as well as the completed application, CDP checklist form, and standard stormwater and traffic control plans.

CEQA. The Public Works Department filed a Notice of CEQA Exemption (NOE) citing a Class 1, Sec. 15301 - *Existing Facilities* exemption with the County Clerk's office on February 10, 2020 (attached). This exemption is defined as: the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. The key consideration is whether the project involves negligible or no expansion of use. Because this project is exempt from CEQA, formal consultation with the local Tribe under AB 52 is not required. However, because both of the project areas are in known Sensitive Archeological Areas, a project referral was provided to the Ohlone-Costanoan Esselen Nation (OCEN) Tribal Chair on March 30, 2020, by both email and USPS, and a condition of approval requires coordination with OCEN for monitoring during ground-disturbing activities. A referral was also sent to the Coastal Commission.

Findings. The CDP is subject to the findings in the LCP Implementation Plan, Pacific Grove Municipal Code (PGMC) Section 23.90.080. Note that, given the nature of this project being an underground utility project, many of the findings that relate to permanent visual or physical changes will not apply. Staff has provided a response to each of the findings in *italics*. The findings are included in the attached permit. To approve a CDP, the review authority must find that the development, as proposed and conditioned, is consistent with all applicable LCP policies and standards, including making all the findings included in the attached permit. Note that the Planning Commission is not tasked with designing or considering the cost of the proposed project; the CDP may only be denied if the required findings cannot be made.

Appeals. This project is appealable to the City Council and the Coastal Commission as indicated in PGMC Section 23.90.100.

OPTIONS

1. Deny the permit. An appeal may result in addition to related project delays and increased environmental risk.

FINANCIAL IMPACT

The entire CIP sewer line replacement project (CIP 3, 4, 5, 8), a portion of which is subject to this CDP, has a cost of \$3.3 million. The funding was approved by the City Council as part of the FY 19/20 budget.

Attachments

CIP Excerpt

NOE

3 and 4 Map

8 Map

Coastal Development Permit

Stormwater Plan

Traffic Control Plan



FY 19/20 Capital Improvement Plan

Sewer Collection System Master Plan Sewer System Improvements (SCSMP Projects # 3, 4, 5, 8)

Fund	Fund 76-Sewer Fund
Account	76-612-6051
Project Code	CIP 19-85
Council Strategic Goal	City Asset Stewardship

Project Description, Scope and Purpose

These projects have been identified in the [City's Sewer Collection System Master Plan](#) and will serve as matching funds required for the Pacific Grove-Monterey ASBS Wet-Dry Stormwater Capture and Reuse Project (CIP 18-84).

SCSMP #3 - Upgrades sewer main upgrades on Asilomar Avenue from Lighthouse Ave. to Del Monte Blvd. to address capacity deficiencies.

SCSMP #4- Replaces or rehabilitates manholes deteriorated by hydrogen sulfide on Crocker and Asilomar.

SCSMP #5- Consolidates multiple sewer mains and abandons existing sewer mains to tie-over to new sewer main.

SCSMP #8 - This project will include replacing the sewer main to eliminate sags on Carmel Avenue

Fiscal Impact

Non-General Fund, 76-612-6051						
Project	FY 19/20	FY 20/21	FY 21/22	FY 22/23	FY 23/24	Total Project Cost
SCSMP #3	\$1,500,000	-	-	-	-	\$1,500,000
SCSMP #4	\$1,207,000	-	-	-	-	\$1,207,000
SCSMP #5	\$1,027,000	-	-	-	-	\$1,027,000
SCSMP #8	\$1,104,000	-	-	-	-	\$1,104,000
Total	\$4,838,000	-	-	-	-	\$4,838,000

Photos below, as well as additional photos can be found in the City's Sewer Collection System Master Plan.

Photos



Notice of Exemption

Appendix E

To: Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044
County Clerk
County of: Monterey County
PO Box 29
Salinas, CA 93902

From: (Public Agency): City of Pacific Grove
300 Forest Avenue
Pacific Grove, CA 93950
(Address)

FILED

FEB 10 2020

STEPHEN L. VAGNINI
MONTEREY COUNTY CLERK
DEPUTY

2020-0011

Project Title: Sewer Collection System Master Plan Sewer System Improvements (SCSMP Projects # 3, 4, 5, 8)

Project Applicant: Daniel Gho, Public Works Director

Project Location - Specific:

Lighthouse Ave, Crocker Ave, Asilomar Ave, 14th St, and Carmel Ave.

Project Location - City: Pacific Grove Project Location - County: Monterey

Description of Nature, Purpose and Beneficiaries of Project:

This project is comprised of sewer rehabilitation work

Name of Public Agency Approving Project: City of Pacific Grove

Name of Person or Agency Carrying Out Project: City of Pacific Grove

Exempt Status: (check one):

- Ministerial (Sec. 21080(b)(1); 15268);
Declared Emergency (Sec. 21080(b)(3); 15269(a));
Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
Categorical Exemption. State type and section number: 15301 (b)
Statutory Exemptions. State code number:

Reasons why project is exempt:

Exempt because the project is repairing existing sewer infrastructure.

Lead Agency Contact Person: Daniel Gho, Public Works Director Area Code/Telephone/Extension: 831-648-5722

If filed by applicant:

- 1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project? Yes No

Signature: Daniel Gho Date: 2-3-2020 Title: P.W. Director

Signed by Lead Agency Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR:

Governor's Office of Planning & Research

FEB 05 2020

STATE CLEARINGHOUSE

Revised 2011



LEGEND

CIP 3

- Replace Sewer Manhole (6)
- Replace 18-inch Sewer (2,107 FT)
- 2-inch Grind & Overlay (2,420 SY)
- Replace Pavement with 3.5-inch Hot Mix Asphalt (285 SY)
- Slurry Seal-Type II (7,050 SY)

CIP 4

- Replace Sewer Manhole (18)
- Coat Existing Manhole (3)
- Replace Grade Rings & Coat Existing Manhole (3)
- Replace Cone Section, Grade Rings & Lid. Coat Existing Manhole (1)
- Replace 8-inch Sewer (832 FT)
- Coastal Zone



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 SAN LUIS OBISPO, CA 93401
 T 805 544-4011 F 805 544-4294
 www.wallacegroup.us



1 inch=800 feet

CITY OF PACIFIC GROVE
LOCATION MAP
CIP NO. 3 & NO. 4

NOTES: BASEMAP PROVIDED BY CITY OF PACIFIC GROVE. WALLACE GROUP DID NOT PERFORM BOUNDARY SURVEY SERVICES FOR THIS MAP. NOT A LEGAL DOCUMENT. MAP PRODUCED MARCH 2020.





LEGEND

CIP 8 (from Central Av to Oceanview Bl)

-  Replace Sewer Manhole
-  Existing Sewer Manhole
-  Replace 8-inch Sewer (450 FT)
-  Proposed Concrete Ramp/Sidewalk (412 SY)
-  Replace Pavement with 3.5-inch Hot Mix Asphalt (1,694 SY)
-  Coastal Zone

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CITY OF PACIFIC GROVE
LOCATION MAP
PORTION OF CIP NO. 8

NOTES: BASEMAP PROVIDED BY CITY OF PACIFIC GROVE. WALLACE GROUP DID NOT PERFORM BOUNDARY SURVEY SERVICES FOR THIS MAP. NOT A LEGAL DOCUMENT. MAP PRODUCED MARCH 2020.





CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.cityofpacificgrove.org

COASTAL DEVELOPMENT PERMIT (CDP) 20-0149 FOR THE REPLACEMENT OF ± 2,714 FEET OF SEWER MAIN LINE AND MANHOLE COVERS LOCATED WITHIN THE ASILOMAR BLVD. AND CARMEL AVE. RIGHTS-OF-WAY

FACTS

1. The City provides sewer collection services for residences and commercial businesses over an area of approximately 1,414 acres with a population of approximately 15,000 residents. The City's collection and conveyance system consists of approximately 58 miles of pipelines: 57 miles of gravity pipelines, which vary in diameter from 4-inch to 18-inch, and one mile of force mains. Maintenance access to the sewers is provided by 904 manholes and a number of structures, such as clean outs and inspection holes. There are nine sewer lift stations located in the City's service area, seven of which are owned by the City, and two of which are owned by Monterey One Water (MOW), formerly known as Monterey Regional Water Pollution Control Agency. Monterey One Water operates and maintains all nine lift stations. Collected sewage is conveyed via an interceptor pipeline to MOW's regional sewer treatment plant located north of the City of Marina.
2. The City's sewer collection service is a self-sufficient enterprise fund. Revenues are generated from sewer rates, which fund the total cost of service and Capital Improvement projects on an annual basis. At the May 21, 2014, City Council Meeting, the Council received the [Sewer Collection System Master Plan](#) (Plan) which includes nine projects to be completed over the next 10 years.
3. The sewer line and manhole replacement project (Project) is identified in the City's adopted FY 19/20 Capital Improvement Program (CIP). This is a portion of the larger sewer line replacement known as the Sewer Collection System Master Plan and its \$3.3M cost is funded by the Sewer Enterprise Fund.
4. The rights-of-way (ROW) where the project will occur are in both the City's local permit jurisdiction and the Coastal Commission's Appeal jurisdiction. Rights-of-way are not zoned.
5. The project locations are: a) within the Asilomar Blvd ROW between Del Monte Ave and roughly half-way between Jewell and Arena Avenues; and b) within the Carmel Ave ROW between Central Ave and Ocean View Blvd.
6. The subject ROW is located in developed residential areas. The project will not impact any Environmentally Sensitive Habitat Area (ESHA), scenic vistas, historic structures, public access to the coast or other recreational areas, nor will it affect visitor-serving accommodations. Equipment and materials will be staged and stored temporarily either within the ROW or, in the case of the work within the Asilomar Blvd. ROW, within an adjacent City-owned parking area between the road and the golf course.
7. The work subject to this CDP is expected to take 3-4 months from start to finish. Standard traffic control devices will be employed by the Public Works Dept. and the contractor. Temporary road closures and detours may be required on the effected low volume streets.
8. Other work associated with this sewer project, but not considered "development" and, therefore, not included in this CDP includes: new signage, striping and traffic controls at several intersections and sewer work outside the Coastal zone.
9. Construction debris, excess fill, and demolition materials are to be transported by the licensed contractor to a State-approved collection facility.

FINDINGS

1. This project has been determined to be Exempt under California Environmental Quality Act (CEQA) Guidelines, Class 1, Sec. 15301, for Existing Facilities. The exceptions under Section 15300.2 do not apply to the Sec. 15301 exemption. A complete list of examples that can be considered under this exemption can be viewed at [14 CCR Sec. 15301](#).

2. Per PGMC. Section 23.90.080 Required Findings for CDP Approval:

A. **LCP Consistency.** The project is consistent with the LCP.

The repair and maintenance of existing utilities within the public right-of-way (ROW) is consistent with the LCP. The intent of the project is to minimize future sewer line failure that could result in significant impacts to Coastal resources and the environment in general. The project, as designed and conditioned, is consistent with the policies and standards of the LCP, specifically pertaining to public infrastructure.

B. **Public Views.** The project protects or enhances public views.

While construction is underway, there will be minor temporary obstruction of views along the ROW created by the storage of large mechanical equipment, pipe and other materials and storage of fill material. There will be no permanent effect on public views as the work is underground.

C. **Habitat Protection.** The project protects vegetation, natural habitats and natural resources consistent with LCP.

All work will occur within the ROW. Equipment staging and storage throughout the project will occur either within the ROW or, in the case of the Asilomar Blvd. part of the project, in the City-owned parking area adjacent to the golf course near the entrance to the Lighthouse. Construction activities are subject to the standard Best Management Practices (BMPs) required by the City's stormwater permits through the Regional Water Quality Control Board (RWQCB).

D. **Design Consistency.** The design, location, size, and operating characteristics of the proposed development is consistent with applicable LCP design requirements, including design plans and area plans incorporated into the LCP.

The sewer line replacement project will not be visible once completed. The project has been designed by an engineering firm licensed in the State of California and will be subject to inspections by the City and funding entities. The design, location, size and operating characteristics of the replacement sewer line and manhole covers will be substantially the same as the existing facility.

E. **Coastal Access.** The project protects or enhances public access to and along the coast.

The proposed sewer line replacement will have no temporary or permanent effect on access to the coast. Although Asilomar Blvd. is identified in the General Plan as a collector street and Carmel Ave. is a local residential street. There are ample opportunities to access the coast via other nearby roads during construction.

F. **Visitor Serving.** The project supports the LCP goal of providing for visitor-serving needs as appropriate, including providing low and no cost visitor and recreational facilities.

The project will not affect visitor-serving or recreational facilities.

G. **Appropriate Use.** The project is consistent with the allowed LCP uses associated with the property.

The public ROW is intended for use by the public for transportation purposes and for public and private utilities in compliance with PGMC Section 15.30:

Any permanent structure or object of any kind or character placed in, over or under any street, alley, sidewalk, or right-of-way (collectively, the "right-of-way") by a public utility or entity holding a state or local franchise authorizing right-of-way occupancy shall be subject to the control of the city as to matters affecting the health, convenience, and safety of the general public, including but not limited to matters such as the use and repair of public streets, or the location of the poles, wires, mains, or conduits on, under, or above any rights-of-way within the limits of the city. [Ord. 19-002 § 2, 2019].

The sewer replacement project is funded through the City's Sewer Enterprise Fund, is part of the City's Sewer Collection System Master Plan, and is in line with the City Council's Strategic Goal of "City Asset Stewardship". The maintenance project is consistent with the Land Use Plan (LUP) policies of the LCP in Section 3.4 - Infrastructure.

H. **Coastal Resources.** The proposed development protects or enhances coastal resources, where applicable.

The proposed sewer replacement project will neither enhance nor degrade coastal resources; the neglect or postponement of sewer facility maintenance and replacement, however, will negatively affect coastal resources through downstream pollution and contamination resulting from the failure of these.

CONDITIONS OF APPROVAL:

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction and Use Compliance.** All activities must occur in strict compliance with the proposal as set forth in the application for this Coastal Development Permit, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Planning Commission approval.
3. **Work in Public ROW.** All construction equipment and materials shall be installed, maintained and operated in compliance with all applicable public health and safety regulations, which includes without limitation all applicable building and plumbing codes, electrical codes, and stormwater and erosion control requirements of the RWQCB.
4. **Conformance to Plans.** Construction shall conform to approved plans for "Sewer Collection System CIP 3, 4, 5, 8" (portion) submitted to the Community Development Department on March 19, 2020, with the exception of any subsequently approved changes. Subsequent changes shall require City approval and may require further CEQA review.
5. **Tribal Monitor.** Prior to ground disturbing activities, the Contractor or Public Works Director (or designee) shall enter into a contract for Tribal monitoring with the Ohlone-Costanoan Esselen Nation (OCEN).
6. **Archaeological Monitor.** A review of several private and public archaeological assessments prepared for nearby projects (Pt. Pinos Lighthouse, 1977 US Lighthouse Reservation, 2005 Wastewater Collection System/Lover's Point Diversion Project (along Ocean View Blvd Between Lover's Pt and Carmel Ave.), 53 Asilomar Blvd., 25 Asilomar Blvd., 100 Asilomar Blvd.) recommend that a qualified archaeologist be present for all ground disturbing activities. If potentially significant archaeological resources are discovered, the monitor shall be authorized to halt excavation until any finds are properly evaluated. The monitor will also be authorized to discontinue monitoring in soils, such as fill, where cultural resources cannot exist.
7. **Archeology.** If human remains are found at any time, work must be stopped and the Monterey County Coroner must be notified immediately. If the Coroner determines that the remains are Native American, the Native American Heritage Commission will be notified as required by law. The Commission will designate a Most Likely Descendant (MLD) who will be authorized to provide recommendations for management of the Native American human remains and associated materials (Ref: California Public Resources Code Section 5097.98; and Health and Safety Code Section 7050.5).
8. **Signature.** The CDP is not valid and construction shall not commence until a copy of the permit signed by the permittee or authorized agent (Pacific Grove Public Works Director or designee), acknowledging receipt of the permits and acceptance of the terms and conditions, is returned to the Community Development Department.

9. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the Planning Commission and the Permittee to bind all permittees of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made, and the Planning Commission approves, any such amendments pursuant to the Zoning Code regulations.
10. **Conditions of Approval in Plans.** All conditions of approval for the Planning Permit shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.
11. **Traffic Control Plan.** The traffic control plan for road closures or other access control activities shall be approved by the City Engineer.
12. **Stormwater and Erosion Control.** Prior to ground disturbing activities, the construction site and staging areas shall be prepared according to the City's RWQCB Permit(s).
13. **Road, Sidewalk, and Landscape Condition.** All affected roads, sidewalks, and landscaping shall be restored to original or better condition.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF PACIFIC GROVE:

1. The Commission determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Commission authorizes approval of Coastal Development Permit No. 20-0149 for sewer line replacement within portions of the public rights-of-way as indicated on the plans received by the City on March 19, 2020.
3. This permit is subject to the appeal process identified in PGMC Section 23.90.100. The permit is not effective until after the expiration of the 10-day appeal period.
4. This permit shall not take effect until the permittee acknowledges, by his/her signature on this permit, agreement with all terms and conditions and agrees to conform to and comply with those terms and conditions.

PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF PACIFIC GROVE this 14th day of May, 2020, by the following vote:

AYES:

NOES:

ABSENT:

ABSTENTIONS:

APPROVED:

DONALD MURPHY, CHAIR

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Daniel Gho, Public Works Director (or designee)
City of Pacific Grove

Date

Best Management Practices

SCHEDULE FOR BMP IMPLEMENTATION

Table 1.1 BMP Implementation Schedule

	BMP	Implementation	Duration
Erosion Control	EC-1, Scheduling	Prior to Construction	Entirety of Project
	EC-2, Preservation of Existing Vegetation	Start of Construction	Entirety of Project
	EC-7, Geotextiles & Mats	Start of Construction	Entirety of Project
Sediment Control	SE-5, Fiber Rolls	Prior to Construction	Entirety of Project
	SE-8, Sandbag Barrier	Prior to Construction	Entirety of Project
	SE-10, Storm Drain Inlet Protection	Prior to Construction	Entirety of Project
Tracking Control	TC-1, Stabilized Construction Entrance/Exit	Prior to Construction	Entirety of Project
	SE-7, Street Sweeping and Vacuuming	Start of Construction	Entirety of Project
Wind Erosion	WE-1, Wind Erosion Control	Prior to Construction	Entirety of Project
	WM-3, Stockpile Management	Prior to Construction	Entirety of Project
	NS-1, Water Conservation Practices	Prior to Construction	Entirety of Project

1.2 EROSION AND SEDIMENT CONTROL

Erosion and sediment controls are required by the General Permit to provide effective reduction or elimination of sediment related pollutants in stormwater discharges and authorized non-stormwater discharges from the Site. Applicable BMPs are identified in this section for erosion control, sediment control, tracking control, and wind erosion control.

1.2.1 Erosion Control

Erosion control, also referred to as soil stabilization, consists of source control measures that are designed to prevent soil particles from detaching and becoming transported in stormwater runoff. Erosion controls and BMPs should protect the soil surface by covering and/or binding soil particles.

This construction project will implement the following practices to provide effective temporary and final erosion control during construction:

2. The area of soil disturbing operations shall be controlled such that the Contractor is able to implement erosion control BMPs quickly and effectively.
3. Stabilize non-active areas within 14 days of cessation of construction activities or sooner if stipulated by local requirements.
4. Control erosion in concentrated flow paths by applying erosion control blankets, check dams, erosion control seeding or alternate methods.
5. Prior to the completion of construction, apply permanent erosion control to remaining disturbed soil areas.

Sufficient erosion control materials shall be maintained onsite to allow implementation in conformance with this SWPPP.

The following temporary erosion control BMP selection table indicates the BMPs that shall be implemented to control erosion on the construction site. Fact Sheets for temporary erosion control BMPs are provided in Appendix H.

Table 1.2 Temporary Erosion Control BMPs

CASQA Fact Sheet	BMP Name	Meets a Minimum Requirement ⁽¹⁾	BMP Used		If not used, state reason
			YES	NO	
EC-1	Scheduling	x	X		
EC-2	Preservation of Existing Vegetation	x	X		
EC-3	Hydraulic Mulch	x ⁽²⁾		X	Not applicable to this project
EC-4	Hydroseed	x ⁽²⁾		X	Not applicable to this project
EC-5	Soil Binders	x ⁽²⁾		X	Not applicable to this project
EC-6	Straw Mulch	x ⁽²⁾		X	Not applicable to this project
EC-7	Geotextiles and Mats	x ⁽²⁾	X		
EC-8	Wood Mulching	x ⁽²⁾		X	Not applicable to this project
EC-9	Earth Dike and Drainage Swales	x ⁽³⁾		X	Not applicable to this project
EC-10	Velocity Dissipation Devices			X	Not applicable to this project
EC-11	Slope Drains			X	Not applicable to this project
EC-12	Stream Bank Stabilization			X	Not applicable to this project
EC-14	Compost Blankets	x ⁽²⁾		X	Not applicable to this project
EC-15	Soil Preparation-Roughening			X	Not applicable to this project
EC-16	Non-Vegetated Stabilization	x ⁽²⁾		X	Not applicable to this project
WE-1	Wind Erosion Control	x	X		
Alternate BMPs Used:					If used, state reason:
⁽¹⁾ Applicability to a specific project shall be determined by the QSD. ⁽²⁾ The QSD shall ensure implementation of one of the minimum measures listed or a combination thereof to achieve and maintain the Risk Level requirements. ⁽³⁾ Run-on from offsite shall be directed away from all disturbed areas, diversion of offsite flows may require design/analysis by a licensed civil engineer and/or additional environmental permitting					

These temporary erosion control BMPs shall be implemented in conformance with the following guidelines and as outlined in the CASQA BMP Manual Factsheets . If there is a conflict between documents, the Site Map will prevail over narrative in the body of a site specific SWPPP or guidance in the BMP Fact Sheets. Site specific details in the Site Map prevail over standard details included in the Site Map. The narrative in the body of the SWPPP prevails over guidance in the BMP Fact Sheets.

EC-1, Scheduling

The Contractor shall sequence construction activities and deployment of BMPs to follow the progress of grading and construction and reduce the discharge of sediment and pollutants to storm drain facilities or watercourses. As the locations of soil disturbance change, erosion and sedimentation controls will be adjusted accordingly to control stormwater runoff downstream of the work area.

EC-2, Preservation of Existing Vegetation

The Contractor shall protect and preserve existing vegetation in/adjacent to the work area, and inform onsite personnel of work limits. Sensitive areas will be preserved with construction fencing. The construction schedule will be arranged as much as practicable to leave existing vegetation undisturbed until immediately prior to grading.

EC-7, Geotextiles and Mats

Plastic covers will be used to cover exposed soil and stockpiled material areas. Covers will be placed over stockpiles prior to forecasted storm events, and anchored to prevent damage by wind. Plastic sheeting or metal trays will be used under equipment to catch drips when equipment is not in use.

WE-1, Wind Erosion Control

This BMP will be implemented to provide dust control and prevent discharges from dust control activities and water supply equipment. Water application areas and application rates will be minimized as necessary to prevent runoff or ponding. Water equipment leaks will be repaired

1.2.2 Sediment Controls

Sediment controls are temporary or permanent structural measures that are intended to complement the selected erosion control measures and reduce sediment discharges from active construction areas. Sediment controls are designed to intercept and settle out soil particles that have been detached and transported by the force of water.

The following sediment control BMP selection table indicates the BMPs that shall be implemented to control sediment on the construction site. Fact Sheets for temporary sediment control BMPs are provided in the CASQA BMP Manual.

