



**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Fredrickson and Members of the Planning Commission

**FROM:** Wendy Lao, AICP, Associate Planner

**MEETING DATE:** July 26, 2018

**LOCATION:** Public right-of-way of 600 block of Sunset Drive or public right-of-way of 700 block of Forest Lodge Road, Pacific Grove, CA 93950.

**SUBJECT:** Consideration of Use Permit Application #17-1111 to determine a location, and to add a small-cell antenna and associated wireless telecommunications facility equipment to an existing utility pole, or to add a new pole of approximately 29'-6" height with a small-cell antenna and associated wireless telecommunications facility equipment. A meter pedestal up to approximately 4'-6" height and a transformer of up to approximately 2' height may also be located along the public right-of-way.

**APPLICANT:** Ben Hackstedde, Sequoia Deployment Services, on behalf of Verizon Wireless, Inc.

**ZONING/LAND USE:** None; public right-of-way

**CEQA:** Categorical Exemption, Section 15303, Class 3, Construction or Conversion of Small Structures

**RECOMMENDATION:**

Hold a public hearing to discuss Use Permit Application No. 17-1111, consider three location options and multiple design options, and approve Option 3, subject to recommended findings and conditions, including to underground utility equipment where feasible.

**BACKGROUND:**

On December 5, 2017, the applicant applied for a Use Permit to allow for the installation of wireless telecommunication facility equipment onto an existing utility pole. The project proposed was to be located on the eastern side of the public right-of-way of Sunset Drive, adjacent to single-family homes, with a meter pedestal across Sunset Drive on the western side of the public right-of-way, adjacent to Pacific Grove High School. The applicant also held a community

workshop on April 26, 2018 to discuss the project and answer questions from approximately 20 members of the public.

The Planning Commission then held a public hearing on [June 7, 2018](#). The Planning Commission reviewed the proposed project, as well as an alternative design where a pole-mounted shroud concealed some of the equipment. After receiving public testimony and a thorough discussion, the Planning Commission passed a motion to continue the item to a future date and to consider relocating the project across the street with the possibility of installing a new pole.

On June 11, 2018, the applicant submitted a revised project to City staff. The project was modified and proposed a new pole with an antenna and associated equipment in the public right-of-way of Sunset Drive, adjacent to Pacific Grove High School. The applicant also offered three different color and design options, ranging from gray paint color, to yellow paint color, to a sculpture in the form of a traditional yellow #2 pencil.

The Planning Commission held a second public hearing on [June 21, 2018](#) to review the revised project. After receiving further public testimony and additional discussion, the Planning Commission passed a motion to continue the item to July 26, 2018, where a variety of locations and feasible designs could be considered. The applicant also provided a verbal agreement to extend the Federal Communications Commission (FCC) shot clock deadline to August 9, 2018 through a tolling agreement.

On July 11, 2018, the applicant submitted another alternative project location and design to City staff. The project proposed a new pole with an antenna and associated equipment in the northern side of the public right-of-way of Forest Lodge Road. The site is located between a small parking lot at Pacific Grove High School and the Country Club Gate shopping center.

#### **OPTIONS:**

A summary of the project location and design options is set forth further below.

Option 1A: This option is located on the eastern side of the public right-of-way of the 600 block of Sunset Drive, adjacent to single-family homes. However, the meter pedestal would be located across the street in the western side of the public right-of-way, adjacent to Pacific Grove High School. This option would allow for the installation of an antenna and associated wireless telecommunication facility equipment onto an existing utility pole. The existing pole is approximately 24'-8" high, and the proposed antenna would reach approximately 29'-6" height. The equipment would be painted brown to match the wooden utility pole. Please see attachment for more information.

Option 1B: This option is similar to Option 1A above, but proposes a shroud to conceal some of the equipment on the pole. The pole-mounted shroud is approximately 6' in height and would be located approximately 10'-4" above ground. Please see attachment for more information.

Option 2A: This option is located on the western side of the public right-of-way of the 600 block of Sunset Drive, adjacent to Pacific Grove High School. This option would allow for the installation of a new pole including an antenna and associated wireless telecommunications facility equipment, totaling approximately 29'-6" in height. The meter pedestal would be located near the pole also within the public right-of-way. The pole and equipment would be painted gray, a traditional color for utility equipment. Please see attachment for more information.

Option 2B: This option is similar to Option 2A above, but would be painted yellow. The applicant has also noted that the equipment and pole could be painted many other colors, at the Planning Commission's discretion. Please see attachment for more information.

Option 2C: This option is similar to Option 2A and 2B above, but would be concealed as a sculpture that appears to be a traditional yellow #2 pencil. Please see attachment for more information.

Option 3 (Staff Recommendation): This option is located on the northern side of the public right-of-way of Forest Lodge Road. The site is located approximately between a small parking lot at Pacific Grove High School and the Country Club Gate shopping center. This option would also allow for the installation of a new pole including an antenna and associated equipment, totaling approximately 29'-6" in height. A meter pedestal and PG&E transformer would also be located near the pole within the public right-of-way. The equipment and pole would be painted brown to complement the surrounding trees. Please see attachment for more information.

Staff recommends the Planning Commission approve Option 3 due to the location of the proposed site. This location is towards the rear of Pacific Grove High School and the rear of Country Club Gate shopping center where there appears to be reduced pedestrian and vehicular activity compared to Sunset Drive. Compared to Options 1 and 2, the location of the proposed pole and antenna for Option 3 is also furthest away from the nearest building.

## **ANALYSIS:**

The City may not prohibit the installation of wireless facilities on utility poles along the public right-of-way, under the Federal Telecommunications Act Section 253. However, the City, State, and other local governments may regulate the placement, construction, and modification of personal wireless service facilities, except as provided, under the Telecommunications Reform Act of 1996 (Telecommunications Reform Act or Act) Section 704(a)(7)(A).

The following is a summary of applicable key provisions of the Telecommunication Reform Act:

Local Zoning Authority Preserved – Section 704(a)(7)(A) preserves the authority of State and local governments over decisions regarding the placement, construction, and modification of personal wireless service facilities, except as provided.

State and Localities May Not Take Discriminatory or Prohibiting Actions – The City shall not unreasonably discriminate among providers of functionally equivalent services

and shall not prohibit or have the effect of prohibiting the provision of personal wireless services.

Procedures for Ruling on Requests to Place, Construct, or Modify Personal Wireless Service Facilities – Requires local government to act upon a request for authorization to place, construct, or modify personal wireless service facilities within a reasonable time. Any decision to deny a request must be made in writing and be supported by substantial evidence contained in a written record.

Regulations for Evaluating the Environmental Effects of Radiofrequency Radiation – The City is prohibited from denying a permit to install wireless communication equipment based on health concerns over radio frequency emissions, provided that the emissions from the facility comply with FCC standards. The Act also prohibits local jurisdictions from imposing more stringent safety standards than the FCC standards.

Any action to deny an application must be in accordance with The National Telecommunications Reform Act of 1996, Section 704, (B) (I) (iii) *“Any decision by a State or local government to deny a request to place, construct, or modify personal wireless service facilities shall be in writing and be supported by substantial evidence contained in a written record.”* The “substantial evidence” standard is deferential to local governments, and generally requires courts to uphold a local finding that is (1) authorized by local law, such as the City Code, and (2) supported by enough evidence for the court to find that reasonable minds could differ as to whether the evidence supports the conclusion. Evidence must be specific to the proposed facility, and "generalized grievances" applicable to all wireless telecommunications facilities are not considered substantial evidence.

Under California law, telephone corporations are granted a limited right to use the public right-of-way to the extent necessary to provide services to the public in a manner that does not “incommode” the public use of the rights-of-way. Municipalities also retain reasonable time, place and manner control over temporary construction activities. Federal and California courts hold that the “incommode” standard preserves local authority to regulate against both physical obstructions and unreasonable aesthetic impacts.

The Pacific Grove Municipal Code (PGMC) §23.64.060 allows wireless telecommunication facilities to be permitted in any district, except the O district, subject to first obtaining a use permit. The public right-of-way does not have a zoning designation. However, the adjacent Pacific Grove High School is located in the Unclassified (U) zoning district, the Country Club Gate shopping center is located in the Commercial-Forest Hill (C-FH) zoning district, and the nearest residential properties are located in the R-1 zoning district.