Table 1.3 Temporary Sediment Control BMPs

CASQA Fact Sheet	BMP Name	Meets a Minimum Requirement ⁽¹⁾	BMP used		If not used, state reason
			YES	NO	
SE-1	Silt Fence	x ⁽²⁾⁽³⁾	X		As needed
SE-2	Sediment Basin			X	Not applicable to this project
SE-3	Sediment Trap			X	Not applicable to this project
SE-4	Check Dams			X	Not applicable to this project
SE-5	Fiber Rolls	x ⁽²⁾⁽³⁾	X		
SE-6	Gravel Bag Berm	x ⁽³⁾		X	Using SE-5, SE-8
SE-7	Street Sweeping	x	X		
SE-8	Sandbag Barrier		X		
SE-9	Straw Bale Barrier			X	Not applicable to this project
SE-10	Storm Drain Inlet Protection	x RL2&3	X		
SE-11	ATS			X	Not applicable to this project
SE-12	Manufactured Linear Sediment Controls			X	Not applicable to this project
SE-13	Compost Sock and Berm	x ⁽³⁾		X	Not applicable to this project
SE-14	Biofilter Bags	x ⁽³⁾		X	Not applicable to this project
TC-1	Stabilized Construction Entrance and Exit	x	X		
TC-2	Stabilized Construction Roadway			X	Not applicable to this project
TC-3	Entrance Outlet Tire Wash			X	Not applicable to this project
Alternate BMPs Used:					If used, state reason:
<p>⁽¹⁾ Applicability to a specific project shall be determined by the QSD ⁽²⁾ The QSD shall ensure implementation of one of the minimum measures listed or a combination thereof to achieve and maintain the Risk Level requirements ⁽³⁾ Risk Level 2 & 3 shall provide linear sediment control along toe of slope, face of slope, and at the grade breaks of exposed slope</p>					

These temporary sediment control BMPs shall be implemented in conformance with the following guidelines and in accordance with the BMP Fact Sheets provided in CASQA Manual. If there is a conflict between documents, the Site Map will prevail over narrative in the body of the SWPPP or guidance in the BMP Fact Sheets. Site specific details in the Site Map prevail over standard details included in the Site Map. The narrative in the body of the SWPPP prevails over guidance in the BMP Fact Sheets.

SE-1, Silt Fence

A **silt fence**, sometimes (misleadingly) called a "filter **fence**," is a temporary sediment control device used on construction sites to protect water quality in nearby streams, rivers, lakes and seas from sediment (loose soil) in stormwater runoff.

SE-5, Fiber Rolls

During construction, fiber rolls will be deployed along the perimeter to prevent storm water runoff from exiting the excavation area. Sand bags or fiber rolls will also be deployed along slopes. During the non-rainy season, in the event of a predicted storm, fiber rolls will be maintained on-site.

SE-7, Street Sweeping

Road sweeping and vacuuming will start at the beginning of construction activities will occur during soil hauling and as necessary to keep street surfaces clear of soil and debris. Washing of sediment tracked onto streets into storm drains will not be allowed.

SE-8, Sandbag Barrier

During construction, sandbag barriers will be deployed along the perimeter to prevent storm water runoff from exiting the excavation area. Sandbags or fiber rolls will also be deployed along slopes. During the non-rainy season, in the event of a predicted storm, sandbags will be maintained on-site.

SE-10, Storm Drain Inlet Protection

Storm drain inlet protection will be used at all operational internal inlets to the storm drain system during the rainy season.

TC-1, Stabilized Construction Entrance and Exit

1.3 NON-STORMWATER CONTROLS AND WASTE AND MATERIALS MANAGEMENT

1.3.1 Non-Stormwater Controls

Non-stormwater discharges into storm drainage systems or waterways, which are not authorized under the General Permit, are prohibited. Non-stormwater discharges for which a separate NPDES permit is required by the local Regional Water Board are prohibited unless coverage under the separate NPDES permit has been obtained for the discharge. The selection of non-stormwater BMPs is based on the list of construction activities with a potential for non-stormwater discharges identified in Section 2.7 of this SWPPP.

The following non-stormwater control BMP selection table indicates the BMPs that shall be implemented to control sediment on the construction site. Fact Sheets for temporary non-stormwater control BMPs are provided in the CASQA Manual.

Table 1.4 Temporary Non-Stormwater BMPs

CASQA Fact Sheet	BMP Name	Meets a Minimum Requirement ⁽¹⁾	BMP used		If not used, state reason
			YES	NO	
NS-1	Water Conservation Practices	x	X		
NS-2	Dewatering Operation			X	Not applicable to this project
NS-3	Paving and Grinding Operation		X		
NS-4	Temporary Stream Crossing			X	Not applicable to this project
NS-5	Clear Water Diversion			X	Not applicable to this project
NS-6	Illicit Connection/Discharge	x	X		
NS-7	Potable Water/Irrigation		X		
NS-8	Vehicle and Equipment Cleaning	x	X		
NS-9	Vehicle and Equipment Fueling	x		X	Not applicable to this project
NS-10	Vehicle and Equipment Maintenance	x	X		
NS-11	Pile Driving Operation			X	Not applicable to this project
NS-12	Concrete Curing		X		
NS-13	Concrete Finishing		X		
NS-14	Material and Equipment Use Over Water			X	Not applicable to this project
NS-15	Demolition Removal Adjacent to Water			X	Not applicable to this project
NS-16	Temporary Batch Plants			X	Not applicable to this project
Alternate BMPs Used:			If used, state reason:		
⁽¹⁾ Applicability to a specific project shall be determined by the QSD					

Non-stormwater BMPs shall be implemented in conformance with the following guidelines and in accordance with the BMP Fact Sheets provided in the CASQA Manual. If there is a conflict between documents, the Site Map will prevail over narrative in the body of the SWPPP or guidance in the BMP Fact Sheets. Site specific details in the Site Map prevail over standard details included in the Site Map. The narrative in the body of the SWPPP prevails over guidance in the BMP Fact Sheets.

NS-1, Water Conservation Practices

During construction, activities utilizing water will be performed in a manner that reduces/eliminates non-stormwater discharges by not causing erosion or transporting pollutants offsite.

NS-3, Paving and Grinding Operation

The BMP will be implemented to prevent paving materials from being discharged off-site. Covers consisting of scrap carpeting placed over and tucked under each inlet grate will be placed over each inlet adjacent to paving operations. Following paving operations, the area will be swept, inlet covers will be removed, and the inlets will be inspected for paving materials.

NS-6, Illicit Connection- Illegal Discharge Connection

The Contractor will implement procedures throughout the duration of the project to recognize and report illicit connections and illegal discharges.

NS-7, Potable Water Irrigation Discharge Detection

Water from pipe flushing will be directed offsite minimizing contact with the construction site and reused for landscaping when feasible.

NS-8, Vehicle and Equipment Cleaning

Except for concrete washout, vehicle cleaning will not be performed on-site.

NS-10, Vehicle and Equipment Maintenance

Drip pans or absorbent pads will be used for all vehicle and equipment maintenance activities that involve grease, oil, solvents, or other vehicle fluids. All vehicle maintenance will be conducted at least 50 feet from operational inlets and drainage facilities on a level graded area.

NS-12, Concrete Curing

Proper procedures to reduce or eliminate the contamination of stormwater runoff during concrete curing will be used for the duration of construction.

NS-13, Concrete Finishing

Proper procedures to minimize the impact that concrete-finishing methods may have on stormwater and non-stormwater discharges will be implemented.

1.3.2 Materials Management and Waste Management

Materials management control practices consist of implementing procedural and structural BMPs for handling, storing and using construction materials to prevent the release of those materials into stormwater discharges. The amount and type of construction materials to be utilized at the Site will depend upon the type of construction and the length of the construction period. The

materials may be used continuously, such as fuel for vehicles and equipment, or the materials may be used for a discrete period, such as soil binders for temporary stabilization.

Waste management consist of implementing procedural and structural BMPs for handling, storing and ensuring proper disposal of wastes to prevent the release of those wastes into stormwater discharges.

Materials and waste management pollution control BMPs shall be implemented to minimize stormwater contact with construction materials, wastes and service areas; and to prevent materials and wastes from being discharged off-site. The primary mechanisms for stormwater contact that shall be addressed include:

- Direct contact with precipitation
- Contact with stormwater run-on and runoff
- Wind dispersion of loose materials
- Direct discharge to the storm drain system through spills or dumping
- Extended contact with some materials and wastes, such as asphalt cold mix and treated wood products, which can leach pollutants into stormwater.

A list of construction activities is to be provided as planning proceeds. The following Materials and Waste Management BMP selection table indicates the BMPs that shall be implemented to handle materials and control construction site wastes associated with these construction activities. Fact Sheets for Materials and Waste Management BMPs are provided in the CASQA BMP Manual

Table 1.5 Temporary Materials Management BMPs

CASQA Fact Sheet	BMP Name	Meets a Minimum Requirement ⁽¹⁾	BMP used		If not used, state reason
			YES	NO	
WM-1	Material Delivery and Storage	x	X		
WM-2	Material Use	x	X		
WM-3	Stockpile Management	x	X		
WM-4	Spill Prevention and Control	x	X		
WM-5	Solid Waste Management	x	X		
WM-6	Hazardous Waste Management	x	X		
WM-7	Contaminated Soil Management			X	Not applicable to this project
WM-8	Concrete Waste Management	x	X		
WM-9	Sanitary-Septic Waste Management	x	X		
WM-10	Liquid Waste Management			X	Not applicable to this project
Alternate BMPs Used:				If used, state reason:	
⁽¹⁾ Applicability to a specific project shall be determined by the QSD.					

Material management BMPs shall be implemented in conformance with the following guidelines and in accordance with the BMP Fact Sheets provided in the CASQA Manual. If there is a conflict between documents, the Site Map will prevail over narrative in the body of the SWPPP or guidance in the BMP Fact Sheets. Site specific details in the Site Map prevail over standard details included in the Site Map. The narrative in the body of the SWPPP prevails over guidance in the BMP Fact Sheets.

WM-1, Material Delivery and Storage

These BMPs will be implemented to help prevent discharges of construction materials during delivery, storage, and use. Watertight shipping containers will be used to store hand tools, small parts, and most construction materials that can be carried by hand. Very large items will be stored in the open in the general storage area. Such materials will be elevated with wood blocks to minimize contact with stormwater.

WM-2, Material Use

Procedures will be implemented to help prevent discharges of construction materials during use. Erodible landscape materials will not be applied within two days of a forecasted rain event or during periods of precipitation.

WM-3, Stockpile Management

Procedures will be implemented to reduce or eliminate pollution of stormwater from stockpiles of soil and paving materials. All stockpiles not actively being used will be contained with sediment control berms. Stockpiled construction and waste materials will be contained and securely protected from rain at all times unless they are actively being used.

WM-4, Spill Preservation and Control

Equipment and materials for cleanup of spills will be available on-site and spills and leaks shall be cleaned up immediately and disposed of properly to prevent material discharges to the storm drain system. Appropriate spill response personnel will be assigned and trained.

WM-5, Solid Waste Management

Solid wastes will be loaded directly into trucks for off-site disposal. When on-site storage is necessary, solid wastes will be stored in watertight dumpsters in the general storage area of the Contractor's yard. Rubble will be stockpiled in the general storage area, surrounded with sediment controls, and covered when necessary. Solid waste will be removed and disposed off-site at least weekly. All waste disposal containers will be covered at the end of every business day and during all rain events.

WM-6, Hazardous Waste Management

Hazardous wastes will be stored in the shipping containers or covered containment area discussed in WM-1. Hazardous wastes will be in appropriately and clearly marked containers and segregated from other non-waste materials. All waste disposal containers will be covered at the end of every business day and during all rain events.

WM-8, Concrete Waste Management

Concrete pours will not be conducted during or immediately prior to rainfall events. Concrete washout areas shall be constructed at-grade in the Contractor's yard to contain pollutants so there is no discharge into the underlying soil or onto the surrounding areas. The minimum-sized washout, to be determined and will provide more than sufficient volume to contain concrete washout wastes and waste collected from concrete saw-cutting operations. Maintenance, waste disposal, and BMP removal will be conducted as described in WM-8.

WM-9, Sanitary-Septic Waste Management

If needed, portable toilets will be located and maintained for the duration of the project. Weekly maintenance will be required, and wastes will be disposed off-site. The toilets will be located away from concentrated flow paths and traffic flow.

1.4 POST CONSTRUCTION STORMWATER MANAGEMENT MEASURES

Post construction BMPs are permanent measures installed during construction, designed to reduce or eliminate pollutant discharges from the site after construction is completed.

This site is located in an area subject to a Phase I or Phase II Municipal Separate Storm Sewer System (MS4) permit approved Stormwater Management Plan. X Yes

The Low Impact Development BMP method is "infiltration". Post-construction BMPs for this and future projects are to be determined:

Good Housekeeping

Proper handling and managing of construction materials can help minimize threats to water quality. The discharger must consider good housekeeping measures for: construction materials, waste management, vehicle storage & maintenance, landscape materials, and potential pollutant sources. Examples include; conducting an inventory of products used, implementing proper storage & containment, following BMPs and properly cleaning all leaks from equipment and vehicles.

CONSTRUCTION SITE BEST MANAGEMENT PRACTICES

THE FOLLOWING BMPs MUST BE PROPERLY USED AT ALL CONSTRUCTION SITES TO PROTECT STORM DRAINS AND MINIMIZE POLLU-

The Monterey Regional Stormwater Management Program (MRSWMP) prohibits pollutant discharges at work sites from flowing into storm drains and polluting neighborhood creeks, rivers, and the ocean. To comply with the law and keep your project on schedule, make sure proper BMPs are in place and functioning. Sites must be checked and maintained daily. The following BMPs are recommended; they are not all-inclusive. Refer to references indicated on the front of this brochure for additional BMPs.

PAINT AND STUCCO

All paint and stucco material stored on the site must be contained and covered. It is illegal to dump unused paint or stucco in the sewer or storm drain system. Do not wash out brushes in the street or dump any residues in the storm drain. Paint brushes and spray guns must be washed/cleaned out into a hazardous materials drum or back into the original container and disposed of properly.

PERIMETER CONTROLS

Gravel bags, silt fences and straw wattles (weighted down) are acceptable perimeter controls, and must be used to surround the entire site. Avoid running over perimeter controls with vehicles or heavy equipment as they can damage the materials. Keep extra absorbent materials and/or wet-dry vacuum on site to quickly pick up unintended spills.

BUILDING MATERIALS/STAGING AREAS

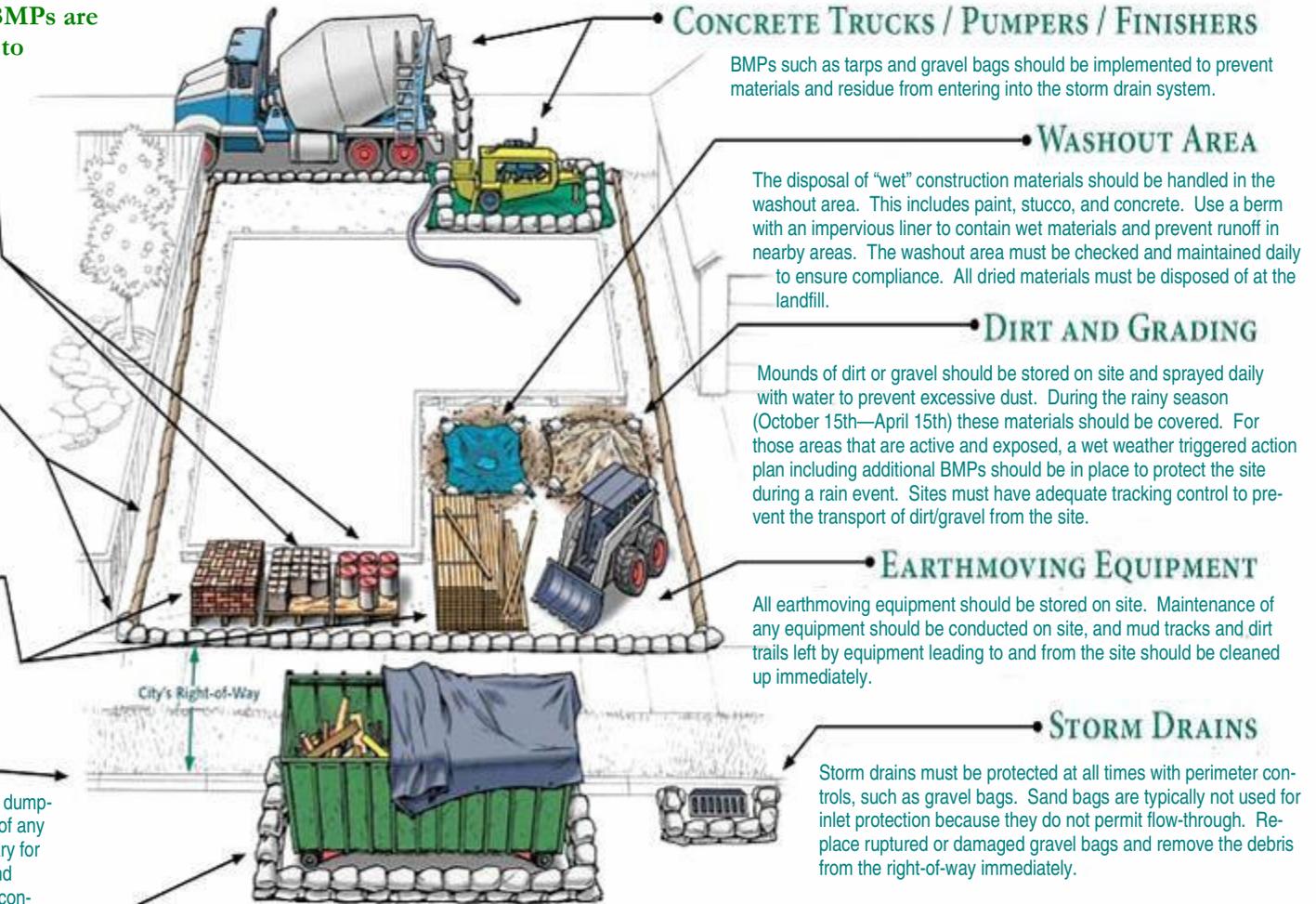
Construction material must be stored on site at all times. Building materials should always be covered when not in use to prevent runoff caused by wind or rain. Flooding must also be prevented by monitoring the site before, during, and after rain events to ensure that BMPs are functioning and that there are no safety issues.

TRAFFIC CONTROL PERMITS

Prior to staging any materials or equipment in the right-of-way (such as dumpsters or trucks), please contact the applicable local jurisdiction to learn of any temporary encroachment permit or traffic control requirements necessary for right-of-way staging and loading areas, applicable stormwater BMPs and safety plan review requirements. Provide a stabilized vehicle path with controlled access to prevent tracking of dirt offsite. Properly size site entrance BMPs for anticipated vehicles.

DUMPSTERS

Always cover dumpsters with a rollback tarp. Areas around dumpsters should be swept daily. Perimeter controls around dumpster areas should be provided if pollutants are leaking or discharging from the dumpster.



Protecting water resources improves and preserves quality of life for our children and future generations.

Questions? Contact the local Public Works Dept. in the jurisdiction your project resides or the MRSWMP Program Manager.



TRAFFIC CONTROL GENERAL NOTES:

It is the contractor's responsibility to assure that all traffic control plans and traffic control devices are in compliance with the CAMUTCD standards.

Minimum width of temporary traffic lane is 10 feet clear (from delineator or cone base, not center).

The City Traffic Engineer or his representative has the authority to make any field changes to assure public safety.

All traffic control devices shall be removed from view when not in use, signs should not be facing traffic when not in use. All temporary traffic delineation used shall be thirty-six inches (36") tall minimum (delineators or cones), retroreflective bands are required. Spacing of channelizing devices should not exceed 25'.

Any work that creates an undue safety risk or creates severe congestion may be shut down by the City Traffic Engineer, his representative, Field Inspector or Police Department personnel.

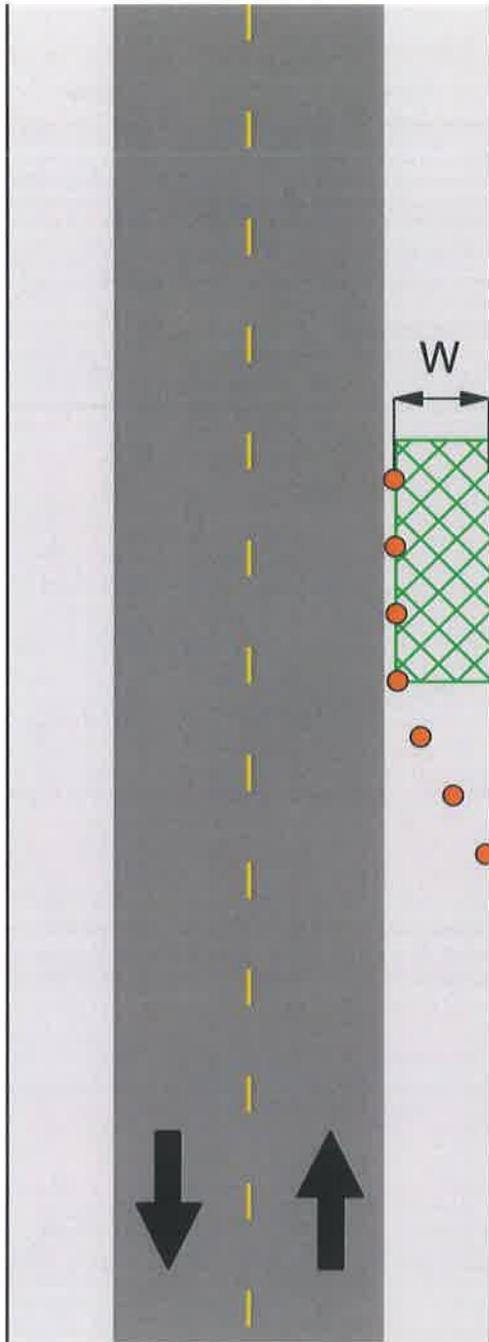
Any road closure also requires notification be provided to the Fire Department, as well as the Police Department. Notifications can be made at the non emergency number at 831-647-7900.

Any work that disturbs normal traffic signal operations shall be coordinated with the Streets Division and City Traffic Engineer. A request to place a signalized intersection on flash shall be authorized by the City Traffic Engineer or his/her representative and coordinated with the Streets Department.

The Contractor is responsible for restoring the road back to satisfactory condition including, but not limited to, paving, striping, markings and signs within five (5) calendar days of completion of work at affected intersections or road segments.

Vehicle detectors and pedestrian push-buttons shall remain in effective operation at all times during the progress of the work on an existing actuated traffic signal system, except as indicated in the special provisions, or as provided herein. Vehicle detectors or pedestrian push-buttons taken out of service shall be repaired or replaced within 72 hours unless otherwise authorized by the City Traffic Engineer. Where worksite conditions do not permit the installation of permanent vehicle detectors within 72 hours, temporary vehicle detectors or vehicle detection cameras shall be installed, at the Contractor's expense, as directed by the City Traffic Engineer. Permanent vehicle detectors shall be installed as soon as worksite conditions permit.