The analysis below restates the required findings for a use permit, and provides staff’s comments based on this particular application.

1. Use Permit Finding Subsection A – PGMC. §23.70.080(a)(4)(A) – “The proposed use is allowed with a use permit within the applicable zoning district and complies with all applicable provisions of these regulations.”

*Staff Comments: The proposal is to be located within the public right-of-way which does not have a zoning district. As noted above, PGMC. §23.64.060 allows wireless telecommunication facilities to be permitted in any district, except the O district, subject to first obtaining a use permit. Otherwise, the zoning code is silent with respect to wireless telecommunication facilities.*

2. Use Permit Finding Subsection B - PGMC. §23.70.080(a)(4)(B) – “The proposed use is consistent with the general plan, the local coastal program, and any applicable specific plan.”

*Staff Comments: The General Plan is silent with respect to telecommunications equipment and facilities. However, the General Plan Chapter 8, Urban Structure and Design, Program K, states, “Underground all utilities in entry areas that are particularly scenic or provide important views into Pacific Grove.” As a result, depending on the selected location and design, staff recommends undergrounding equipment where feasible, or ensuring the equipment is not visually significant from the street. The project site is not located within the Coastal Zone, and therefore the Local Coastal Program does not apply. The project is located near to but outside of the Forest Hill Specific Plan project area, and therefore this specific plan does not apply.*

3. Use Permit Finding Subsection C - PGMC. §23.70.080(a)(4)(C) – “The establishment, maintenance, or operation of the use will not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.”

*Staff Comments: The wireless telecommunication facilities would not be detrimental to the health, safety, or general welfare because the equipment would be installed, maintained and operated in compliance with all applicable public health and safety regulations, including but not limited to all building codes, electrical codes, pole attachment or pole installation regulations and regulations for exposure to RF emissions.*

*There has been increased awareness and considerable debate in recent years regarding radio frequency emissions with respect to potential human health impacts. The scientific community has not reached consensus on the nature of potential human health impacts, if any, and studies are ongoing. As already noted in this staff report, Section 704 of the Act expressly preempts State and local government regulation of the placement, construction, and modification of personal wireless service facilities on the basis of the environmental effects of radio frequency emissions to the extent that such facilities comply with the FCC’s regulations concerning such emissions. The Act also prohibits local jurisdictions from imposing more stringent safety standards than the FCC standards. The radio frequency report found that the proposal will be below the FCC’s permitted maximums, and therefore will be in full compliance with FCC RF public and occupational safety exposure standard. Staff recommends a condition of approval requiring full and ongoing compliance with all applicable FCC regulations.*

*The design involves installations on a fairly large, 40' wide right-of-way which would not result in significant obstructions that could impede access or create hazards for pedestrians, persons protected under the federal Americans with Disabilities Act, bicyclists or motorists. The proposed equipment on the pole would be generally inaccessible to the general population because it is pole-mounted at least approximately 9 feet above ground. A report prepared by Hammet & Edison, Inc., Consulting Engineers, determined the proposed facility will comply with all FCC standards for limiting public exposure to radio frequency energy. As noted in the permit's condition of approval, signage shall be installed to notify people about potential exposure to RF emissions.*

4. Use Permit Finding Subsection D - PGMC. §23.70.080(a)(4)(D) – “The use, as described and conditionally approved, will not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city.”

*Staff Comments: The proposed facility would not be detrimental or injurious to properties or improvements in the neighborhood or to the general welfare of the City because there is no site or context specific evidence in the record at this time to show that the proposed installation would result in such impact. Although public comments have been made expressing concerns that the project proposal may result in negative impact to residential property values, generalized grievances do not amount to substantial evidence. Accordingly, staff finds that there is no evidence in the record at this time to show that the proposed installation would be detrimental to properties or improvements in the neighborhood or to the general welfare of the city.*

5. Use Permit Finding Subsection E - PGMC. §23.70.080(a)(4)(E) – “The location, size, design, and operating characteristics of the proposed use are compatible with the existing and future land uses in the vicinity.”

*Staff Comments: The recommended Option 3 is located in the public right-of-way of Forest Lodge Road. This location is between Pacific Grove High School, which has a land use designation of Public, and the Country Club Gate shopping center, which has a land use designation of Commercial. The project would serve many users nearby and is compatible with the nearby land uses. The size and design of the structure as described above appears to be similar to existing utility structures, and will be painted brown to blend into the trees nearby. The proposed use is considered a utility and therefore will not generate noise or odors that will adversely impact neighboring uses. The applicant has provided photo simulations that illustrate the existing and proposed site elevations. Staff recommends undergrounding equipment where possible to reduce visual clutter. Various design options have been proposed, as described above.*

*The operating characteristics of the proposed use appear to be compatible with the existing and future land use of commercial, public schools, and residences nearby, as this project will serve many users within those areas. The installation of the proposed antennas and equipment will provide service capacity for some areas that currently have poor service and will boost service levels for areas that currently have good capacity.*

*The proposed project will provide an enhanced level of telecommunication service for residents, businesses, and visitors. Businesses and residences have come to rely on wireless technologies in their day-to-day operations. Enhanced service levels will support both current and future technologies within the City.*

**CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA):**

City staff determined the project is exempt from CEQA pursuant to the CEQA Guidelines, Article 19, Section 15303, Class 3, for “construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures” because the project involves the construction of a wireless communication facility on a new pole. Furthermore, the project does not qualify for any of the exceptions to the categorical exemptions found at CEQA Guidelines Section 15300.2. Please see attachment for more information.

**CONDITIONS:**

Staff recommends if UP 17-1111 is approved, the permit must be approved subject to the specific findings above, and subject to the recommended conditions (see Attachment B, Draft Permit).

**ATTACHMENTS:**

- A. Application
- B. Draft Permit
- C. Option 1A – Radio Frequency Report, Site Plans, and Renderings
- D. Option 1B – Site Plans and Renderings
- E. Option 2A – Radio Frequency Report, Site Plans, and Renderings
- F. Option 2B – Renderings
- G. Option 2C – Renderings
- H. Option 3 – Radio Frequency Report, Site Plans, and Renderings (Staff Recommendation)
- I. CEQA Documentation
- J. Maps of Noticed Properties
- K. Affidavit

RESPECTFULLY SUBMITTED:



---

Wendy Lao, AICP  
Associate Planner



**CITY OF PACIFIC GROVE**

**Community Development Department – Planning Division**

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

**Permit Application**

Application # UP17-111  
Date: 12/5/17  
Total Fees: \$4,208.10

**APPLICANT/OWNER:**

**Project Address:** Public ROW in front of 618 Sunset Drive, Pacific Grove, CA 93950 **APN:** N/A

**Project Description:** Telecommunications facility consists of adding a 4' antenna within a canister ('cantenna' design) mounted on the top of the existing 24'-8" high NCJPA pole. In addition, the Radio Remote Units (RRU's) and the equipment cabinet will be mounted on the existing pole between approximately 10' high for equipment cabinet and 20' high for the RRU's. The pole, cantenna and RRU's will be painted to match the existing utility pole. The meter pedestal will be located across the street on the other side of Sunset Drive in the existing parkway.