Shoulder Taper



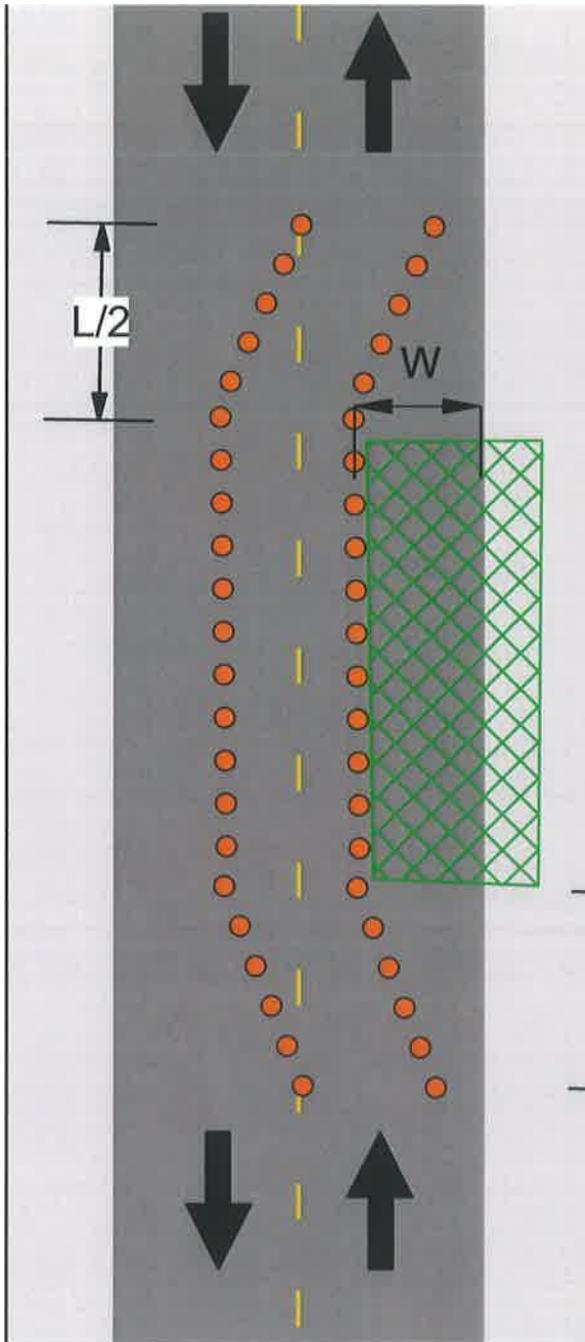
L = Taper Length
S = Posted Speed
W = Displacement Width

$$L = \frac{W \times S \times S}{60}$$

(40 mph or less)

Shoulder Taper $\frac{W \times S \times S}{180}$

Shift Taper



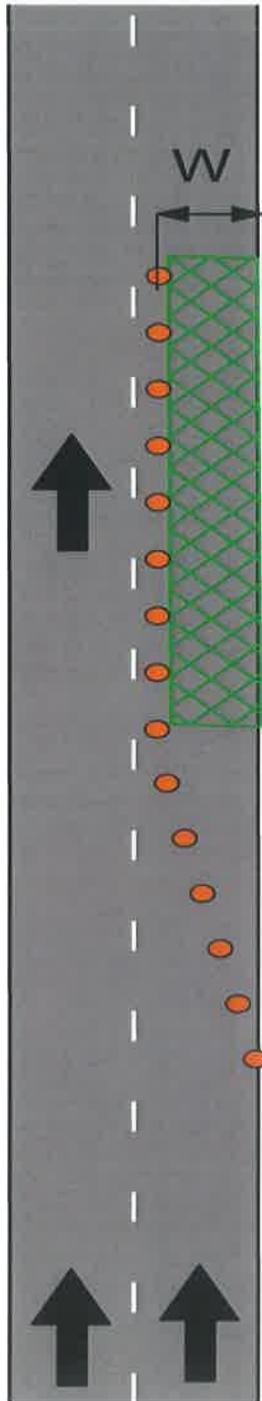
L = Taper Length
S = Posted Speed
W = Displacement Width

$$L = \frac{W \times S \times S}{60}$$

(40 mph or less)

Shift Taper $\frac{W \times S \times S}{120}$

Merge Taper



L = Taper Length
S = Posted Speed
W = Displacement Width

$$L = \frac{W \times S \times S}{60}$$

(40 mph or less)





CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Application # CDP 20-0149

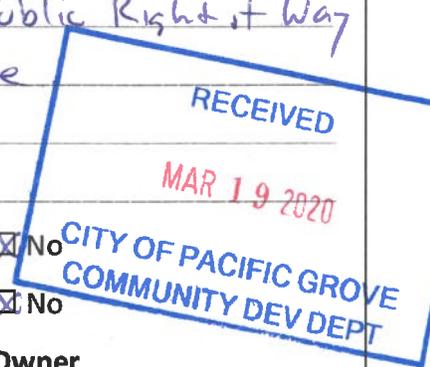
Date: 3-19-2020

Total Fees: w/a

APPLICANT/OWNER:

Project Address: Public right of way (varies see map) APN: Public Right of Way

Project Description: repair and replace sewer pipe C.I.P. #3, 4, 5, & 8.



Will the project create, add, or replace impervious surface? Yes No

Will the project impact any tree(s) on site? Yes No

Applicant

Name: Milar Smith, Deputy Director
Phone: 831-648-3188
Email: msmith@cityofpg.org
Mailing Address: 300 Forest Ave
P.G., CA 93950

Owner

Name: City of Pacific Grove
Phone: 831-648-3188
Email: msmith@cityofpg.org
Mailing Address: 300 Forest Ave
P.G., CA 93950

Permit Request:

- | | | | |
|----------------------------|--------------------------|---|----------------------------|
| CRD: Counter Determination | SP: Sign Permit | IHS: Initial Historic Screening | VAR: Variance |
| AP: Architectural Permit | UP: Use Permit | HPP: Historic Preservation | MMP: Mitigation Monitoring |
| AAP: Administrative AP | AUP: Administrative UP | A: Appeal | Other: _____ |
| ADC: Arch Design Change | CDP: Coastal Dev. Permit | TPD: Tree Permit W/ Dev't | Other: _____ |
| ASP: Admin Sign Permit | LLA: Lot Line Adjustment | <input checked="" type="checkbox"/> CDP Waiver/Admin. CDP | Other: _____ |

PLANNING STAFF USE ONLY:

CEQA Determination:

- Exempt
- Initial Study & Mitigated Negative Declaration
- Environmental Impact Report

Review Authority:

- | | |
|-------|--|
| Staff | HRC |
| ZA | <input checked="" type="checkbox"/> PC |
| SPRC | CC |
| ARB | _____ |

Active Permits:

- Active Planning Permit
- Active Building Permit
- Active Code Violation
- Permit #: _____

Overlay Zones:

- Butterfly Zone
- Area of Special Biological Significance (ASBS)
- Environmentally Sensitive Habitat Area (ESHA)

Property Information Road ROW

Lot: _____ Block: _____ Tract: _____
 ZC: _____ GP: _____ Lot Size: _____
 Historic Resources Inventory Archaeologically Sensitive Area CDP Appeal Jurisdiction (partial)

Staff Use Only:

Received by: _____
Assigned to: _____

iWork Ref: 12345 Asilomar Blvd

INDEMNIFICATION CONDITION

In consideration for City review and approval of application in this matter, the Owner/Applicant shall indemnify, defend, protect and hold harmless the City, its elected and appointed officials, officers, agents, and employees (collectively "Indemnitees"), using counsel approved in writing by the City, from and against, any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorneys' fees and disbursements which may accrue against Indemnitees by reason of the City's processing, approval or denial of the request and application in this matter. Indemnification shall include, but shall not be limited to any action, or proceeding brought to attack, set aside, void, annul, limit, or inhibit the approval of the application referenced above, and shall expressly include causes of action under the California Environmental Quality Act (CEQA), the National Environmental Policy Act (NEPA), or the CA Coastal Act.

The obligation to indemnify shall include, but not be limited to, all costs relating to preparing administrative records, investigations, responses to discovery, retention of experts, and other costs, including attorney's fees or obligations related to this matter, including actions brought by the Owner/Applicant and also extend to any expense incurred in establishing the City's right to indemnification. City expenses shall be paid by Owner/Applicant upon City request notwithstanding final disposition of the matter has not yet occurred. If the City is later determined to not be entitled to indemnification, the City shall repay amounts so advanced.

This indemnification condition is the Owner/Applicant's inducement to the City to process and approve the application, which approval would otherwise be withheld by City due to its concern for liability or expense that may result from performance of the City's duties. Should any dispute arise regarding interpretation of this condition, the prevailing party shall recover all reasonable costs incurred, including court costs, attorney fees and related expenses. Recovery of expenses shall be as additional costs awarded to the prevailing party, and shall not require initiation of a separate legal proceeding.

This indemnification condition shall not require the Owner/Applicant to indemnify the City or other Indemnities: (a) to the extent that an obligation is actually paid by an insurer pursuant to an insurance policy; (b) in connection with any remuneration paid to the City, if it shall be finally adjudged that such remuneration was in violation of law; or (c) on account of the City's misconduct if such misconduct shall be finally adjudged to have been knowingly fraudulent, deliberately dishonest or willful.

Any permit or other approval given by the City to the Owner/Applicant Guarantor shall be valid only so long as this indemnification condition is given full force and effect. If this indemnification condition is revoked, the permit or other approval of the City shall then become null and void.

Owner/Applicant represents it (and any subsidiary) is (a) duly formed and organized, (b) validly existing and in good standing under state law, and (c) has all necessary power to execute and deliver this document and perform its obligations. Owner/Applicant also represents it is authorized to enter into this agreement by all requisite partnership, corporate or other action, and its terms are a valid and legally binding obligation. Neither execution nor delivery of this document nor performance of its obligations will violate any law or provision of any agreement, articles of incorporation, by-laws or other organizational or governing documents relating to Owner/Applicant, nor conflict with any court order relating to Owner/Applicant.

Applicant Signature: 

Date: 3/19/2020

Owner Signature (Required): 

Date: 3/19/2020



CITY OF PACIFIC GROVE COASTAL DEVELOPMENT PERMIT APPLICATION & SUBMITTAL CHECKLIST

Instructions

Please submit a complete application packet including this form with all of the items checked below. If one or more of the items is not applicable to your project, please mark with "not applicable" or "n/a". All exhibits must be clear, legible, and to scale where appropriate.

Incomplete applications will not be accepted for filing.

RECEIVED
MAR 19 2020
CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

Checklist

This checklist is provided for the convenience of applicants in gathering necessary application materials. Additional material may be required prior to issuance of a Coastal Development Permit (CDP). For example, preliminary title reports, land surveys, biological/archaeological/botanical reports, restoration plans, and other reports or plans may be required based on the scope of the project.

- A completed standard City of Pacific Grove Community Development **Planning Permit Application** including the **Indemnification Form** signed by the applicant and property owner
- The **Plan Set** shall include: a **Site Plan** meeting the requirements of the **Submittal Checklist Form**; ~~Architectural Elevations of all sides of the structure and including accessory buildings; (1) oblique street-view architectural rendering if the site is flat or a minimum of (2) views if the site is located in the Asilomar Dunes Residential Area (ADRA), including at least (1) view from Sunset Dr.; and a completed Project Data Sheet. Note that the installation of story poles and netting will be required during the public notice period.~~ } *NA*
- One (1) full-size (24" x 36") scaled plan set, two (2) 11" x 17" scaled sets, and a digital set of plans (thumb drive, disc, or email). Please include digital versions of ALL of the application materials as part of your **Electronic Submittal**. Include a **Vicinity Map** on the site plan. Additional copies may be needed for hearings.
- Required Technical Reports** (biological/archaeological/botanical reports, geotechnical reports, grading plan, etc.) *sent 3/20/2020 via email*
- Filing Fee** *n/a*
- Project Description:** (Describe the project in detail including secondary improvements such as grading, removal or alteration of septic tanks, roads, driveways, tree removal and/or pruning, accessory buildings, fences, etc. Attach additional pages as necessary)

(See attached) Sewer collection system improvements

Project Location: various **Assessor Parcel No:** n/a (ROW)
(street address)

Present Use of the property:
Are there existing buildings? Yes No If yes, please describe: _____
Road ROW

Will any existing buildings be removed or demolished? Yes No If yes, please describe:
Road ROW

Is the proposed development governed by a Development Agreement? Yes No
 Has any application for development on this site been made in the past to the CA Coastal Commission or the CA Coastal Zone Conservation Commission? Yes No
If yes, please list application #s: _____

Coastal Access: Is the proposed development within the first public road and the sea or Monterey Bay? Yes No If yes, is there currently public access to the shoreline on or near the site? Please describe:

Waters: Does the project involve diking, filling, draining, dredging or placing structures in open coastal or Monterey Bay waters, wetlands, or estuaries? Yes No
If yes, state the amount of fill in cubic yards (cy) _____. What is the location of the fill receiving site? _____
Is an **Army Corps (USACE)** permit required? Yes No

Will the project effect Public Access to and along the shoreline, either directly or indirectly (i.e., removing parking used for access to the beach)? Yes No
If yes, describe the impact: _____

Please check the following **Utilities** that will need to be extended to the proposed development: n/a
 Water Sewer Electrical Natural Gas Telephone

Is the proposed development in or near the **Asilomar Dunes Residential Area (ADRA)**? Yes No If yes, additional technical reports will be required.

- Is the development within an **Environmentally Sensitive Habitat Area (ESHA)** including areas with state or federally listed rare, threatened, or endangered species, or candidate species? *Road ROW*
 - Yes No If yes, additional technical reports will be required.
- If the development is proposed to: a) alter a spring or stream in any way; or b) effect an existing well (either onsite or offsite), contact the Planning Department for additional requirements. *n/a*
- Will the proposed development be **visible from Sunset Drive** or other mapped scenic resource areas? Yes No *temp. construction may be visible.*
- Include any **Tree Removal or Pruning** required (a separate permit may be required). Note the number, size, species of tree (s), and whether heavy equipment will be necessary for tree project (refer to the Tree Permit requirements on City's Public Works website) *n/a*
- Is the development in or near a park or other recreation area? Yes No *golf course, parks*
- Is this a **City Public Works** project or a project being undertaken by another public agency? Yes No If yes, please contact the Planning Division for additional requirements relating to grading, dredging, fill, use of heavy equipment, additional non-City permit requirements, etc.
see Scope of Work attached
- Will the development extend onto or adjoin any beach, tidelands, submerged lands, or public trust lands? Yes No If yes, please consult with Planning staff for additional requirements.
- If the site contains any of the following resources, attach an explanation: *n/a*
 - Buildings on the City's Historic Resources Inventory (HRI), or more than 50 years old;
 - Archaeological resources; and/or *tribal monitoring included*
 - Paleontological resources *in project*
- Does the project include the development of new **Lodging** or the alteration of existing **Low-Cost Visitor Accommodations and/or Recreation Facilities**? Yes No
If yes, describe how the project complies with the requirements of PGMC Sec. 23.90.220 _____
- Will the development provide public or private recreational opportunities?
 - Yes No

Is any Grading proposed? Yes No If yes, complete the following table:

a) Amount of cut: ___ cubic yards (cy)	d) Max. height of cut slope: ___ ft.
b) Amount of fill: ___ cy	e) Max. Height of fill slope: ___ ft.
c) Amount of import or export: ___ cy (circle which one)	f) Location of borrow or disposal: ___ ft.

Note: grading, stormwater, and erosion control plans must be attached when applicable

If the project is multi-family residential, indicate: n/a

Number of Units			Total # of bedrooms per unit (existing and proposed)	Type of ownership proposed
Existing # of Units	Proposed # of Units	Net # of units upon completion		<input type="checkbox"/> Rental <input type="checkbox"/> Condo <input type="checkbox"/> Stock Coop <input type="checkbox"/> Timeshare <input type="checkbox"/> Other

Estimated cost of the proposed development (not including the cost of land) \$ 3.3MM

Parking and Utilities n/a

Number of parking spaces required		
Existing spaces	Proposed new spaces	Net # of spaces on completion of project

Project Height: (Max. height of structure as defined in the IP: *the vertical distance measured between the legally established existing grade and the top-most portion of development above existing grade, unless otherwise specified*)

n/a

- a. Above existing (natural) grade _____ ft.
- b. Above finished grade _____ ft.
- c. As measured from centerline of frontage road _____ ft.

n/a Total # of floors in structure, including subterranean floors, lofts, and mezzanines _____

n/a Gross Floor Area (GFA) in sq. ft. (includes garages and accessory buildings) _____ sq. ft.

n/a Lot Area _____ sq. ft.

If the project includes **Subdivision** or a **Lot Line Adjustment**, indicate: *n/a*

<i>Number of Lots</i>			<i>Size of lots to be created (indicate gross and net lots size)</i>	
Existing # of Lots	Proposed # of Lots	Net # of lots upon completion	Existing	Proposed

If the project is a **Lot Line Adjustment** or a request for **Certificates of Subdivision Compliance**, please provide the following:

n/a

1. "Creation documents" for all affected properties. These documents would include grant deeds or certain maps recorded prior to the effective date of the Coastal Act (Jan. 1, 1976) that include a legal description describing the property as it exists today;
2. A prelim. title report less than six (6) months old; and
3. Current grant deeds for each affected property.

(Portion of Bid Spec. Packet)

SECTION 01 11 00
SUMMARY OF WORK



PART 1 GENERAL

1.1 WORK INCLUDED

A. The Work includes construction of sanitary sewer facilities, as described in Articles 4.5 and 4.6 of State Board Grant Agreement No. D1712658, and shown in the Contract Documents:

- 1. Capital Improvement Project (CIP) 3.
 - a. 2,016 LF of new 18" HDPE gravity sewer upsized from 15" diameter, in same alignment as the existing 15" gravity sewer. Approximately 1,431 LF of the new HDPE sewer will be installed by the pipe bursting method, and 585 LF of the new sewer will be installed by open trench construction.
 - b. Six new gravity sewer manholes, replacing six existing manholes.
 - c. One new drop sewer manhole.
 - d. Re-connect 17 existing sewer laterals to new 18" gravity sewer.
 - e. Associated street surface improvements.

- 2. CIP 4.
 - a. 832 LF of 8" HDPE gravity sewer installed by pipe bursting, replacing an existing 8" gravity sewer.
 - b. Replacement of 13 existing sewer manholes with new sewer manholes; recoating of three existing manholes; replacement of grade rings on three existing manholes; replacement of cone and grade rings on one manhole.
 - c. Re-connect 8 existing sewer laterals to new 8" HDPE gravity sewer.
 - d. NOTE: A portion of this CIP 4 Work is also defined as an additive/deductive bid item. Refer to Section 01 20 00, Price and Payment Procedures for additional information.

- 3. CIP 5.
 - a. Replacement of 727 LF of existing 6" gravity sewer with new 8" HDPE gravity sewer installed by pipe bursting.
 - b. Replacement of three existing sewer manholes with new sewer manholes.
 - c. Re-connect eight existing sewer laterals to new 8" gravity sewer.
 - d. Providing one new 6" sewer collector, including one new manhole and two new cleanouts, to collect sewage from six existing sewer laterals (three from the modular school buildings, three private residential laterals). *not in C2*

- 4. CIP 8.
 - a. 1,180 LF of new 8" PVC gravity sewer in same alignment as existing 8" gravity sewer.
 - b. Replacement of five existing gravity sewer manholes with new gravity sewer manholes.
 - c. Associated street surface improvements

d. Re-connect 32 existing sewer laterals to new 8" and 10" gravity sewer.

B. The Work consists of items listed in the Base Bid (and additive/deductive bid item No. 1). Refer to Section 01 20 00 for further definition.

C. This Project is funded through the State Water Resources Control Board, Grant No. D1712658. Refer to Section 01 70 00, Execution and Closeout Procedures for required documents for grant close-out and funding agency acceptance.

1.2 WORK NOT INCLUDED

A. Except for such auxiliary work as is shown or specified or is necessary as a part of the construction, the following work is NOT included in this Contract.

1. Work shown, but marked "NIC" (Not in Contract) or otherwise designated to be performed by others.

1.3 LOCATION OF SITES

A. The Project is defined by four separate Capital Improvement Projects (CIP), namely CIP 3, CIP 4, CIP 5, and CIP 8. These projects are all located within the City of Pacific Grove, California, and the locations of these project areas are described as follows:

1. CIP 3. Asilomar Avenue, from Del Monte Boulevard to south of Jewell Avenue.
2. CIP 4. Sewer Manhole replacements on Asilomar Avenue between Surf Avenue and north of Arena Avenue; and Crocker Avenue from north of Pico Avenue to Sinex Avenue. New sewer construction in easement east of Crocker Avenue, between Sinex Avenue and Pico Avenue.
3. CIP 5. Between Junipero Avenue and Pine Avenue in a City easement, in alignment with 15th Street right of way adjacent to Robert Down Elementary School. *not in C2*
4. CIP 8. Carmel Avenue, Junipero Avenue to Pine Avenue & Central Avenue to Ocean View Blvd

1.4 SPECIFICATIONS

A. The Specifications are those bound in the Project Manual. All sections of the Project Manual, including Notice Inviting Bids and Instructions to Bidders, are part of the Contract Documents for this Work. The Project Manual consists of the Notice Inviting Bids, Instructions to Bidders, Contract and State Board Grant Agreement, General Conditions of the Contract for Construction, Supplementary General Conditions, Division 01, and Divisions 02 through 33 technical specifications, Caltrans 2018 Standard Specifications where referenced.

1.5 DRAWINGS

A. The Drawings consist of 35 sheets prepared by Wallace Group.

1.6 INTERRUPTION OF SERVICES

A. Interruptions to any services for the purpose of making or breaking connection shall be made only after consultation with the City and Engineer a minimum of one week in

advance of connection break, and shall be at such time and of such duration as may be directed.

- B. Sewer work that involves temporary modification to or protection of storm drains shall be conducted in such a manner to allow for proper and adequate management of storm water during construction and non-construction activities.

1.7 SEQUENCE OF CONSTRUCTION OPERATIONS

- A. Submit Construction Work Plan at Pre-Construction Meeting, dovetailing sequencing details with Schedule as required in Section 01 32 16, Construction Progress Schedule. City and Engineer will approve such plan prior to Contractor starting construction operations. Work Plan shall describe in detail how the four defined CIP 3, 4, 5 and 8 work areas are to be scheduled and coordinated, and how the various elements of work are to be executed.
 - 1. As First Order of Business:
 - a. Potholing: Contractor shall pothole as shown on the plans to verify existing utility conditions. Prepare pothole reports per Section 01 35 00, Special Project Procedures.
 - b. Pre-construction Photos and Videos: Contractor shall complete pre-construction photos and video inspections prior to start of any construction per Section 01 35 00, Special Project Procedures.
 - c. Signage: Contractor shall complete the submittal package for the Project Signage, per Section 01 35 00, Special Project Procedures and erect at start of construction.
 - B. Include in the Construction Work Plan, detailed sewer bypassing (including equipment) and cut-over plans for the various portions of the Work.
 - C. Prior to commencement of Work and within 7 calendar days of Notice to Proceed, verify and confirm, to the City's Representative in writing, the existing grades, elevations and conditions of the site. Any discrepancies between existing conditions and the contract documents must be brought to the City's attention during that time frame.
 - D. Prepare schedules as set forth in Section 01 32 16, Construction Progress Schedule.

1.8 HOURS OF WORK

- A. Perform Work of this Contract on normal workdays and within normal work hours; 8:00 am to 6:00 pm Monday through Friday, and as specified for night work. For road closure restrictions, see Section 01 55 26. After hours work and work on Saturdays, Sundays, and City holidays, may be permitted if approval is received from the City Public Works Director or Designee at least 3 working days in advance, at no additional cost to City. When Contractor schedules Work on non-working days or after hours work, the Contractor shall be responsible for the overtime costs incurred by the City for inspections or other related activities, unless such scheduled was requested by the City or Engineer.
- B. Continuously keep existing drainage facilities, walks, and paved areas clean and free of mud and dirt, obstacles, etc., and protect against damage.
- C. Schedule the Work to accommodate City occupancy and use of the Site.

- D. Closeout Timetable. Coordinate with City to establish dates for testing, acceptance periods. Such dates shall be established not less than one week prior to beginning any of the foregoing items, to allow the City and their authorized representatives sufficient time to schedule attendance at such activities.
- E. Final Submittals: Prior to requesting final payment, obtain and submit the following items to the Engineer for transmittal to the City:
 - 1. Written guarantees, where required.
 - 2. Completed record drawings per Section 01 70 00.
 - 3. Certificates of inspection and acceptance by local governing agencies having jurisdiction, including but not limited to City of Pacific Grove Public Works Department.
 - 4. Releases from all parties who are entitled to claims against the subject project, property, or improvement pursuant to the provisions of law.

1.9 PERMITS

- A. Contractor shall be responsible for securing identified permits, paying associated fees, bonds and charges associated with such permits, application submittals and re-submittals, and complying with the conditions of permits obtained by the City.
 - 1. Encroachment Permit. A City encroachment permit for the Work is not required of the Contractor.
 - 2. Provide detailed stormwater pollution control plan, see Section 01 57 23, Temporary Stormwater Pollution Control, Paragraph 1.04.
 - 3. For CIP 4, a Union Pacific Railroad (UPRR) Encroachment Permit is required. City is in the process of obtaining this permit. Contractor will be notified by the City when the Encroachment Permit is issued.

1.10 SITE ACCESS

- A. All Work is in the City right-of-way and City easements.

1.11 EXCAVATIONS OR TRENCHING FOR UNDERGROUND UTILITIES

- A. Time intervals between excavation or trenching and installation of conduit or piping or other work concerned, and backfilling operations shall be kept to absolute minimum.
- B. Excavations or trenching crossing roadways and other traffic areas shall be provided with skid-resistant traffic bearing steel plates; pedestrian and bicycle paths shall be provided with skid-resistant traffic bearing steel plates, or other materials approved by City.

1.12 PROTECTION OF EXISTING STRUCTURES AND UTILITIES

- A. Refer to the General Conditions and other Division 01 Sections for Contractor responsibilities.
- B. Damage to existing improvements caused by Contractor's operations, either on-site or on adjacent sites, shall be repaired to restore damaged items to their original condition. Cost of such repair shall be borne entirely by Contractor.
- C. Drawings indicate existing structures, drainage lines, water, gas, electrical and other similar items and utilities that are known to the City.

- D. Locate known existing structures and utilities before proceeding with construction. Maintain them in service, except as otherwise specified. Provide protection and repair damage to them caused by the Work at no increase in Contract price.

1.13 GEOTECHNICAL INVESTIGATION

- A. Geotechnical investigations have been performed for the City in order to obtain relative data concerning the character of material in and upon which the Project is to be built. The geotechnical reports entitled "Pacific Grove Sewer Capital Improvement Projects 3, 5 and 8, Pacific Grove, CA" dated August 1, 2019, prepared by Earth Systems Pacific, may be used for the following purposes:
 - 1. In regards to the soils and road section conditions to be encountered in and around the project area, the data contained in the report may be used for information only as to the soil and pavement section conditions encountered at the location/address shown and on the date stated. The Contractor is solely responsible for satisfying itself as to the kind and type of soil, and characteristics of road sections to be encountered in the alignment of the sewer work, and any water or other subsurface conditions which might affect the construction of the project.
 - 2. Only where specifically called out in these specifications, the report may be used for design parameters in the preparation of shop drawings for the Project.
 - 3. Conclusions and recommendations contained in the report, which are not specifically referenced in these specifications, are not a part of the Contract.

END OF SECTION

1.13 GEOTECHNICAL INVESTIGATION

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1. In regards to the soils and road section conditions to be encountered in and around the project area, the data contained in the report may be used for information only as to the soil and pavement section conditions encountered at the location/address shown and on the date stated. The Contractor is solely responsible for satisfying itself as to the kind and type of soil, and characteristics of road sections to be encountered in the alignment of the sewer work, and any water or other subsurface conditions which might affect the construction of the project.
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3. Conclusions and recommendations contained in the report, which are not specifically referenced in these specifications, are not a part of the Contract.

END OF SECTION

(Portion of Plan Set)

FOR REDUCED PLANS
ORIGINAL SCALE IS IN INCHES

IMPROVEMENT PLANS

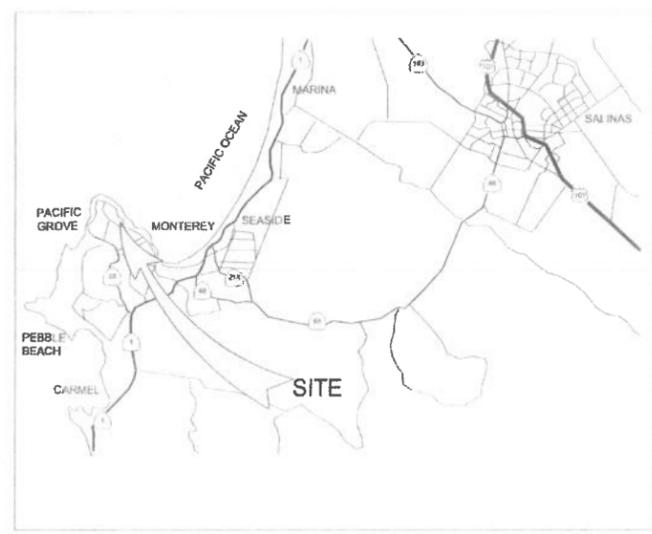
FOR

SEWER COLLECTION SYSTEM CIP 3, 4, 5, AND 8

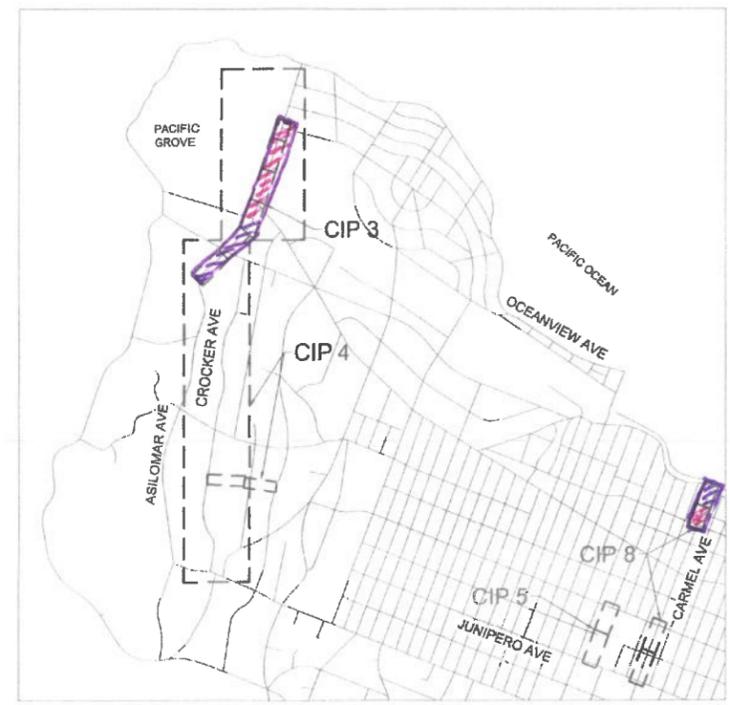
CITY OF PACIFIC GROVE, MONTEREY COUNTY, CA
CALIFORNIA STATE WATER RESOURCES CONTROL BOARD AGREEMENT NO. D1712658



Page Number	Sheet Number	Sheet Title
1	G-1	TITLE SHEET
2	G-2	NOTES
3	G-3	KEY MAP
4	G-4	KEY MAP
5	S-1	TOPOGRAPHIC SURVEY OF CIP 3 & CIP 4 ASILOMAR AVE
6	S-2	TOPOGRAPHIC SURVEY OF CIP 4 CROCKER AVE
7	S-3	TOPOGRAPHIC SURVEY OF CIP 5
8	S-4	TOPOGRAPHIC SURVEY OF CIP 8
9	C-1	CIP 3 ASILOMAR AVE SEWER STA. 30+00 TO STA. 34+00
10	C-2	CIP 3 ASILOMAR AVE SEWER STA. 34+00 TO STA. 38+00
11	C-3	CIP 3 ASILOMAR AVE SEWER STA. 38+00 TO STA. 42+00
12	C-4	CIP 3 ASILOMAR AVE SEWER STA. 42+00 TO STA. 46+00
13	C-5	CIP 3 ASILOMAR AVE SEWER STA. 46+00 TO STA. 50+00
14	C-6	CIP 3 ASILOMAR AVE SEWER STA. 50+00 TO STA. 52+00
15	C-7	CIP 4 CROCKER AVE TO GROVE ACRE AVE EASEMENT SEWER REPLACEMENT STA. 40+00 TO STA. 43+75
16	C-8	CIP 4 CROCKER AVE TO GROVE ACRE AVE EASEMENT SEWER REPLACEMENT STA. 43+75 TO STA. 48+25
17	C-9	CIP 4 CROCKER AVE TO GROVE ACRE AVE EASEMENT SEWER REPLACEMENT STA. 43+75 TO STA. 48+25
18	C-10	CIP 5 15TH STREET SEWER STA. 60+00 TO STA. 64+00
19	C-11	CIP 5 15TH STREET SEWER STA. 64+00 TO STA. 67+00
20	C-12	CIP 5 CARMEL AVE SEWER STA. 80+00 TO STA. 84+00
21	C-13	CIP 5 CARMEL AVE SEWER STA. 84+00 TO STA. 88+00
22	C-14	CIP 5 CARMEL AVE SEWER STA. 100+60 TO STA. 103+00
23	C-15	CIP 5 CARMEL AVE SEWER STA. 103+00 TO STA. 105+60
24	C-16	CIP 3 ASILOMAR PAVING PLAN STA. 101+00 TO STA. 112+00
25	C-17	CIP 3 ASILOMAR PAVING PLAN STA. 112+00 TO STA. 123+25
26	C-18	CIP 8 CARMEL AVE PAVING PLAN STA. 200+44.18 TO STA. 202+50
27	C-19	CIP 8 CARMEL AVE PAVING PLAN STA. 202+50 TO STA. 205+50
28	C-20	CIP 8 CARMEL AVE PAVING PLAN STA. 205+50 TO STA. 207+31.67
29	C-21	CIP 8 CARMEL AVE PAVING PLAN STA. 220+97.40 TO STA. 223+25
30	C-22	CIP 8 CARMEL AVE PAVING PLAN STA. 223+25 TO STA. 226+66.4
31	C-23	DETAIL SHEET
32	C-24	DETAIL SHEET
33	C-25	DETAIL SHEET
34	C-26	DETAIL SHEET
35	C-27	DETAIL SHEET



VICINITY MAP
NTS



SITE LOCATION
NTS

PROJECT	LINEAL FEET OF SEWER MAIN REPLACEMENT	NUMBER OF MANHOLES REPLACED OR REHABILITATED
CIP 3:	2087.09	6
CIP 4:	816.35	25
CIP 5:	728.69	3
CIP 8:	1178.82	4
TOTAL:	4808.95	38

appeal juris.
 local juris.



Kyle Anderson 11/18/19
KYLE ANDERSON, PE
SENIOR CIVIL ENGINEER
WALLACE GROUP

Daniel Gho 02/21/2020
DANIEL GHO
PUBLIC WORKS DIRECTOR
CITY OF PACIFIC GROVE

CITY COUNCIL

- BILL PEAKE, MAYOR
- JENNY MCADAMS AMY TOMLINSON
ROBERT HUITT JOE AMELIO
CYNTHIA GARFIELD NICK SMITH
- BEN HARVEY, CITY MANAGER

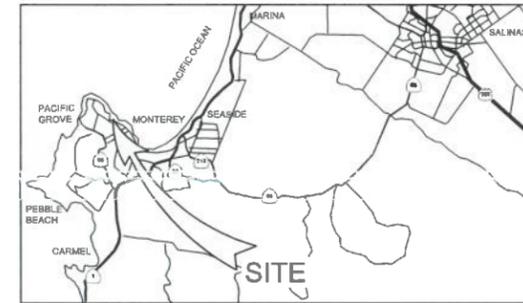
CITY OF PACIFIC GROVE
SEWER COLLECTION SYSTEM CIP 3, 4, 5, AND 8
TITLE SHEET

Rev.	Date	Description of Revisions	By

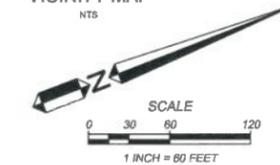
JOB # 1153-0088-00
DESIGNERS: KEA
DRAWN BY: JICMB
DATE 11/18/2019
DRAWING NO.
G-1
1 OF 35 SHEETS

SURVEY CONTROL CIP 3 AND CIP 4: ASILOMAR AVENUE

FOR REDUCED PLANS
ORIGINAL SCALE IS IN INCHES



VICINITY MAP
NTS



SURVEY NOTES

- THE HORIZONTAL DATUM FOR THIS SURVEY IS THE NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)), EPOCH DATE OF 2010.00.
- THE PROJECTION USED IS THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83), ZONE 4 PROJECTION.
- THIS SURVEY TIED TO 3 NATIONAL GEODETIC SURVEY (NGS) CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS). THOSE STATIONS ARE THE NOS POINTS DESIGNATED "P171" HAVING A PUBLISHED POSITION OF: NORTING 2,071,799.01', EASTING 5,740,865.23'; AND "P210" HAVING A PUBLISHED POSITION OF: NORTING 2,191,599.30', EASTING 5,762,118.28' AND "P242" HAVING A PUBLISHED POSITION OF: NORTING 2,239,623.44', EASTING 5,842,017.42'. THE RESULTING BEARING FROM "P171" TO "P210" BEING: N 49° 03' 35.41" E. THE BEARINGS SHOWN HEREON ARE REFERENCED TO CCS83, ZONE 4 GRID NORTH.
- ALL MEASUREMENTS LISTED, SHOWN AND REPRESENTED HEREON ARE BASED ON GRID DISTANCES OF THE CALIFORNIA COORDINATE SYSTEM OF 1983 ZONE 4 PROJECTION. THE COMBINED SCALE FACTOR FOR THE PROJECT IS 0.99984. THIS SCALE FACTOR WAS CALCULATED USING AN ELEVATION OF 59.42 FEET FOR PT. NO. 21. DIVIDE THE DISTANCES HEREON BY THE COMBINED SCALE FACTOR TO OBTAIN GROUND DISTANCES. ALL DISTANCES SHOWN ARE U.S. SURVEY FEET.
- THE CONVERGENCE ANGLE IS: -1'44" 58.76" AT PT. NO. 536.
- TIDAL 9 IS A VERTICAL ORDER - FIRST CLASS I BENCHMARK LOCATED NEAR THE NORTHERLY END OF THE DEL MONTE AVENUE-LIGHTHOUSE AVENUE TUNNEL IN MONTEREY, CA. THE ELEVATION OF TIDAL 9 IS 25.16 FEET NAVD 88 (NORTH AMERICAN VERTICAL DATUM OF 1988).
- THE CONTOUR INTERVAL IS 1 FOOT.
- UNDERGROUND UTILITY LOCATIONS ARE PLOTTED BASED ON ABOVE GROUND PAINT MARKS BY OTHERS, ABOVE GROUND SURFACE STRUCTURES. ACTUAL LOCATION MAY DIFFER. ADDITIONAL UNDERGROUND UTILITY LINES MAY EXIST. FOR INFORMATION REGARDING UTILITY LOCATION, SIZE, DEPTH, CONDITION, AND CAPACITY CONTACT UTILITY OR MUNICIPAL/PUBLIC SERVICE FACILITY.
- UNDERGROUND PIPE SIZES ARE BASED ON VISUAL OBSERVATIONS MADE FROM THE SURFACE AND ARE APPROXIMATE.
- EASEMENTS AFFECTING THE PROPERTIES SHOWN HEREON MAY EXIST. NO TITLE INFORMATION WAS PROVIDED. NO ATTEMPT HAS BEEN MADE TO PLOT EASEMENTS.
- GROUND SURVEY PERFORMED MARCH 2018 THROUGH MAY 2018.
- ORTHOPHOTOGRAPHY AND AERIAL MAPPING PRODUCED BY: CENTRAL COAST AERIAL MAPPING, INC. 710 FIERO LANE #24 SAN LUIS OBISPO, CA 93401 PHONE: (805) 543-4307 PHOTOGRAPHY DATED: 03/28/2018

SURVEY CONTROL POINTS				
PT. NO.	NORTHING	EASTING	ELEV.	DESC.
70	2126809.57	5701523.96	61.44	SET MAG NAIL
163	2127273.72	5701635.36	32.53	SET MAG WASHER "WG"
254	2127878.30	5701830.69	24.75	SET MAG WASHER WG
255	2127109.71	5701583.18	38.76	FOUND MAG WASHER
256	2126338.59	5701330.46	74.88	SET MAG WG
259	2124858.17	5700614.26	79.42	SET COTTON SPINDLE WG
260	2125001.56	5700584.16	73.06	FOUND 3/4" PIPE RCE25135
261	2124515.71	5700525.73	70.50	SET MAG WG
326	2124584.33	5700579.91	72.94	SET MAG WG
335	2127642.08	5701754.34	27.83	SET MAG WG
535	2125602.21	5700930.32	74.70	SET MAG
536	2126003.42	5701266.32	76.93	SET MAG WG
537	2125299.70	5700589.03	67.24	SET MAG WG
539	2125431.81	5700702.90	69.45	SET COTTON SPINDLE

Rev.	Date	Description of Revisions	By

WALLACE GROUP
 CIVIL AND TRANSPORTATION ENGINEERING
 CONSTRUCTION MANAGEMENT
 LANDSCAPE ARCHITECTURE
 MECHANICAL ENGINEERING
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 PUBLIC WORKS ADMINISTRATION
 SURVEYING / GIS SOLUTIONS
 WATER RESOURCES

812 CLARION COURT
 SAN LUIS OBISPO, CA 93401
 T 805 544-4011 F 805 544-4294
 www.wallacegroup.us



SIGNATURE
 11/18/2019
 DATE SIGNED

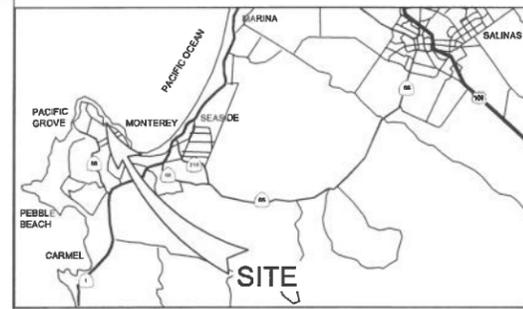
These plans and specifications, and the ideas and designs incorporated herein, are the intellectual property of Wallace Group, Inc. and shall not be used in whole or in part for any other project without written authority of Wallace Group, a California Corporation.



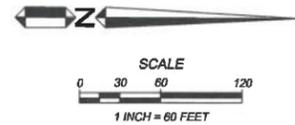
CITY OF PACIFIC GROVE
 SEWER COLLECTION SYSTEM CIP 3, 4, 5, AND 8
 TOPOGRAPHIC SURVEY OF CIP 3 & CIP 4 ASILOMAR AVE

JOB #: 1153-0008-00
 DESIGNERS: KEA
 DRAWN BY: JSW
 DATE: 11/18/2018
 DRAWING NO.
 S-1
 5 OF 35 SHEETS

SURVEY CONTROL CIP 4: CROCKER AVENUE



VICINITY MAP
NTS



SURVEY NOTES

- THE HORIZONTAL DATUM FOR THIS SURVEY IS THE NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT [NAD83(2011)], EPOCH DATE OF 2010.00.
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- ALL MEASUREMENTS LISTED, SHOWN AND REPRESENTED HEREON ARE BASED ON GRID DISTANCES OF THE CALIFORNIA COORDINATE SYSTEM OF 1983 ZONE 4 PROJECTION. THE COMBINED SCALE FACTOR FOR THE PROJECT IS 0.99994. THIS SCALE FACTOR WAS CALCULATED USING AN ELEVATION OF 59.42 FEET FOR PT. NO. 21. DIVIDE THE DISTANCES HEREON BY THE COMBINED SCALE FACTOR TO OBTAIN GROUND DISTANCES. ALL DISTANCES SHOWN ARE U.S. SURVEY FEET.
- THE CONVERGENCE ANGLE IS: -1°44' 58.76" AT PT. NO. 536.
- TIDAL 9 IS A VERTICAL ORDER - FIRST CLASS 1 BENCHMARK LOCATED NEAR THE NORTHERLY END OF THE DEL MONTE AVENUE-LIGHTHOUSE AVENUE TUNNEL IN MONTEREY, CA. THE ELEVATION OF TIDAL 9 IS 25.16 FEET NAVD 88 (NORTH AMERICAN VERTICAL DATUM OF 1988).
- THE CONTOUR INTERVAL IS 1 FOOT.
- UNDERGROUND UTILITY LOCATIONS ARE PLOTTED BASED ON ABOVE GROUND PAINT MARKS BY OTHERS. ABOVE GROUND SURFACE STRUCTURES. ACTUAL LOCATION MAY DIFFER. ADDITIONAL UNDERGROUND UTILITY LINES MAY EXIST. FOR INFORMATION REGARDING UTILITY LOCATION, SIZE, DEPTH, CONDITION, AND CAPACITY CONTACT UTILITY OR MUNICIPAL/PUBLIC SERVICE FACILITY.
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- GROUND SURVEY PERFORMED MARCH 2018 THROUGH MAY 2018.
- ORTHOPHOTOGRAPHY AND AERIAL MAPPING PRODUCED BY:
CENTRAL COAST AERIAL MAPPING, INC.
710 FIERO LANE #24
SAN LUIS OBISPO, CA 93401
PHONE: (805) 543-4307

PHOTOGRAPHY DATED: 03/28/2018

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 SAN LUIS OBISPO, CA 93401
 T 805 544-4011 F 805 544-4294
 www.wallacegroup.us



SIGNATURE
11/18/2019
 DATE SIGNED

These plans and specifications, and the ideas and design incorporated herein, are the work of the undersigned and shall be used by others only in part for any other project without the written authority of Wallace Group, a California Corporation. All legal reserved. Copy of this drawing shall have this notice.



CITY OF PACIFIC GROVE
 SEWER COLLECTION SYSTEM CIP 3, 4, 5, AND 8
 TOPOGRAPHIC SURVEY OF CIP 4 CROCKER AVE

SURVEY CONTROL POINTS				
PT. NO.	NORTHING	EASTING	ELEV.	DESC.
266	2121970.76	5700768.84	92.53	SET MAG WG
267	2122266.79	5700628.17	81.20	SET MAG WG
271	2123614.79	5700807.97	76.96	SET MAG WG
272	2123878.23	5700875.31	75.40	SET MAG WG
273	2124236.44	5700833.72	79.80	SET MAG WG
345	2124518.55	5700731.83	76.71	FD 3/4" IRON PIPE OPEN
349	2122625.19	5700641.23	77.94	SET COTTON SPINDLE WG
355	2121622.50	5700724.94	96.69	SET SCRIBED X TC
359	2121570.55	5700827.86	101.09	FOUND 1" IRON PIPE LS4947

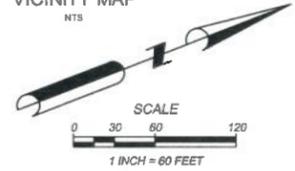
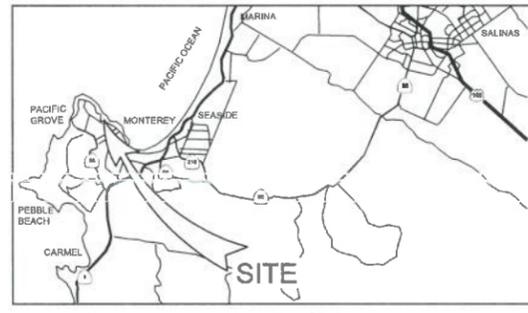
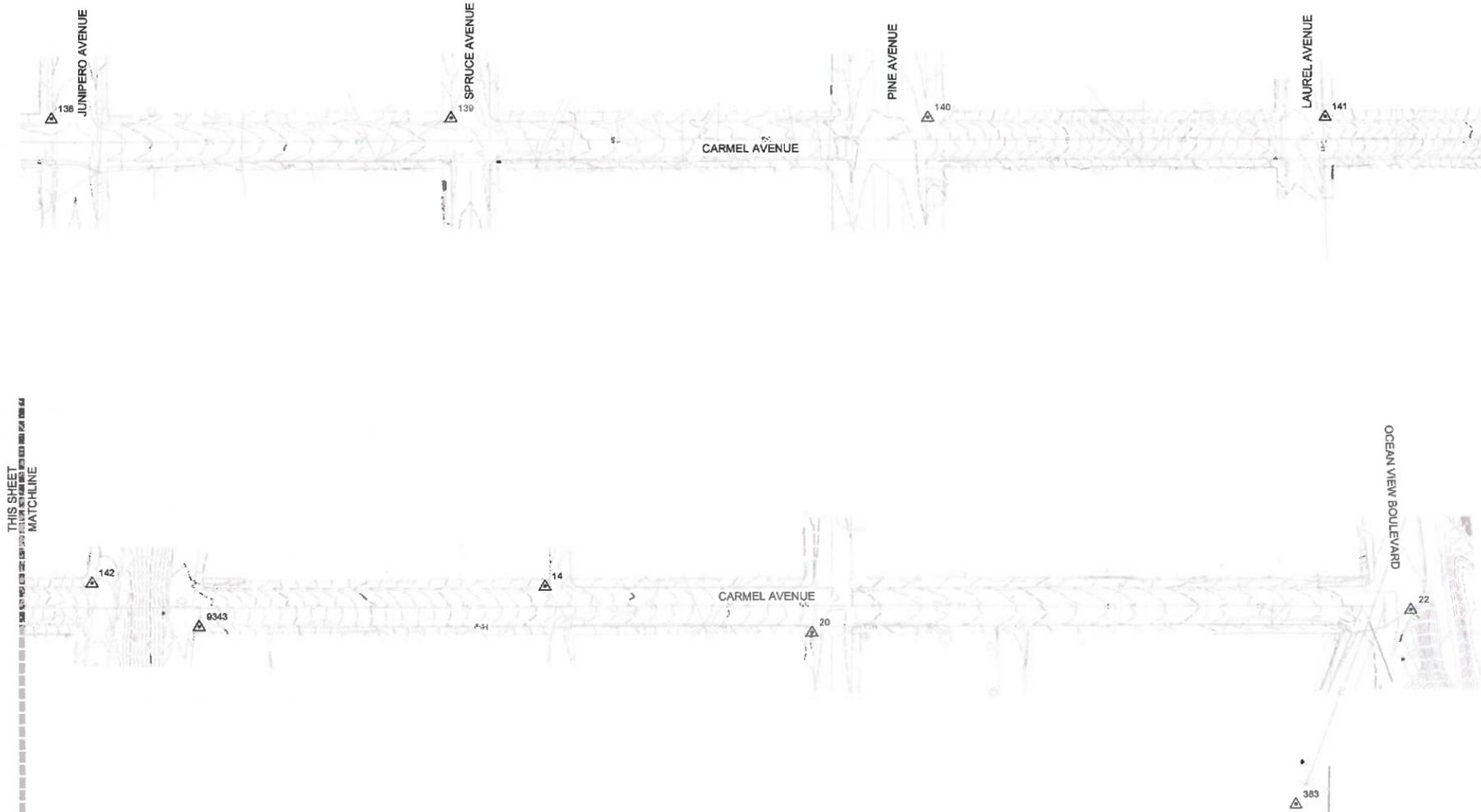
SURVEY CONTROL POINTS				
PT. NO.	NORTHING	EASTING	ELEV.	DESC.
380	2122546.15	5701464.27	102.18	SET SCRIBED X TC DI
389	2122625.86	5700950.02	88.73	SET #5 REBAR WG
557	2124472.33	5700864.81	82.79	SET MAG WG
568	2123237.82	5700739.26	82.71	SET MAG WG
608	2122591.73	5701156.25	92.66	SET MAG WG
613	2122431.48	5701139.08	93.82	SET MAG PINK FLAGGING
616	2122617.15	5701490.05	102.74	SET MAG PINK FLAGGING
619	2122689.81	5701540.86	104.25	SET MAG WG

Rev.	Date	Description of Revisions	By

JOB #: 1153-0008-00
 DESIGNERS: KEA
 DRAWN BY: JSW
 DATE: 11/18/2019
 DRAWING NO.
S-2
 6 OF 35 SHEETS



SURVEY CONTROL CIP 8



SURVEY NOTES

1. THE HORIZONTAL DATUM FOR THIS SURVEY IS THE NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT [NAD83(2011)], EPOCH DATE OF 2010.00.
2. THE PROJECTION USED IS THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83), ZONE 4 PROJECTION.
3. THIS SURVEY TIED TO 3 NATIONAL GEODETIC SURVEY (NCS) CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS). THOSE STATIONS ARE THE NCS POINTS DESIGNATED "P171", HAVING A PUBLISHED POSITION OF: NORTHING 2,071,799.01', EASTING 5740865.23'; AND "P210", HAVING A PUBLISHED POSITION OF: NORTHING 2,191,599.30', EASTING 5,762,118.28' AND "P242" HAVING A PUBLISHED POSITION OF: NORTHING 2,239,623.44', EASTING 5,942,017.42'. THE RESULTING BEARING FROM "P171" TO "P210" BEING: N 10° 03' 36.41" E. THE BEARINGS SHOWN HEREON ARE REFERENCED TO CCS83, ZONE 4 GRID NORTH.
4. ALL MEASUREMENTS LISTED, SHOWN AND REPRESENTED HEREON ARE BASED ON GRID DISTANCES OF THE CALIFORNIA COORDINATE SYSTEM OF 1983 ZONE 4 PROJECTION. THE COMBINED SCALE FACTOR FOR THE PROJECT IS 0.99994. THIS SCALE FACTOR WAS CALCULATED USING AN ELEVATION OF 58.42 FEET FOR PT. NO. 21. DIVIDE THE DISTANCES HEREON BY THE COMBINED SCALE FACTOR TO OBTAIN GROUND DISTANCES. ALL DISTANCES SHOWN ARE U.S. SURVEY FEET.
5. THE CONVERGENCE ANGLE IS: -1'44" 18.16" AT PT. NO. 142.
6. TIDAL 9 IS A VERTICAL ORDER - FIRST CLASS I BENCHMARK LOCATED NEAR THE NORTHERLY END OF THE DEL MONTE AVENUE-LIGHTHOUSE AVENUE TUNNEL IN MONTEREY, CA. THE ELEVATION OF TIDAL 9 IS 25.16 FEET NAVD 88 (NORTH AMERICAN VERTICAL DATUM OF 1988).
7. THE CONTOUR INTERVAL IS 1 FOOT.
8. UNDERGROUND UTILITY LOCATIONS ARE PLOTTED BASED ON ABOVE GROUND PAINT MARKS BY OTHERS, ABOVE GROUND SURFACE STRUCTURES. ACTUAL LOCATION MAY DIFFER. ADDITIONAL UNDERGROUND UTILITY LINES MAY EXIST. FOR INFORMATION REGARDING UTILITY LOCATION, SIZE, DEPTH, CONDITION, AND CAPACITY CONTACT UTILITY OR MUNICIPAL/PUBLIC SERVICE FACILITY.
9. UNDERGROUND PIPE SIZES ARE BASED ON VISUAL OBSERVATIONS MADE FROM THE SURFACE AND ARE APPROXIMATE.
10. EASEMENTS AFFECTING THE PROPERTIES SHOWN HEREON MAY EXIST. NO TITLE INFORMATION WAS PROVIDED. NO ATTEMPT HAS BEEN MADE TO PLOT EASEMENTS.
11. GROUND SURVEY PERFORMED MARCH 2018 THROUGH MAY 2018.
12. ORTHOPHOTOGRAPHY AND AERIAL MAPPING PRODUCED BY: CENTRAL COAST AERIAL MAPPING, INC. 710 FIERO LANE #24 SAN LUIS OBISPO, CA 93401 PHONE: (805) 543-4307 PHOTOGRAPHY DATED: 03/28/2018

SURVEY CONTROL POINTS				
PT. NO.	NORTHING	EASTING	ELEV.	DESC.
14	2121988.82	5706697.67	74.24	SET SCRIBED X TC
20	2122197.52	5706823.37	60.64	SET SCRIBED X RAMP
22	2122706.95	5706998.58	43.54	SET MAG PINK FLAGGING
138	2120294.92	5706040.01	185.99	SET SCRIBED X TC
139	2120629.13	5706169.62	173.49	SET SCRIBED X TC
140	2121028.68	5706323.81	158.63	SET SCRIBED X
141	2121361.81	5706452.10	131.97	SET SCRIBED X TC
142	2121611.13	5706547.57	106.66	SET SCRIBED X TC
383	2122547.66	5707124.36	47.26	SET SCRIBED X TC
9343	2121686.62	5706618.88	96.38	SET SCRIBED X TC

Rev.	Date	Description of Revisions	By

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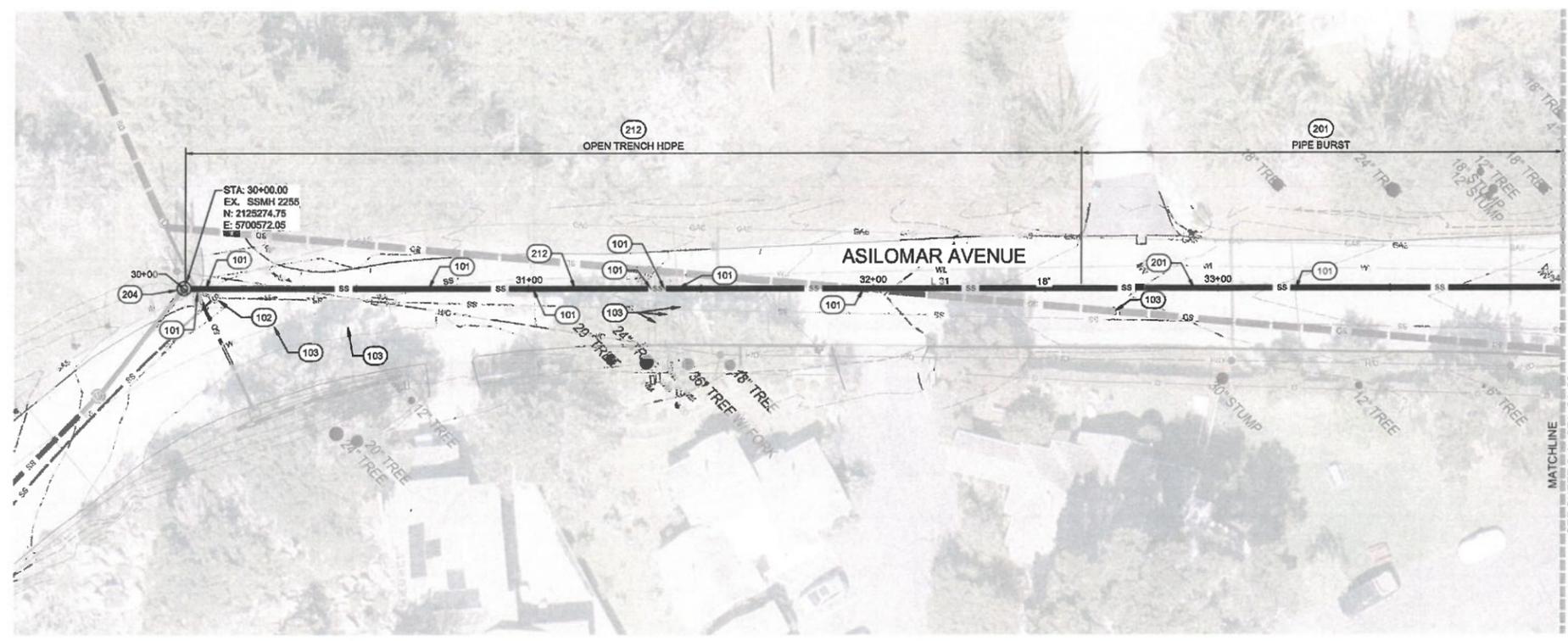
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CITY OF PACIFIC GROVE
 SEWER COLLECTION SYSTEM CIP 3, 4, 5, AND 8
 TOPOGRAPHIC SURVEY OF CIP 8

JOB #: 1153-0008-00
 DESIGNER: KEA
 DRAWN BY: JSW
 DATE: 11/18/2019
 DRAWING NO.
S-4
 8 OF 35 SHEETS

FOR REDUCED PLANS ORIGINAL SCALE IS IN INCHES



PLAN - ASILOMAR AVENUE
SCALE: 1" = 20'

REFERENCE NOTES:

DESCRIPTION
100 GENERAL NOTES
101 EXISTING UTILITY CROSSING - PROTECT IN PLACE. APPROXIMATE LOCATION AND DEPTH (IF KNOWN), POTHOLE AND VERIFY LOCATION OF ALL UTILITIES, INCLUDING THOSE NOT SHOWN ON THE PLANS, PRIOR TO CONSTRUCTION.
102 EXISTING SEWER MH - PROTECT IN PLACE.
103 EXISTING UTILITY - PROTECT IN PLACE.
200 SANITARY SEWER NOTES
201 REPLACE EXISTING 15" SEWER PIPE WITH NEW 18" HDPE SEWER PIPE USING PIPE BURSTING. TRENCHING NOT PERMITTED EXCEPT FOR REPLACEMENT OF MANHOLE AND RECONNECTION OF EXISTING LATERALS. SEE SHEET C-16 THRU C-17 FOR PAVEMENT RESTORATION. RECONNECT ALL EXISTING SEWER LATERALS PER DETAIL G, SHEET C-23. CCTV EXISTING PIPE PRIOR TO CONSTRUCTION TO DETERMINE QUANTITY AND LOCATION OF ALL LATERALS. CONNECT WITH FACTION-SADDLE OR APPROVED EQUAL. SEE SPECIFICATION SECTION 33 01 30.23.
204 REPLACE EXISTING SEWER MANHOLE WITH NEW 48" MANHOLE PER DETAIL A, SHEET C-23. COAT ENTIRE MANHOLE PER SPECIFICATION SECTION 09 07 23. RECONNECT ALL SEWER MAINS.
212 REPLACE EXISTING 15" SEWER PIPE WITH NEW 18" HDPE SEWER PIPE. TRENCH PER DETAIL B, SHEET C-23. SEE SHEET C-16 THRU C-17 FOR PAVEMENT RESTORATION. RECONNECT ALL EXISTING SEWER LATERALS PER DETAIL G, SHEET C-23. CCTV EXISTING PIPE PRIOR TO CONSTRUCTION TO DETERMINE QUANTITY AND LOCATION OF ALL LATERALS. CONNECT WITH FACTION-SADDLE OR APPROVED EQUAL. SEE SPECIFICATION SECTION 33 01 30.23.

Line Table

Line #	Length	Direction
L 31	451.85	N45°04'06"E

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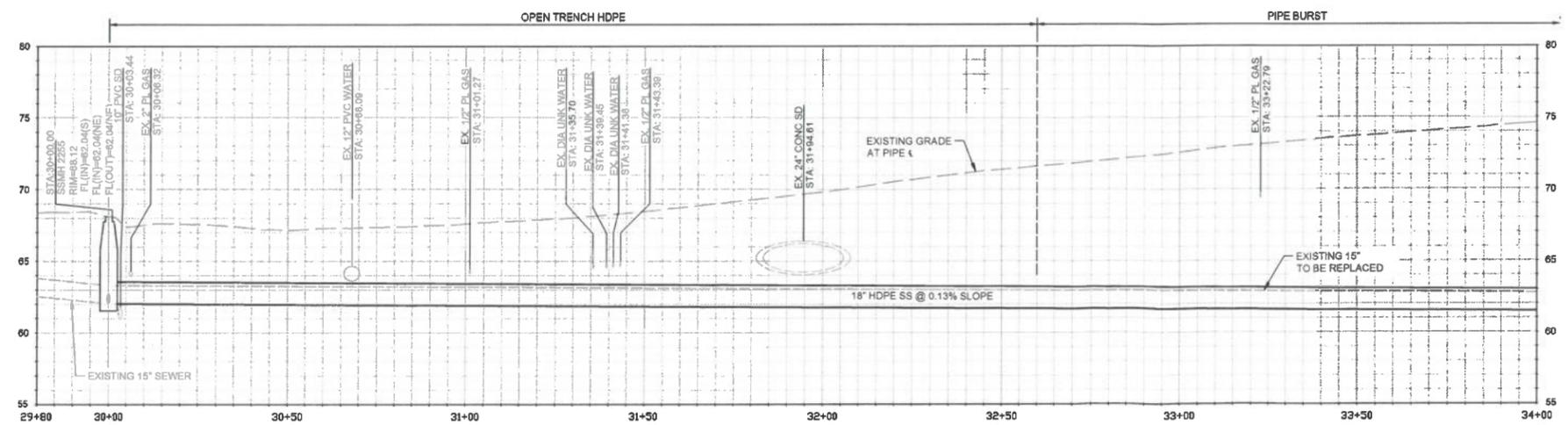
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REGISTERED PROFESSIONAL ENGINEER
No. 79919
KYLE E. ANDERSON
CIVIL
STATE OF CALIFORNIA

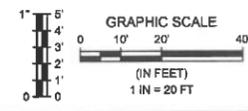
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CITY OF PACIFIC GROVE
INC. 1889



PROFILE - ASILOMAR AVENUE
HORIZONTAL SCALE: 1" = 20', VERTICAL SCALE: 1" = 6'



Rev.	Date	Description of Revisions	By

CITY OF PACIFIC GROVE
SEWER COLLECTION SYSTEM CIP 3, 4, 5, AND 8
CIP 3 ASILOMAR AVE SEWER STA. 30+00 TO STA. 34+00

JOB #: 1153-0006-00
DESIGNER: KEA
DRAWN BY: JICMB
DATE: 11/18/2019
DRAWING NO.
C-1
9 OF 35 SHEETS

REFERENCE NOTES:

DESCRIPTION
100 GENERAL NOTES
101 EXISTING UTILITY CROSSING - PROTECT IN PLACE. APPROXIMATE LOCATION AND DEPTH (IF KNOWN), POT HOLE AND VERIFY LOCATION OF ALL UTILITIES, INCLUDING THOSE NOT SHOWN ON THE PLANS, PRIOR TO CONSTRUCTION.
102 EXISTING SEWER MH - PROTECT IN PLACE.
103 EXISTING UTILITY - PROTECT IN PLACE.
110 APPROXIMATE BORING LOCATION, DEPTH TO GROUNDWATER AND DEPTH TO BEDROCK ESTIMATED FROM GEOTECHNICAL INVESTIGATIONS. REFER TO SPEC SECTION 01 11 00 SUMMARY OF WORK, PARAGRAPH 1.13 FOR GEOTECHNICAL INVESTIGATION INFORMATION.
200 SANITARY SEWER NOTES
201 REPLACE EXISTING 15" SEWER PIPE WITH NEW 18" HDPE SEWER PIPE USING PIPE BURSTING. TRENCHING NOT PERMITTED EXCEPT FOR REPLACEMENT OF MANHOLE AND RECONNECTION OF EXISTING LATERALS. SEE SHEET C-10 THRU C-17 FOR PAVEMENT RESTORATION. RECONNECT ALL EXISTING SEWER LATERALS PER DETAIL G, SHEET C-23. CCTV EXISTING PIPE PRIOR TO CONSTRUCTION TO DETERMINE QUANTITY AND LOCATION OF ALL LATERALS. CONNECT WITH FACION-SADDLE OR APPROVED EQUAL. SEE SPECIFICATION SECTION 33 01 30.23
213 REPLACE EXISTING SEWER MANHOLE WITH DROP MANHOLE PER DETAIL F, SHEET C-23.

Line Table

Line #	Length	Direction
L 32	458.61	N42°05'20"E
L 31	451.85	N45°04'06"E

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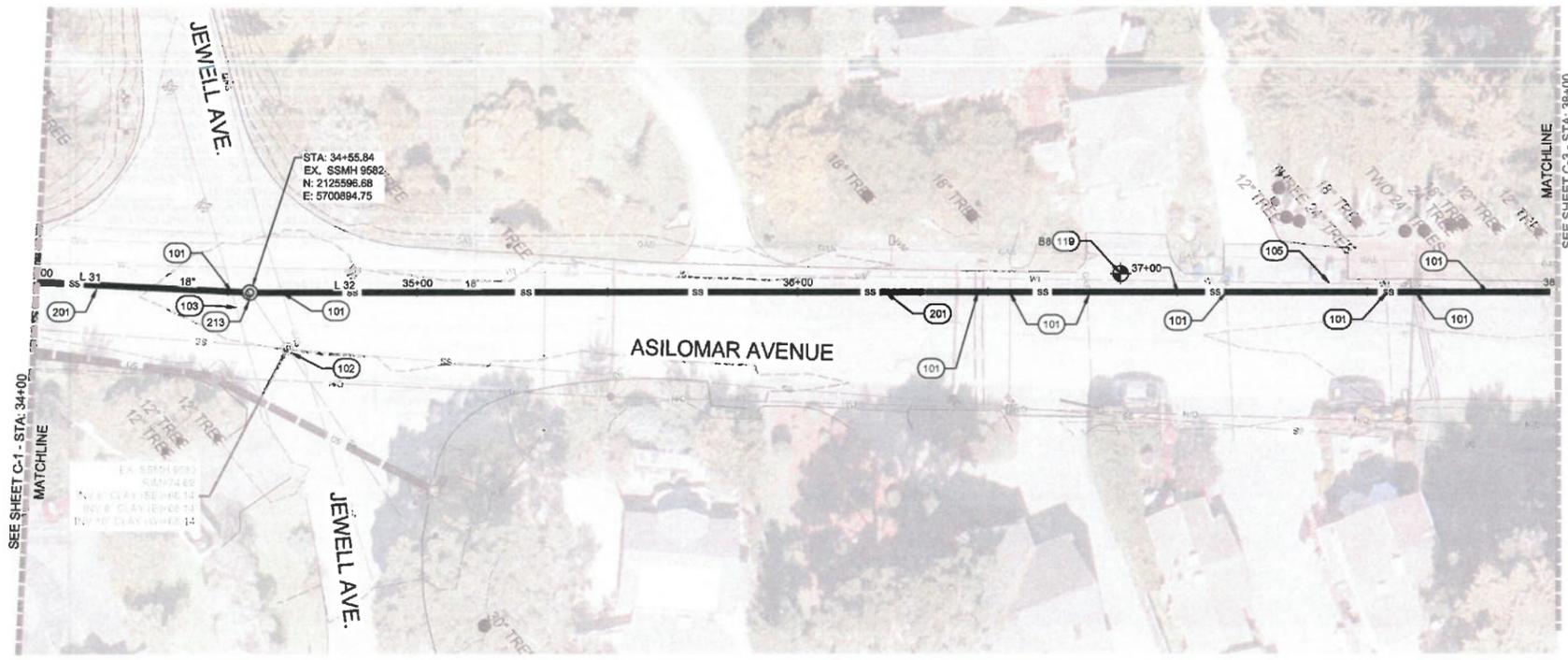
REGISTERED PROFESSIONAL ENGINEER
KYLE E. ANDERSON
No. 79919
CIVIL
STATE OF CALIFORNIA

SIGNATURE
11/18/2019
DATE SIGNED

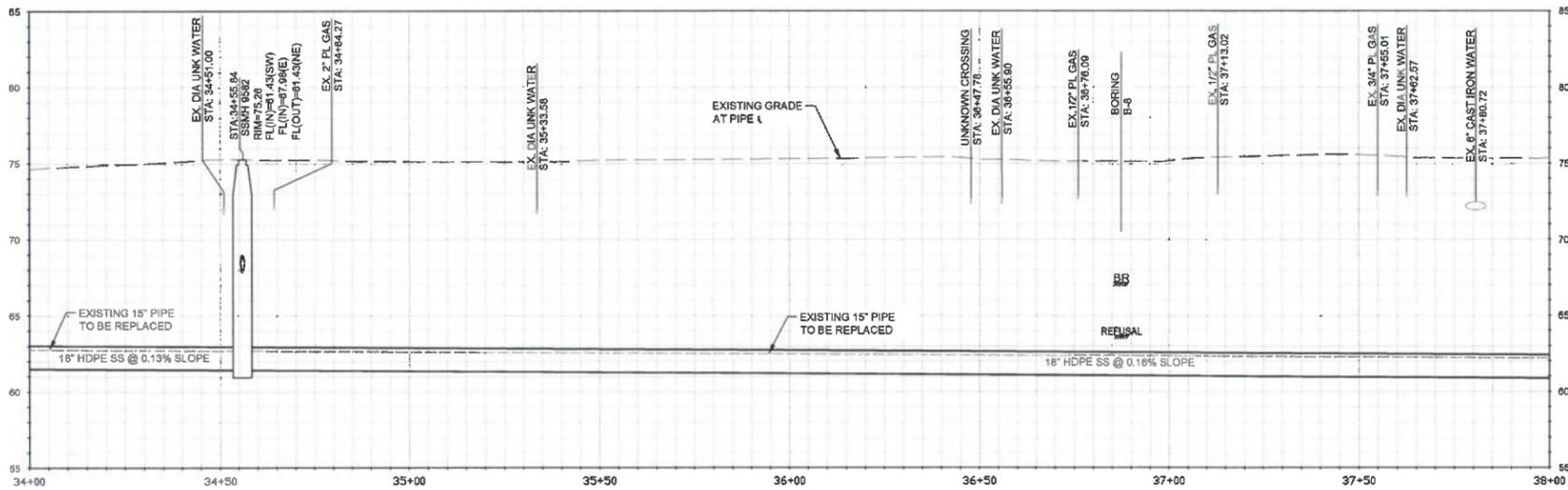
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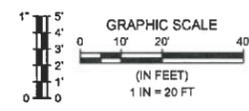
CITY OF PACIFIC GROVE, CA
INC. 1869



PLAN - ASILOMAR AVENUE
SCALE: 1" = 20'



PROFILE - ASILOMAR AVENUE
HORIZONTAL SCALE: 1" = 20', VERTICAL SCALE: 1" = 5'

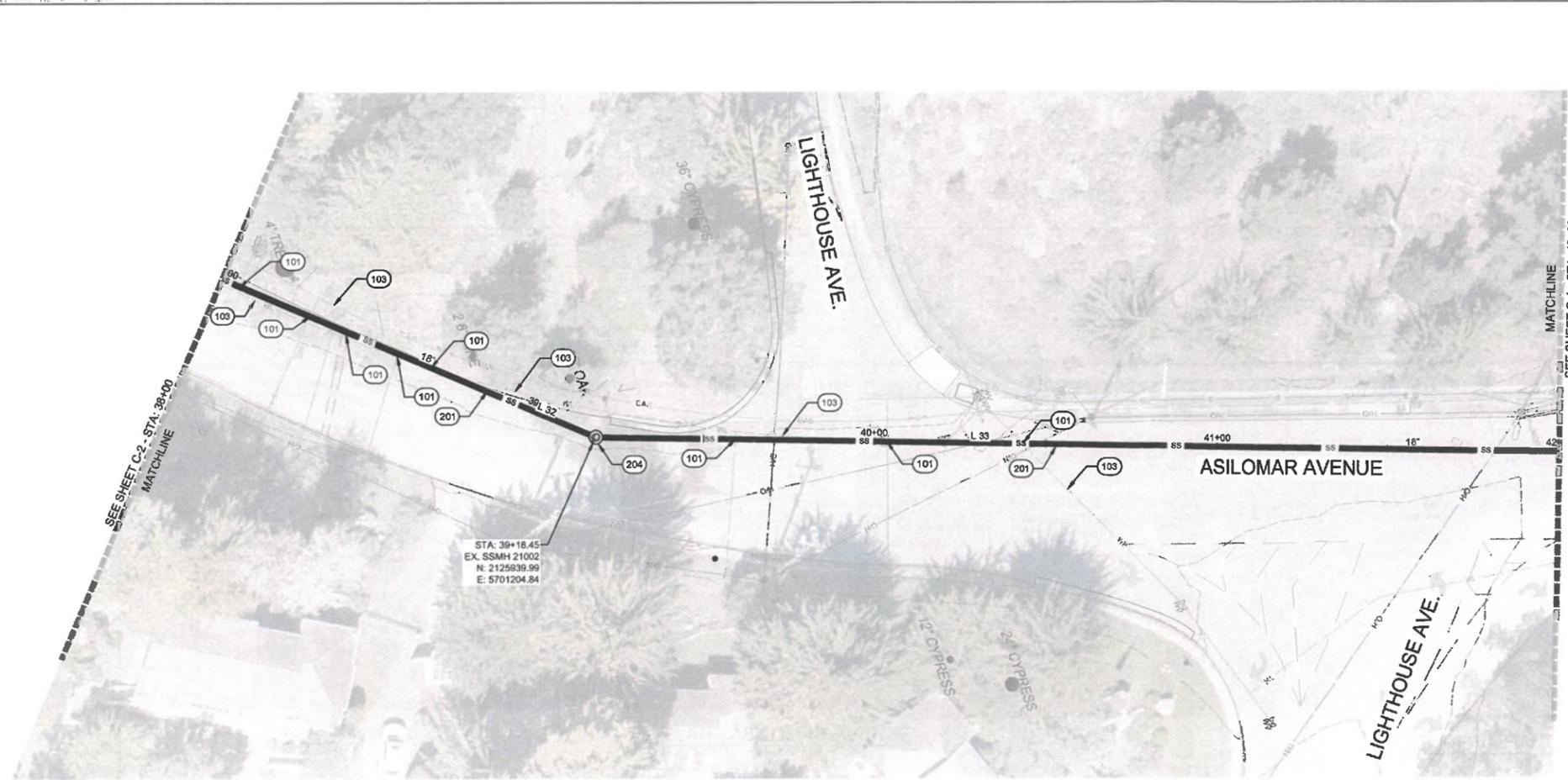


Rev.	Date	Description of Revisions	By

CITY OF PACIFIC GROVE
SEWER COLLECTION SYSTEM CIP 3, 4, 5, AND 8
CIP 3 ASILOMAR AVE SEWER STA. 34+00 TO STA. 38+00

JOB #: 1155-0008-00
DESIGNERS: KEA
DRAWN BY: JCM/B
DATE: 11/18/2019
DRAWING NO.
C-2
10 OF 35 SHEETS

FOR REDUCED PLANS
ORIGINAL SCALE IS IN INCHES



PLAN - ASILOMAR AVENUE
SCALE: 1" = 20'

REFERENCE NOTES:

DESCRIPTION
100 GENERAL NOTES
101 EXISTING UTILITY CROSSING - PROTECT IN PLACE. APPROXIMATE LOCATION AND DEPTH (IF KNOWN), POT HOLE AND VERIFY LOCATION OF ALL UTILITIES, INCLUDING THOSE NOT SHOWN ON THE PLANS, PRIOR TO CONSTRUCTION.
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204 REPLACE EXISTING SEWER MANHOLE WITH NEW 48" MANHOLE PER DETAIL A, SHEET C-23. COAT ENTIRE MANHOLE PER SPECIFICATION SECTION 00 07 23. RECONNECT ALL SEWER MAINS.

Line Table

Line #	Length	Direction
L 32	458.81	N42°05'20"E
L 33	425.88	N20°04'34"E

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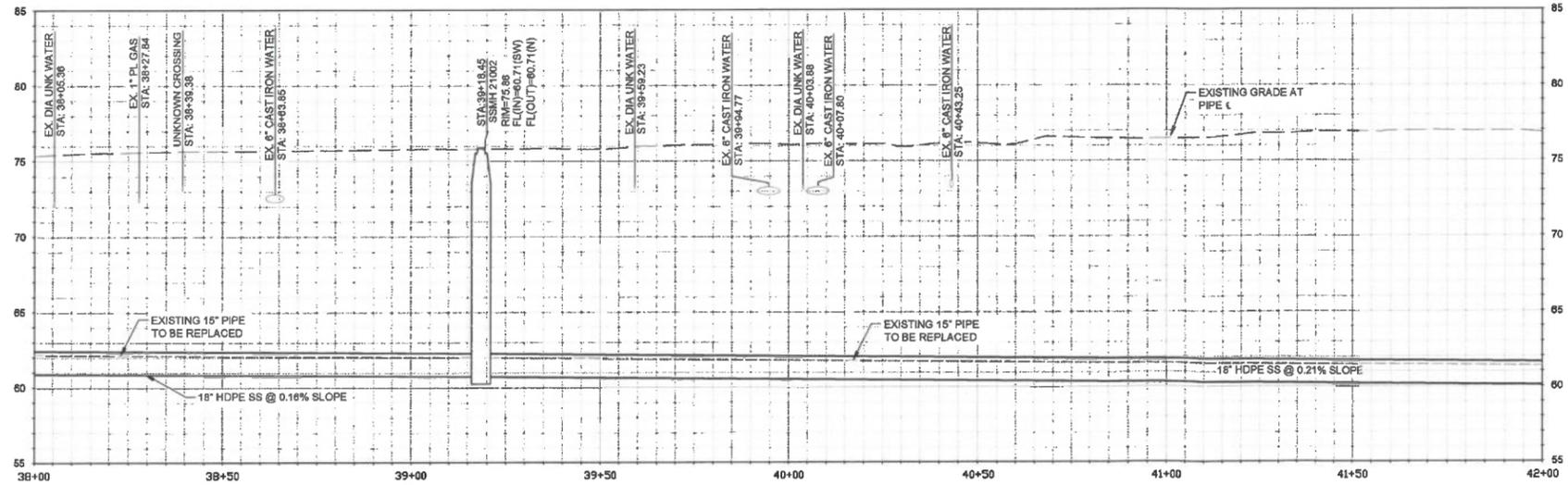
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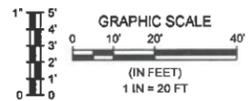


CITY OF PACIFIC GROVE
SEWER COLLECTION SYSTEM CIP 3, 4, 5, AND 8
CIP 3 ASILOMAR AVE SEWER STA. 38+00 TO STA. 42+00

JOB #: 1153-0008-00
DESIGNERS: KEA
DRAWN BY: JJC/MB
DATE: 11/18/2019
DRAWING NO.
C-3
11 OF 35 SHEETS



PROFILE - ASILOMAR AVENUE
HORIZONTAL SCALE: 1" = 20', VERTICAL SCALE: 1" = 5'



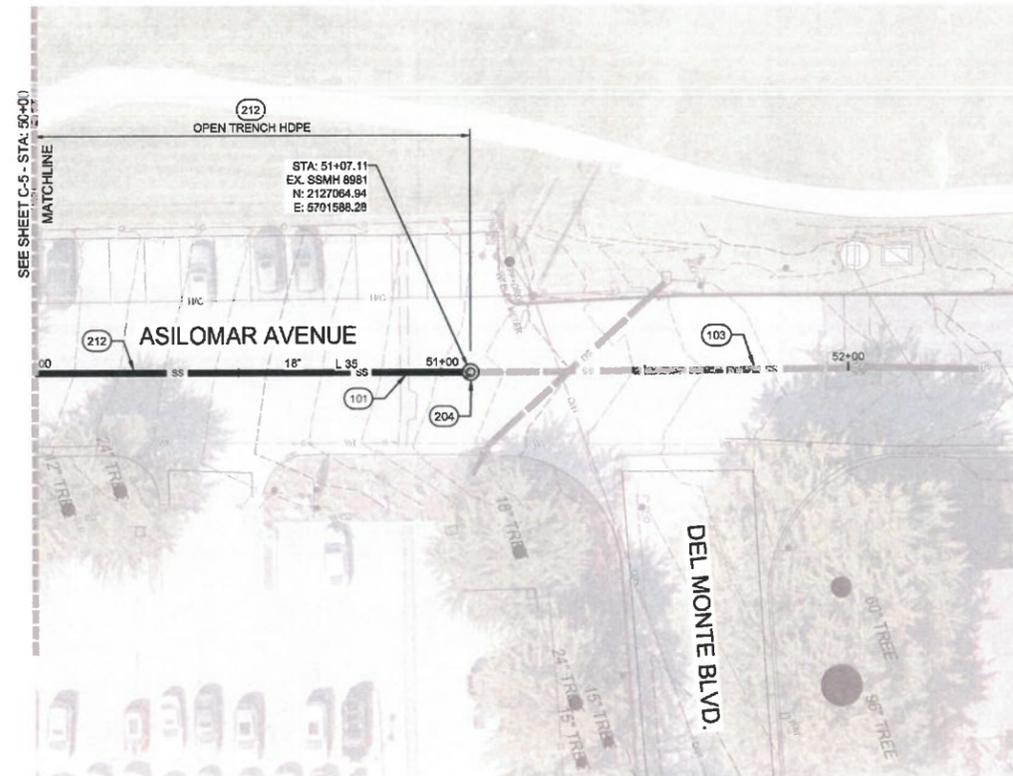
Rev.	Date	Description of Revisions	By

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ORIGINAL SCALE IS IN INCHES

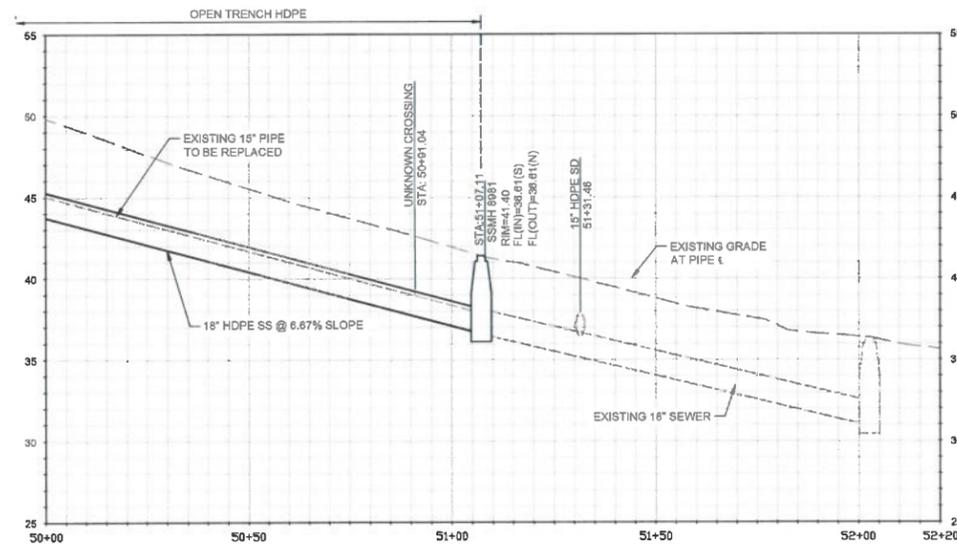


REFERENCE NOTES:	
	DESCRIPTION
100 GENERAL NOTES	
101	EXISTING UTILITY CROSSING - PROTECT IN PLACE. APPROXIMATE LOCATION AND DEPTH (IF KNOWN), POT HOLE AND VERIFY LOCATION OF ALL UTILITIES, INCLUDING THOSE NOT SHOWN ON THE PLANS, PRIOR TO CONSTRUCTION.
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200 SANITARY SEWER NOTES	
204	REPLACE EXISTING SEWER MANHOLE WITH NEW 48" MANHOLE PER DETAIL A, SHEET C-23. COAT ENTIRE MANHOLE PER SPECIFICATION SECTION 09 97 23. RECONNECT ALL SEWER MAINS.
212	REPLACE EXISTING 15" SEWER PIPE WITH NEW 18" HDPE SEWER PIPE. TRENCH PER DETAIL B, SHEET C-23. SEE SHEET C-16 THRU C-17 FOR PAVEMENT RESTORATION. RECONNECT ALL EXISTING SEWER LATERALS PER DETAIL G, SHEET C-23. CCTV EXISTING PIPE PRIOR TO CONSTRUCTION TO DETERMINE QUANTITY AND LOCATION OF ALL LATERALS. CONNECT WITH FACTION-SADDLE OR APPROVED EQUAL. SEE SPECIFICATION SECTION 33 01 30.23

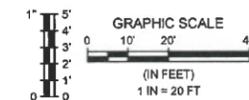
Line Table		
Line #	Length	Direction
L 35	321.98	N18°02'20"E



PLAN - ASILOMAR AVENUE
SCALE: 1" = 20'



PROFILE - ASILOMAR AVENUE
HORIZONTAL SCALE: 1" = 20'; VERTICAL SCALE: 1" = 5'



Rev.	Date	Description of Revisions	By

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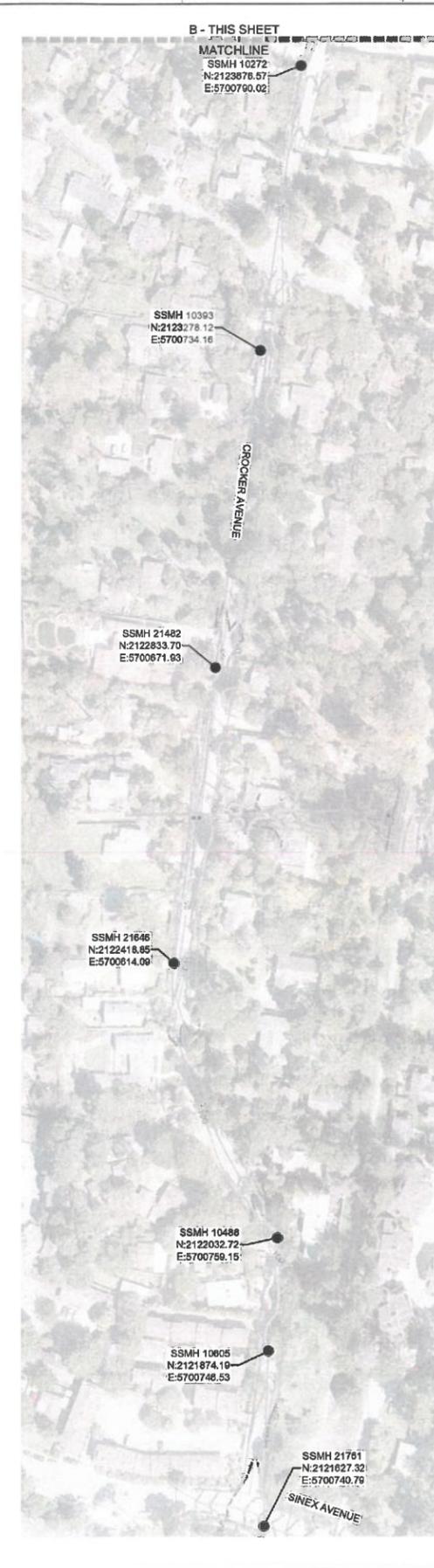
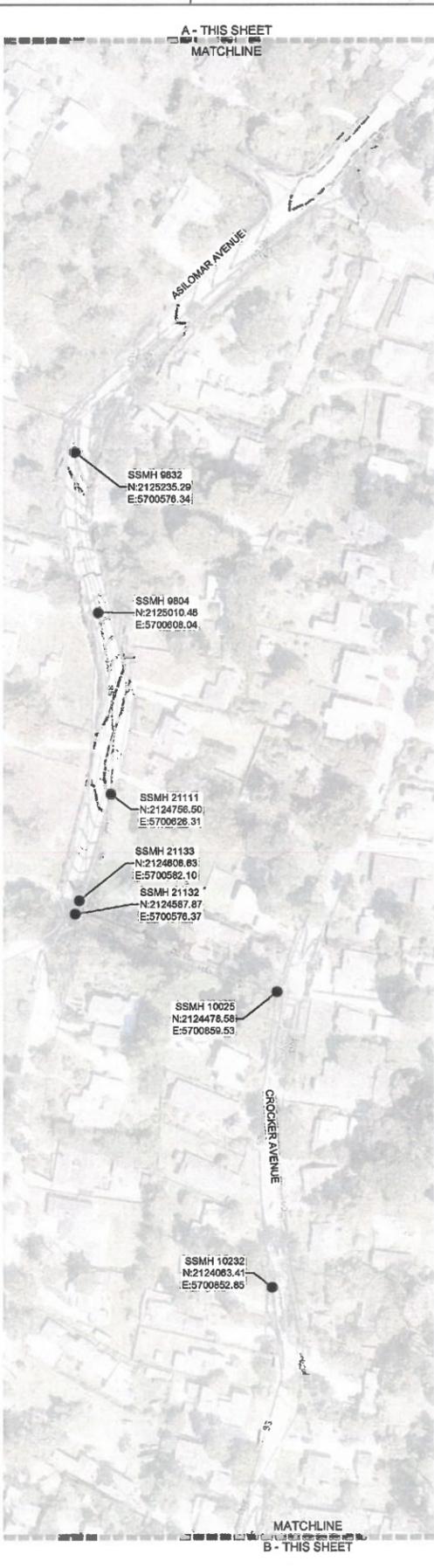
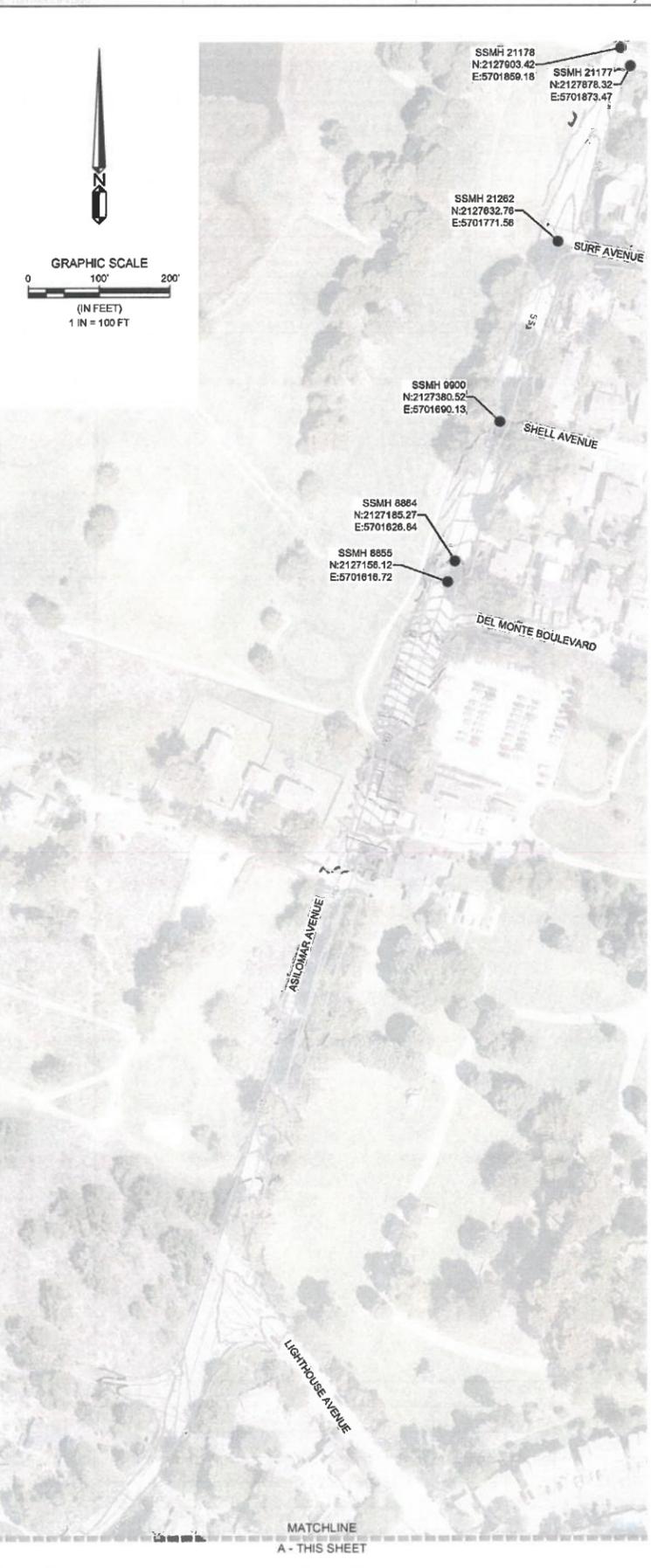
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CITY OF PACIFIC GROVE, CA
 SEWER COLLECTION SYSTEM CIP 3, 4, 5, AND 8
 CIP 3 ASILOMAR AVE SEWER STA. 50+00 TO STA. 52+00

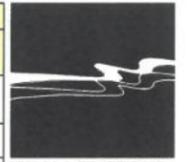
CITY OF PACIFIC GROVE, CA
 SEWER COLLECTION SYSTEM CIP 3, 4, 5, AND 8
 CIP 3 ASILOMAR AVE SEWER STA. 50+00 TO STA. 52+00

JOB #: 1153-0008-00
 DESIGNER: KEA
 DRAWN BY: JCMBS
 DATE: 11/18/2019
 DRAWING NO.
 C-6
 14 OF 35 SHEETS



WORK SCOPE	MANHOLE NUMBER	STREET	SIZE	RIM ELEVATION	PIPE CONNECTIONS	DEPTH OF LOWEST INVERT
204	21178	ASILOMAR/OCEAN VIEW	48" ECCENTRIC	24.24'	INV 6" (SW)=21.24' INV 18" CLAY (S)=19.91' INV 18" CLAY (E)=19.91'	4.33'
204	21177	ASILOMAR AVENUE	48" ECCENTRIC	24.82'	INV 8" CLAY (S)=21.85' INV 8" CLAY (E)=21.85'	3.17'
204	21282	ASILOMAR AVENUE	48" ECCENTRIC	28.10'	INV 18" CLAY (S)=22.91' INV 18" CLAY (N)=22.91'	5.19'
204	9800	ASILOMAR AVENUE	48" ECCENTRIC	29.79'	INV 15" (S)=24.80' INV 15" (N)=24.60'	5.19'
206	8864	ASILOMAR AVENUE	48" ECCENTRIC	35.27'	INV 6" (SW)=31.87' INV 18" (S)=30.79' INV 18" (N)=30.79'	4.48'
206	8855	ASILOMAR AVENUE	48" ECCENTRIC	36.38'	INV 18" (S)=30.94' INV 18" (N)=30.94'	5.44'
204	9832	ASILOMAR AVENUE	48" ECCENTRIC	68.85'	INV 15" CLAY (S)=63.05' INV 15" CLAY (N)=63.05'	5.80'
204	9804	ASILOMAR AVENUE	48" ECCENTRIC	78.48'	INV 18" (S)=84.03' INV 18" (N)=84.03'	12.45'
206	21111	ASILOMAR AVENUE	48" ECCENTRIC	80.72'	INV 18" STEEL (S)=65.77' INV 18" STEEL (N)=65.77'	14.95'
207	21133	ASILOMAR AVENUE	48" ECCENTRIC	73.84'	TOP 12" (W)=68.29' INV 15" CLAY (S)=66.19' INV 15" CLAY (N)=66.19'	7.85'
207	21132	ASILOMAR AVENUE	48" ECCENTRIC	73.14'	INV 15" (N)=66.41' INV 15" (E)=66.41'	6.73'
204	10025	CROCKER AVENUE	48" ECCENTRIC	82.51'	INV 15" CLAY (S)=68.00' INV 15" CLAY (NW)=68.00'	14.51'
204	10232	CROCKER AVENUE	48" ECCENTRIC	76.71'	INV 15" CLAY (N)=69.11' INV 15" CLAY (S)=69.11'	7.60'
204	10272	CROCKER AVENUE	48" ECCENTRIC	76.23'	INV 6" CLAY (E)=70.73' INV 6" CLAY (W)=70.73' INV 18" VCP (S)=70.11' INV 18" VCP (N)=70.11'	6.12'
206	10393	CROCKER AVENUE	48" ECCENTRIC	82.10'	INV 15" CLAY (S)=71.20' INV 15" CLAY (N)=71.20'	10.90'
204	21482	CROCKER AVENUE	48" ECCENTRIC	78.38'	INV 15" CLAY (N)=72.23' INV 15" CLAY (S)=72.73'	6.15'
204	21848	CROCKER AVENUE	48" ECCENTRIC	78.28'	INV 4" CLAY (W)=74.09' INV 15" CLAY (N)=73.34' INV 15" CLAY (S)=73.34'	4.94'
204	10488	CROCKER AVENUE	48" ECCENTRIC	91.30'	INV 15" CLAY (NW)=85.10' INV 15" CLAY (S)=85.10'	6.20'
204	10805	CROCKER AVENUE	48" ECCENTRIC	93.81'	INV 15" CLAY (N)=88.26' INV 15" CLAY (S)=88.26'	7.55'
207	21761	CROCKER AVENUE	48" ECCENTRIC	97.30'	INV 6" ABANDONED (E)=90.70' INV 8" ABANDONED (W)=90.47' INV 12" (W)=88.25' INV 15" CLAY (N)=87.27' INV 15" CLAY (S)=87.27'	10.03'

DESCRIPTION
200 SANITARY SEWER NOTES
204 REPLACE EXISTING SEWER MANHOLE WITH NEW 48" MANHOLE PER DETAIL A, SHEET C-23. COAT ENTIRE MANHOLE PER SPECIFICATION SECTION 09 97 23. RECONNECT ALL SEWER MAINS.
206 COAT EXISTING MANHOLE PER SPECIFICATION SECTION 09 97 23.
207 REPLACE GRADE RINGS AND LID PER DETAIL A, SHEET C-23. COAT ENTIRE MANHOLE PER SPECIFICATION SECTION 09 97 23.
208 REPLACE CONE SECTION, GRADE RINGS AND LID PER DETAIL A, SHEET C-23. COAT ENTIRE MANHOLE PER SPECIFICATION SECTION 09 97 23.



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SIGNATURE
11/18/2019
DATE SIGNED

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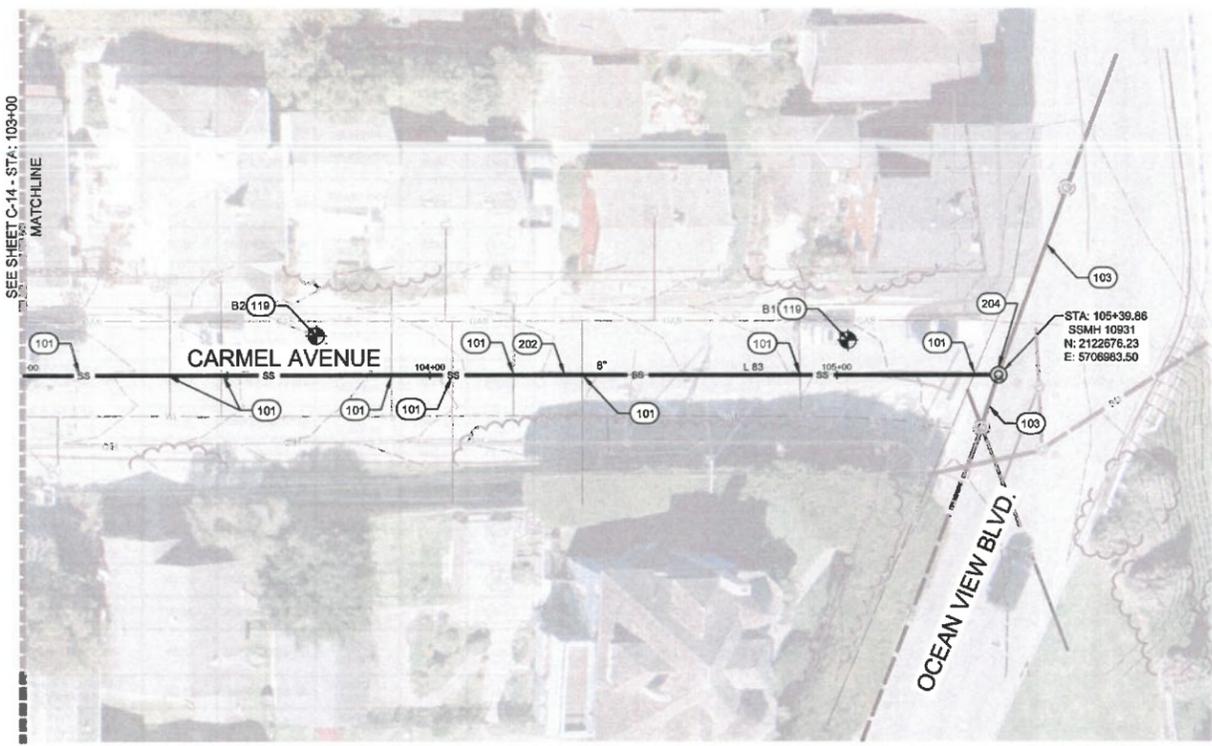
CITY OF PACIFIC GROVE
SEWER COLLECTION SYSTEM CIP 3, 4, 5, AND 8
CIP 4 CROCKER AVE TO GROVE ACRE AVE EASEMENT SEWER REPLACEMENT

JOB #: 1153-000-00
DESIGNERS: KEA
DRAWN BY: JJC
DATE: 11/18/2019
DRAWING NO.

C-7
15 OF 35 SHEETS

Rev.	Date	Description of Revisions	By

FOR REDUCED PLANS ORIGINAL SCALE IS IN INCHES

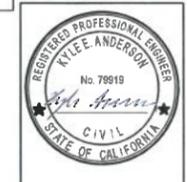


PLAN - CARMEL AVENUE
SCALE: 1" = 20'

REFERENCE NOTES:	
NO.	DESCRIPTION
100	GENERAL NOTES
101	EXISTING UTILITY CROSSING - PROTECT IN PLACE. APPROXIMATE LOCATION AND DEPTH (IF KNOWN), POT HOLE AND VERIFY LOCATION OF ALL UTILITIES, INCLUDING THOSE NOT SHOWN ON THE PLANS, PRIOR TO CONSTRUCTION. BACKFILL WITH 2 SACK SLURRY WHERE CROSSING UTILITY IS LESS THAN 1 FOOT ABOVE PROPOSED SEWER. SLURRY SHALL EXTEND 1 FOOT BEYOND UTILITY ON BOTH SIDES.
103	EXISTING UTILITY - PROTECT IN PLACE.
119	APPROXIMATE BORING LOCATION, DEPTH TO GROUNDWATER AND DEPTH TO BEDROCK ESTIMATED FROM GEOTECHNICAL INVESTIGATIONS. REFER TO SPEC SECTION 01 11 00 SUMMARY OF WORK, PARAGRAPH 1.13 FOR GEOTECHNICAL INVESTIGATION INFORMATION.
200	SANITARY SEWER NOTES
202	REPLACE EXISTING SEWER PIPE WITH 8" SDR 35 PVC SEWER PIPE. TRENCH PER DETAIL B, SHEET C-23. SEE SHEET C-18 THRU C-22 FOR PAVEMENT RESTORATION, RECONNECT ALL EXISTING SEWER LATERALS PER DETAIL G, SHEET C-23. CCTV EXISTING PIPE PRIOR TO CONSTRUCTION TO DETERMINE QUANTITY AND LOCATION OF ALL LATERALS.
204	REPLACE EXISTING SEWER MANHOLE WITH NEW 48" MANHOLE PER DETAIL A, SHEET C-23. COAT ENTIRE MANHOLE PER SPECIFICATION SECTION 08 97 23. RECONNECT ALL SEWER MAINS.

Line Table		
Line #	Length	Direction
L 83	446.31	N21°15'19"E

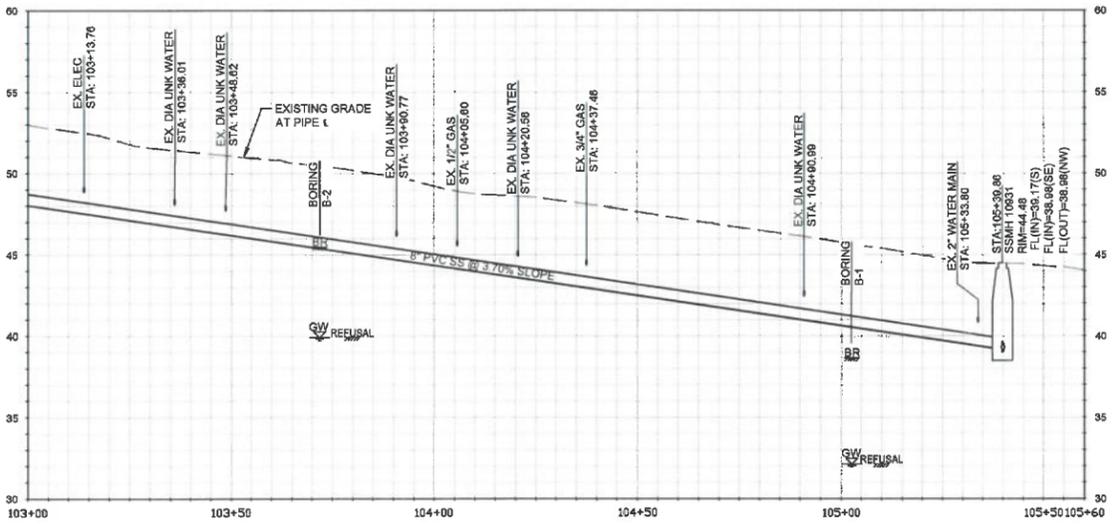
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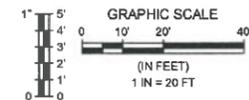
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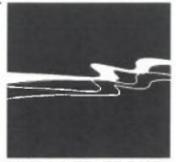
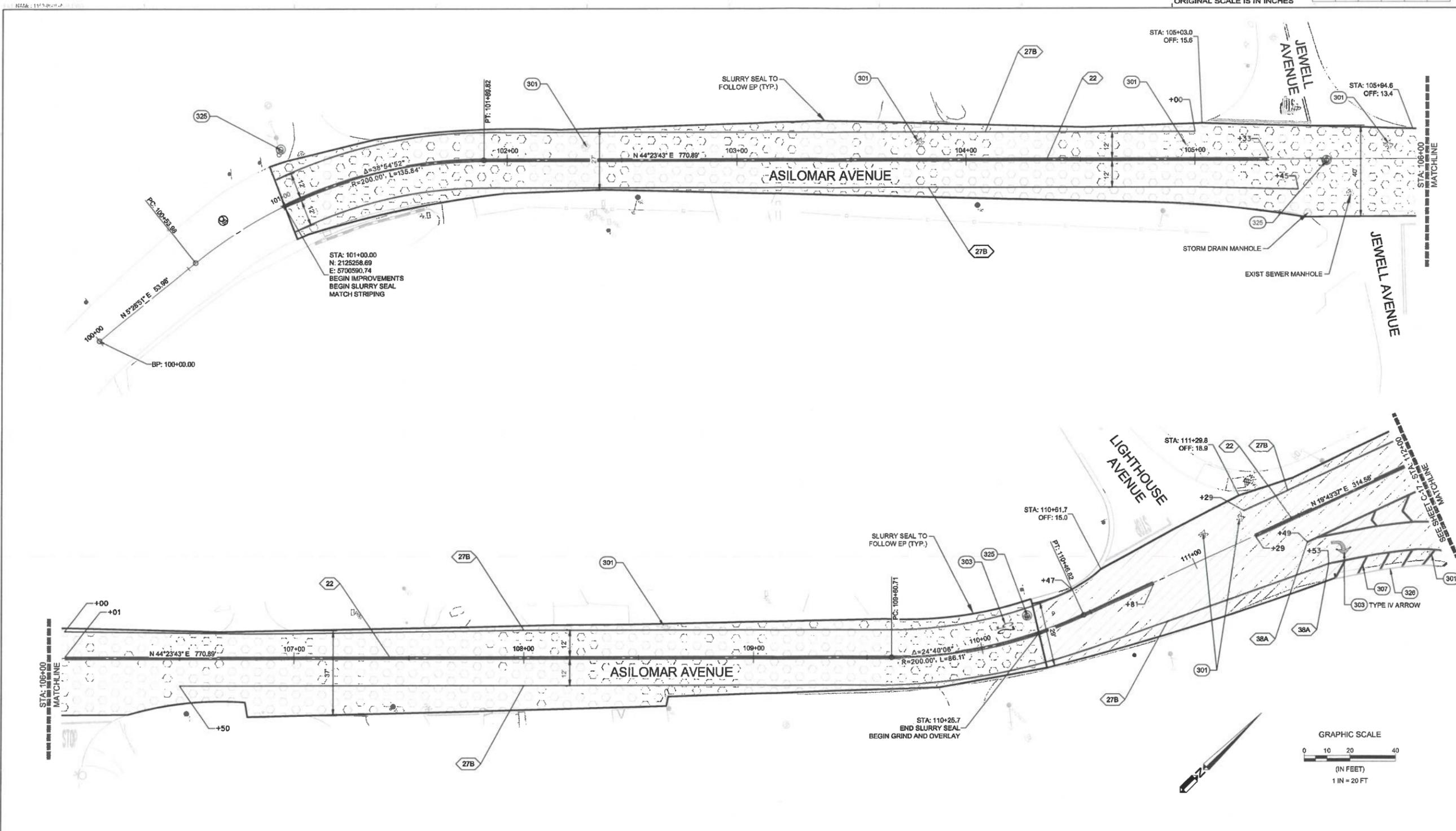
PROFILE - SEWER REPLACEMENT
HORIZONTAL SCALE: 1" = 20', VERTICAL SCALE: 1" = 5'



Rev.	Date	Description of Revisions	By

CITY OF PACIFIC GROVE
 SEWER COLLECTION SYSTEM CIP 3, 4, 5, AND 8
 CIP 8 CARMEL AVE SEWER STA. 103+00 TO STA. 105+60

JOB #: 1153-008-00
 DESIGNER: KEA
 DRAWN BY: JCM/MB
 DATE: 11/18/2019
 DRAWING NO.
C-15
 23 OF 35 SHEETS



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CITY OF PACIFIC GROVE
 SEWER COLLECTION SYSTEM CIP 3, 4, 5, AND 8
 CIP 3 ASILOMAR PAVING PLAN STA. 101+00 TO STA. 112+00

JOB #: 1153-006-00
 DESIGNER: EB
 DRAWN BY: EMP
 DATE: 11/19/2019
 DRAWING NO.
C-16
 24 OF 35 SHEETS

NOTES:

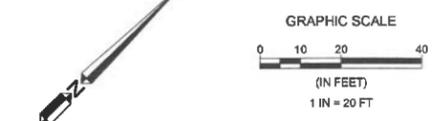
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- CONTRACTOR TO PROTECT IN PLACE ALL PRIVATE PROPERTY IMPROVEMENTS.
- CONTRACTOR TO PROTECT IN PLACE ALL UTILITY POLES, SIGNS AND APPURTENANCES UNLESS INDICATED OTHERWISE.
- CONTRACTOR TO ENSURE CONFORM AT EDGE OF IMPROVEMENTS. SAWCUT AT CONCRETE JOINTS AND ENSURE GRADES ARE COMPLIANT WITH CALTRANS STANDARD PLAN A88A. MAINTAIN POSITIVE DRAINAGE AROUND RAMP FLOWLINE.
- SLOPES IN CROSSWALKS AND PEDESTRIAN PATH OF TRAVEL SHALL NOT EXCEED 5% IN DIRECTION OF TRAVEL AND 1.5% CROSS SLOPE.
- RESET ALL UTILITY MANHOLES, LIDS AND METERS TO FINISHED GRADE.
- PAVE BACK TO EXISTING CROSS SLOPES AND DRAINAGE PATTERNS.

LEGEND:

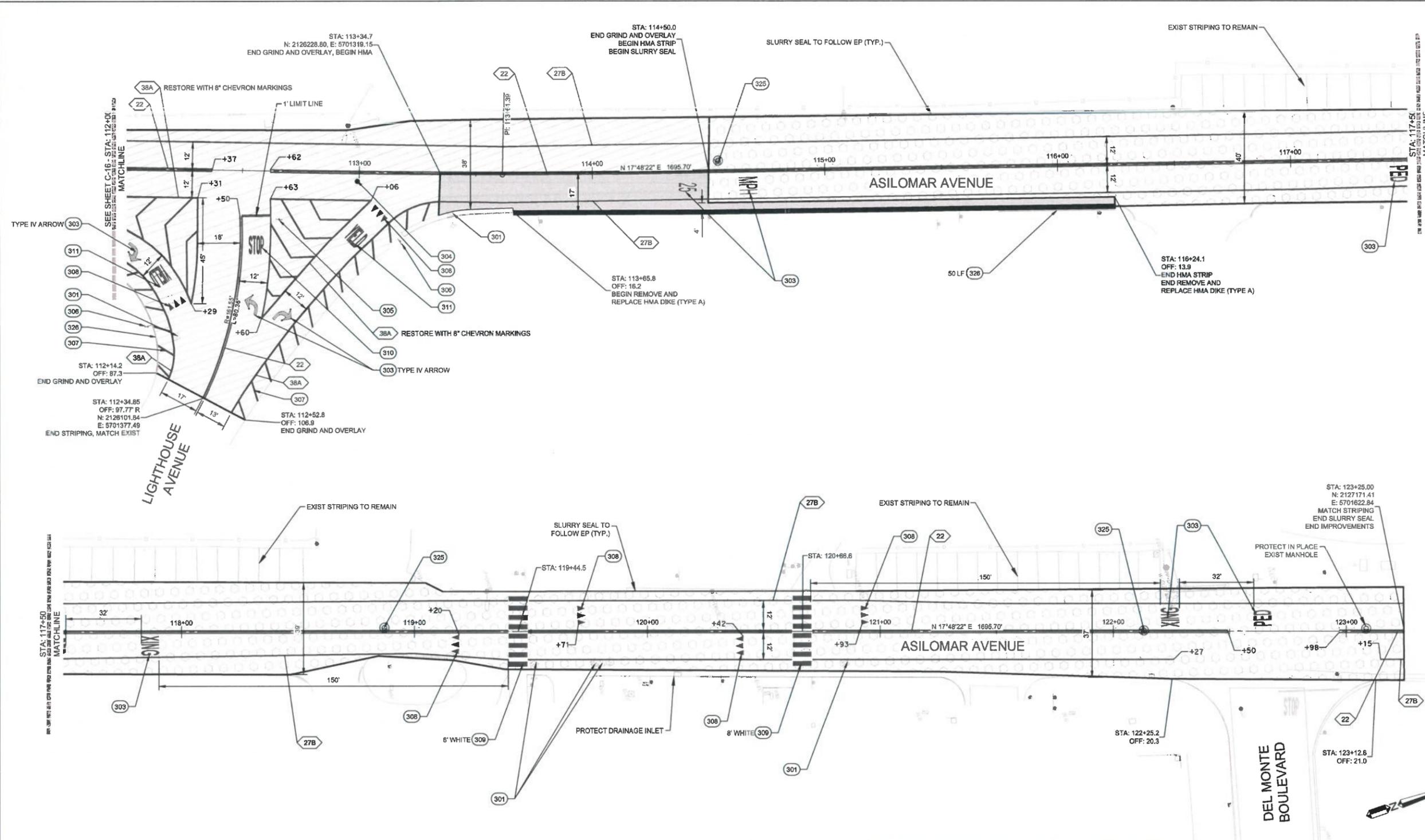
- 2" GRIND AND OVERLAY
- SLURRY SEAL (TYPE II)
- INDICATES PAVEMENT DELINEATION PER 2018 CALTRANS STANDARD DETAILS, LATEST REVISION. SEE SHEET C-25.

REFERENCE NOTES:

NO.	DESCRIPTION
300	PAVING NOTES
301	ADJUST EXISTING WATER VALVE TO GRADE.
303	RESTORE EXISTING PAVEMENT MARKINGS AS SHOWN.
307	STRIPE 6" WHITE @ 10' SPACING.
325	PROPOSED SEWER MANHOLE. SEE SHEETS C-1 THRU C-6 FOR SEWER PLANS.
328	RED CURB PAINT (2 COAT).



Rev.	Date	Description of Revisions	By



- NOTES:**
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 - CONTRACTOR TO PROTECT IN PLACE ALL PRIVATE PROPERTY IMPROVEMENTS.
 - CONTRACTOR TO PROTECT IN PLACE ALL UTILITY POLES, SIGNS AND APPURTENANCES UNLESS INDICATED OTHERWISE.
 - CONTRACTOR TO ENSURE CONFORM AT EDGE OF IMPROVEMENTS. SAWCUT AT CONCRETE JOINTS AND ENSURE GRADES ARE COMPLIANT WITH CALTRANS STANDARD PLAN A88A. MAINTAIN POSITIVE DRAINAGE AROUND RAMP FLOWLINE.
 - SLOPES IN CROSSWALKS AND PEDESTRIAN PATH OF TRAVEL SHALL NOT EXCEED 6% IN DIRECTION OF TRAVEL AND 1.5% CROSS SLOPE.
 - RESET ALL UTILITY MANHOLES, LIDS AND METERS TO FINISHED GRADE.
 - PAVE BACK TO EXISTING CROSS SLOPES AND DRAINAGE PATTERNS.

LEGEND:

	2" GRIND AND OVERLAY
	SLURRY SEAL (TYPE II)
	INDICATES PAVEMENT DELINEATION PER 2018 CALTRANS STANDARD DETAILS, LATEST REVISION. SEE SHEET C-25.
	REMOVE PAVEMENT. PLACE 3.5" HMA OVER EXIST. BASE COMPACTED TO 95% RELATIVE COMPACTION.

REFERENCE NOTES:

SYMBOL	DESCRIPTION
○	PAVING NOTES
300	ADJUST EXISTING WATER VALVE TO GRADE.
301	RESTORE EXISTING PAVEMENT MARKINGS AS SHOWN.
302	RESET MONUMENT WELL TO GRADE.
303	INSTALL STOP SIGN (R1-1) WITH BREAKAWAY POST.
304	INSTALL YIELD SIGN (R1-2).
305	STRIPES 8" WHITE @ 10' SPACING.
306	STRIPES YIELD LINE PER CALTRANS REVISED STANDARD PLAN RSP A24G.
307	STRIPES HIGH VISIBILITY CONTINENTAL STYLE CROSSWALK PER CALTRANS STANDARD PLAN A24F.
308	PROPOSED "STOP" PAVEMENT MARKING AS SHOWN.
309	PROPOSED "YIELD" PAVEMENT MARKING AS SHOWN.
310	PROPOSED SEWER MANHOLE. SEE SHEETS C-1 THRU C-6 FOR SEWER PLANS.
311	RED CURB PAINT (2 COAT).



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REGISTERED PROFESSIONAL ENGINEER
 SAUL BLANCO
 No. 82853
 CIVIL
 STATE OF CALIFORNIA

Signature: *E. Blum*
 DATE SIGNED: 11/18/2019

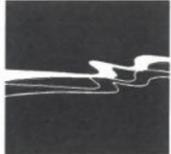
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CITY OF PACIFIC GROVE
 SEWER COLLECTION SYSTEM CIP 3, 4, 5, AND 8
 CIP 3 ASILOMAR PAVING PLAN STA. 112+00 TO STA. 123+25

JOB #: 1153-0008-00
 DESIGNERS: EB
 DRAWN BY: EMP
 DATE: 11/18/2019
 DRAWING NO.
C-17
 25 OF 35 SHEETS



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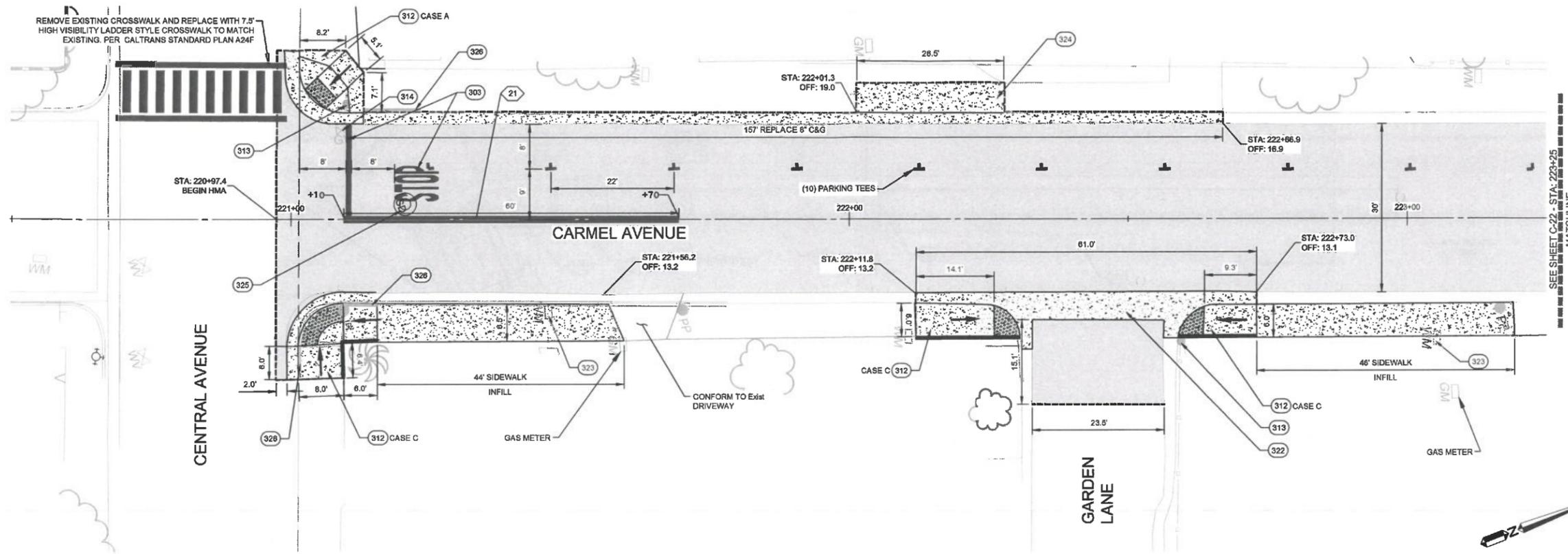
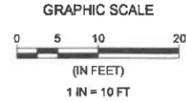
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CIVIL
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Signature
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DATE SIGNED



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2. CONTRACTOR TO PROTECT IN PLACE ALL PRIVATE PROPERTY IMPROVEMENTS.
3. CONTRACTOR TO PROTECT IN PLACE ALL UTILITY POLES, SIGNS AND APPURTENANCES UNLESS INDICATED OTHERWISE.
4. CONTRACTOR TO ENSURE CONFORM AT EDGE OF IMPROVEMENTS. SAWCUT AT CONCRETE JOINTS AND ENSURE GRADES ARE COMPLIANT WITH CALTRANS STANDARD PLAN A88A. MAINTAIN POSITIVE DRAINAGE AROUND RAMP FLOWLINE.
5. SLOPES IN CROSSWALKS AND PEDESTRIAN PATH OF TRAVEL SHALL NOT EXCEED 5% IN DIRECTION OF TRAVEL AND 1.5% CROSS SLOPE.
6. RESET ALL UTILITY MANHOLES, LIDS AND METERS TO FINISHED GRADE.
7. PROVIDE 4' MIN CLEARANCE AT POLES AND OTHER OBSTRUCTIONS.
8. PAVE BACK TO EXISTING CROSS SLOPES AND DRAINAGE PATTERNS.

LEGEND:

- LIMITS OF PROPOSED CONCRETE RAMP/SIDEWALK
- DETECTABLE WARNING SURFACE
- REMOVE PAVEMENT. PLACE 3.5\"/>

REFERENCE NOTES:

DESCRIPTION
300 PAVING NOTES
303 RESTORE EXISTING PAVEMENT MARKINGS AS SHOWN.
312 CONSTRUCT CURB RAMP PER CALTRANS STANDARD PLAN A88A.
313 REMOVE AND RESET SIGN PER CITY STANDARD DETAILS 116 & 118.
314 PROTECT EXISTING GAS VALVE IN PLACE.
322 RECONSTRUCT CROSS GUTTER PER CITY STANDARD DETAIL 109.
323 ADJUST EXISTING WATER METER TO GRADE.
324 REMOVE CONCRETE DRIVEWAY AND REPLACE WITH SIDEWALK.
325 PROPOSED SEWER MANHOLE. SEE SHEETS C-12 THRU C-15 FOR SEWER PLANS.
328 RED CURB PAINT (2 COAT).

Rev.	Date	Description of Revisions	By

CITY OF PACIFIC GROVE
SEWER COLLECTION SYSTEM CIP 3, 4, 5, AND 8
CIP 8 CARMEL AVE PAVING PLAN STA. 220+97.40 TO STA. 223+25

JOB #: 1153-0008-00
DESIGNER: EB
DRAWN BY: EHP
DATE: 11/18/2019
DRAWING NO.
C-21
29 OF 35 SHEETS



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Signature: *E. Sau Blanco*
 DATE SIGNED: 11/18/2019

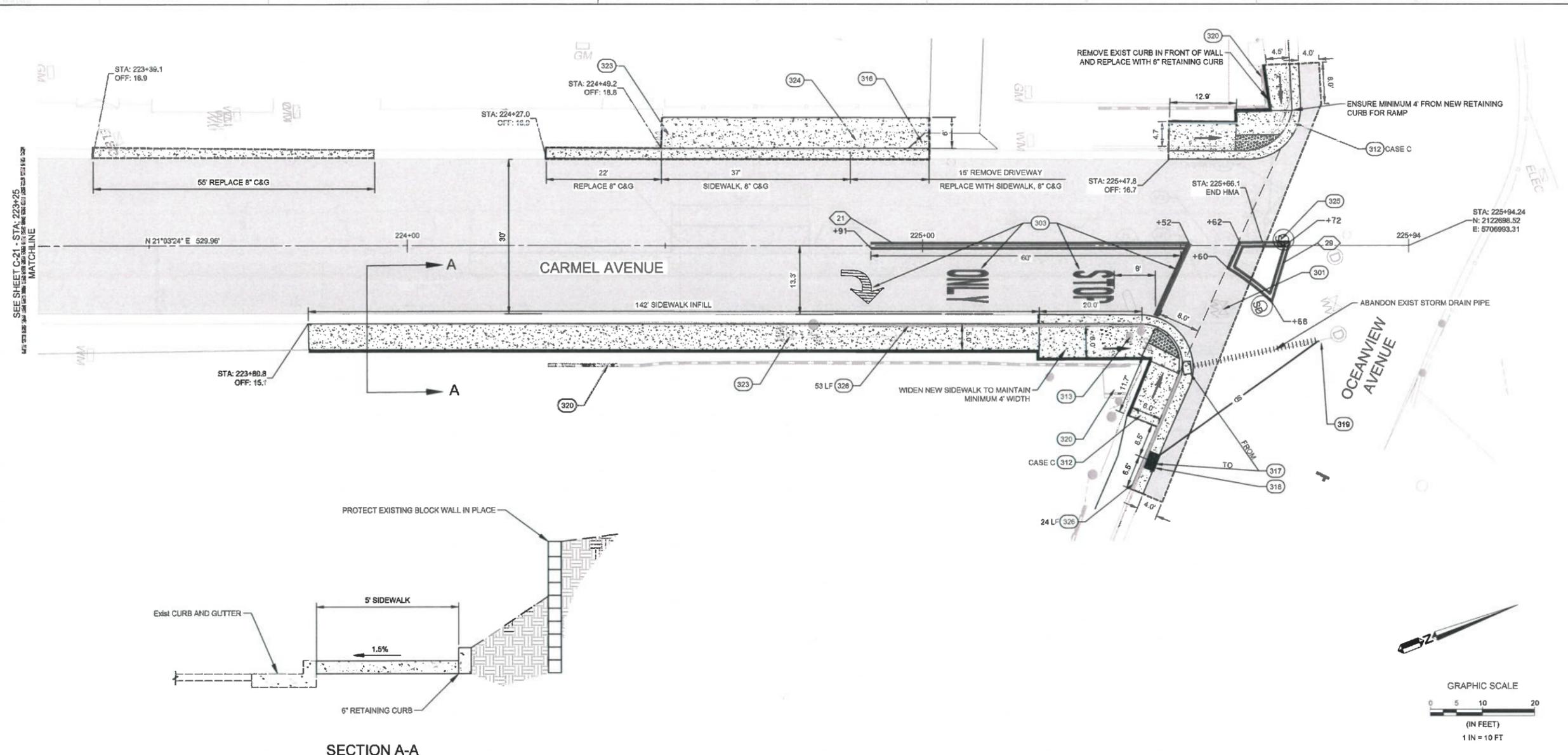
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 CIP 8 CARMEL AVE PAVING PLAN STA. 223+25 TO STA. 225+65.4

CITY OF PACIFIC GROVE
 SEWER COLLECTION SYSTEM CIP 3, 4, 5, AND 8
 CIP 8 CARMEL AVE PAVING PLAN STA. 223+25 TO STA. 225+65.4

JOB #: 1153-0008-00
 DESIGNER: EB
 DRAWN BY: EMP
 DATE: 11/18/2019
 DRAWING NO. C-22
 30 OF 35 SHEETS



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 - CONTRACTOR TO PROTECT IN PLACE ALL PRIVATE PROPERTY IMPROVEMENTS.
 - CONTRACTOR TO PROTECT IN PLACE ALL UTILITY POLES, SIGNS AND APPURTENANCES UNLESS INDICATED OTHERWISE.
 - CONTRACTOR TO ENSURE CONFORM AT EDGE OF IMPROVEMENTS. SAWCUT AT CONCRETE JOINTS AND ENSURE GRADES ARE COMPLIANT WITH CALTRANS STANDARD PLAN A88A. MAINTAIN POSITIVE DRAINAGE AROUND RAMP FLOWLINE.
 - SLOPES IN CROSSWALKS AND PEDESTRIAN PATH OF TRAVEL SHALL NOT EXCEED 5% IN DIRECTION OF TRAVEL AND 1.5% CROSS SLOPE.
 - RESET ALL UTILITY MANHOLES, LIDS AND METERS TO FINISHED GRADE.
 - PROVIDE 4' MIN CLEARANCE AT POLES AND OTHER OBSTRUCTIONS.
 - PAVE BACK TO EXISTING CROSS SLOPES AND DRAINAGE PATTERNS.

LEGEND:

	LIMITS OF PROPOSED CONCRETE RAMP/SIDEWALK
	DETECTABLE WARNING SURFACE
	REMOVE PAVEMENT. PLACE 3.5" HMA OVER EXIST. BASE COMPACTED TO 95% RELATIVE COMPACTION.
	LIMITS OF SAWCUT
	RAMP DOWNSLOPE DIRECTION
	RETAINING CURB (HEIGHT VARIES)
	INDICATES PAVEMENT DELINEATION PER 2016 CALTRANS STANDARD DETAILS, LATEST REVISION. SEE SHEET C-25.

REFERENCE NOTES:

DESCRIPTION
PAVING NOTES
ADJUST EXISTING WATER VALVE TO GRADE.
RESTORE EXISTING PAVEMENT MARKINGS AS SHOWN.
CONSTRUCT CURB RAMP PER CALTRANS STANDARD PLAN A88A.
REMOVE AND RESET SIGN PER CITY STANDARD DETAILS 115 & 116.
RECONSTRUCT DRIVEWAY AND SIDEWALK PER CITY STANDARD DETAILS 101 AND 106.
REMOVE AND REPLACE DRAINAGE CATCH BASIN. ENSURE NEW PIPE HAS POSITIVE SLOPE TO NEW CONNECTION.
DRAINAGE CATCH BASIN PER MODIFIED CITY STANDARD 117.
INSTALL 12" RCP @ MIN 1% SLOPE. CONNECT TO EXISTING STORM DRAIN WITH CONCRETE COLLAR PER STANDARD DETAIL 380-4.
PROTECT PRIVATE PROPERTY IN PLACE.
ADJUST EXISTING WATER METER TO GRADE.
REMOVE CONCRETE DRIVEWAY AND REPLACE WITH SIDEWALK.
PROPOSED SEWER MANHOLE. SEE SHEETS C-12 THRU C-15 FOR SEWER PLANS.
RED CURB PAINT (2 COAT).

Rev.	Date	Description of Revisions	By



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Chair Murphy and Members of the Planning Commission
FROM: Alyson Hunter, Senior Planner
MEETING DATE: 05/14/2020
SUBJECT: Annexation of the Mission Linen property located at 801 Sunset Drive.
CEQA: Categorical Exemption, CEQA Guidelines Section 15319(a) Class 19, Annexations to City or Special Districts or Areas-Existg Public or Private Structure

RECOMMENDATION

Receive the staff report and provide a recommendation of approval of the proposed annexation to the City Council.

DISCUSSION

The subject 2.99 acre property located at the southwest corner of the intersection of Sunset Drive with Congress Avenue has been developed with an industrial laundry facility since at least the 1980s. A 60' tall wireless communications facility was developed at the rear of the property in 2014. The laundry facility has been non-operable for the past three to four years.

On November 20, 2019, the City Council adopted Resolution 19-028 directing the Planning Commission to consider and provide a recommendation on rezoning the subject property to Light Commercial (C-1) in an effort to prepare for annexation. At its December 19, 2019, meeting, the Planning Commission made a recommendation to the Council to approve the prezone. The Council, at its March 4, 2020, meeting, adopted Ordinance 20-008 officially rezoning the property in compliance with California Government Code Section 65859 and PGMC Section 23.12.020 pertaining to amendments to the official zoning map. The zoning map has been updated.

Annexation is governed by the Cortese-Knox-Hertzberg Local Government Reorganization Act of 2000, commencing with California Government Code Section 56000. In accordance to the statute, the City has provided notice to the Monterey County Local Agency Formation Commission (LAFCO) of its intent to annex the subject property and prepared the attached draft Resolution through which the City Council authorizes the filing of an application to LAFCO.

Although there is no explicit requirement for a recommendation from the Planning Commission, staff finds that the opportunity to provide public input through the hearing process is helpful. The rezoning process had no opposition and the property owner, Mission Linen Supply, provided a letter in support of both the prezone and the eventual annexation. No new development or changes to the property are proposed at this time.

Previous agenda reports are available on the City's website (Intent to Prezone, City Council 11-20-19; Prezone, Planning Commission 12-19-20; Prezone, City Council 3-04-20) and contain background on the property, existing uses, and the process and procedures undertaken to date. Upon adoption of the Resolution of Intent to Annex by the City Council, staff will prepare and submit an annexation application to LAFCO.

The annexation is exempt from environmental review per Section 15319(a) of the CEQA Guidelines. This exemption pertains to annexations to a city or special district of areas containing existing public or private structures developed to the density allowed by the current zoning or rezoning of either the gaining or losing environmental agency, whichever is more restrictive, provided, however, that the extension of utility services to the existing facilities would have a capacity to serve only the existing facilities.

OPTIONS

1. Recommend denial of the annexation.
2. Provide alternate recommendation.

FINANCIAL IMPACT

The City is undertaking the annexation project and will be paying the approximately \$1,300.00 application fee to LAFCO.

Attachments

Draft Reso. of Intent to Annex

RESOLUTION
A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PACIFIC GROVE
AUTHORIZING THE FILING OF AN ANNEXATION APPLICATION TO THE
MONTEREY COUNTY LOCAL AGENCY FORMATION COMMISSION FOR THE
MISSION LINEN SUPPLY PROPERTY LOCATED AT 801 SUNSET DRIVE
(APN 007-101-036-000)

WHEREAS, the City of Pacific Grove (City) desires to initiate proceedings pursuant to the Cortese-Knox-Hertzberg Local Government Reorganization Act of 2000, commencing with California Government Code Section 56000, for a change of organization consisting of the annexation of territory to the City of Pacific Grove; and

WHEREAS, the subject 2.99 acre territory is located at 801 Sunset Drive, APN 007-101-036-000 (subject property), and is within the County of Monterey and located outside City limits; and

WHEREAS, pursuant to Section 56654 of the California Government Code, notice of intent to adopt this Resolution of Application was given to the Monterey County Local Agency Formation Commission (LAFCO), interested agencies and subject agencies at least twenty-one (21) days before the adoption of this Resolution; and

WHEREAS, on _____, 2020, this Council conducted a public hearing based upon this notification; and

WHEREAS, the principal reasons for the proposed reorganization are as follows:

1. The subject property is surrounded on all sides by City limits;
2. The subject property was rezoned by the City Council through its adoption of Ordinance 20-008 on March 18, 2020;
3. The subject property is identified in the City’s 1994 General Plan as the only County of Monterey property within the City’s mapped Sphere of Influence and was assigned a land use designation as part of the adoption of the General Plan; and
4. The subject property is accessed by Sunset Drive, a public, City-maintained public street and is served by City fire and police protection.

WHEREAS, the following agency or agencies that would be affected by the proposed jurisdictional changes include:

<u>Agency</u>	<u>Nature of Change</u>
City of Pacific Grove	Jurisdictional Boundary
Pacific Grove Unified School District	Tax Receiving Entity
Monterey Peninsula Community College Dist.	Tax Receiving Entity

WHEREAS, the annexation of the subject property is supported by the City’s General Plan Section 2.6 – *Development Potential and Annexation*; and

WHEREAS, City records indicate that annexation of the subject property has been contemplated since the mid-1980s, thus informing the General Plan language referenced in Section 2.6 – *Development Potential and Annexation*; and

WHEREAS, the property was recently rezoned “Light Commercial (C-1)”, which allows a wide variety of potential uses including mixed-use commercial, multi-family residential, and light industrial uses; and

WHEREAS, the City has been in discussions about the rezoning and future annexation of the property with the owner of the subject property, Mission Linen Supply, and has received written support of both actions from the owner; and

WHEREAS, the City has been in discussions with LAFCO of Monterey County, which has indicated its support of the annexation given the “island” nature of the current situation; and

WHEREAS, the Pacific Grove Planning Commission recommends the City Council find the proposed annexation of the Mission Linen Supply property exempt from environmental review per the Class 19, § 15319 CEQA exemption for annexations of existing facilities and lots for exempt facilities. The subject property is developed with an industrial laundry facility that has been nonoperable for the past three (3) or more years. No new development, demolition, or establishment of a new use at the subject property is proposed at this time; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF PACIFIC GROVE:

- Section 1. This Resolution of Application is hereby adopted and the Local Agency Formation Commission of Monterey County is hereby requested to take proceedings in the matter of the annexation of territory as authorized and in the manner provided by the Cortese-Knox-Hertzberg Local Government Reorganization Act of 2000.
- Section 2. The annexation is exempt from environmental review pursuant to CEQA §15319 (Class 19 – Annexations of Existing Facilities and Lots for Exempt Facilities).
- Section 3. City Staff is directed to submit an application for annexation of the area included within Exhibit 1, attached hereto and incorporated herein, to the Monterey County Local Agency Formation Commission.
- Section 4. In accord with Article 15 of the City Charter, this ordinance shall become effective on the thirtieth (30th) day following passage and adoption hereof.

PASSED AND ADOPTED BY THE COUNCIL OF THE CITY OF PACIFIC GROVE THIS ____ day of _____ 2020, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

BILL PEAKE, Mayor

ATTEST:

SANDRA KANDELL, City Clerk

DATED: _____

APPROVED AS TO FORM:

DAVID C. LAREDO, City Attorney

DRAFT



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Chair Murphy and Members of the Planning Commission
FROM: Alyson Hunter, Senior Planner
MEETING DATE: 05/14/2020
SUBJECT: Brief oral presentation by the Deputy Public Works Director, Joyce Halabi, on the City's Capital Improvement Program (CIP).
CEQA: Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

RECOMMENDATION

Recieve report as information only.