**Tree Work?**  Yes  No

**Applicant** **Owner**

**Name:** Ben Hackstedde w/Sequoia Deployment Services on behalf of Verizon Wireless Public ROW

**Phone:** 949-259-3344 N/A

**Email:** ben.hackstedde@sequoia-ds.com N/A

**Mailing Address:** 22471 Aspan Street, Suite 290, Lake Forest, CA 92630 N/A

**PLANNING STAFF USE ONLY:**

**Permit Request:**

|   |   |  |   |
|---|---|--|---|
| <input type="checkbox"/> CRD: Counter Determination | <input checked="" type="checkbox"/> SP: Sign Permit | <input type="checkbox"/> LM: Lot Merger                  | <input type="checkbox"/> EIR: Environmental Impact  |
| <input type="checkbox"/> AP: Architectural Permit   | <input checked="" type="checkbox"/> UP: Use Permit  | <input type="checkbox"/> IHS: Initial Historic Screening | <input type="checkbox"/> VAR: Variance              |
| <input type="checkbox"/> AAP: Administrative AP     | <input type="checkbox"/> AUP: Administrative UP     | <input type="checkbox"/> HPP: Historic Preservation      | <input type="checkbox"/> MMP: Mitigation Monitoring |
| <input type="checkbox"/> ADC: Arch Design Change    | <input type="checkbox"/> ADU: Acc. Dwelling Unit    | <input type="checkbox"/> A: Appeal                       | <input type="checkbox"/> Stormwater Permit          |
| <input type="checkbox"/> ASP: Admin Sign Permit     | <input type="checkbox"/> LLA: Lot Line Adjustment   | <input type="checkbox"/> TPD: Tree Permit W/ Dev't       | <input type="checkbox"/> Other: _____               |

**CEQA Determination:**  Exempt  
 Initial Study & Mitigated Negative Declaration  
 Environmental Impact Report

**Review Authority:**  Staff  HRC  
 ZA  PC  
 SPRC  CC  
 ARB  \_\_\_\_\_

**Active Permits:**  Active Planning Permit  
 Active Building Permit  
 Active Code Violation  
 Permit #: \_\_\_\_\_

**Overlay Zones:**  Butterfly Zone  
 Coastal Zone  
 Area of Special Biological Significance (ASBS)  
 Environmentally Sensitive Habitat Area (ESHA)

**Property Information**

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Tract: \_\_\_\_\_  
 ZC: R-1 GP: MDR 17.4 DU/A.C. Lot Size: \_\_\_\_\_

Historic Resources Inventory **RECEIVED**  Archaeologically Sensitive Area

**Staff Use Only:** **DEC 05 2017** **SPAID**  $1,500.00 + 2,816.42 = 4,316.42$   $\downarrow$  CC (108.32)

Received by: A. Aziz  
 Assigned to: W. Lao CITY OF PACIFIC GROVE 12-5-17  
 COMMUNITY DEV DEPT

**CERTIFICATION** – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge. I further acknowledge it is my responsibility to determine whether additional permits are required.

**Applicant Signature:** [Signature] **Date:** 08/28/2017

**Owner Signature (Required):** N/A **Date:** \_\_\_\_\_



## CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • [www.cityofpacificgrove.org](http://www.cityofpacificgrove.org)

### USE PERMIT (UP) No. 17-1111

## FOR A SITE LOCATED ALONG THE PUBLIC RIGHT-OF-WAY OF THE 700 BLOCK OF FOREST LODGE ROAD, TO ALLOW A NEW POLE OF APPROXIMATELY 29'-6" HEIGHT WITH A SMALL-CELL ANTENNA AND ASSOCIATED WIRELESS TELECOMMUNICATIONS FACILITY EQUIPMENT, INCLUDING THE INSTALLATION OF A METER PEDESTAL AND A TRANSFORMER.

### FACTS

1. The subject site is located along the public right-of-way on Forest Lodge Road, Pacific Grove, CA 93950.
2. The site does not have a zoning designation as it is located in the public right-of-way.
3. The site is surrounded by properties in the Commercial-Forest Hill (C-FH) and Unclassified (U) zoning district.
4. The subject site is a 40' wide public right-of-way, which is not developed.
5. A tolling agreement, prepared by Mackenzie & Albritton LLP, has been executed to extend the Federal Communications Commission (FCC) shot clock deadline to August 9, 2018.
6. Wireless telecommunication facilities may be permitted in any district, except the O district, provided a use permit shall first be obtained in each case, per PGMC. Section 23.64.060.

### FINDINGS

1. This project has been determined to be Exempt under California Environmental Quality Act (CEQA) Guidelines, Class 3, Section 15303(d); exceptions under Section 15300.2 do not apply.
2. Per PGMC. Section 23.70.080(a)(4):
  - a. The proposed use is allowed with a use permit within the applicable zoning district and complies with all applicable provisions of these regulations, and;
  - b. The proposed use is consistent with the general plan, and;
  - c. The establishment, maintenance, and operation of the use will not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use, and;
  - d. The use, as described and conditionally approved, will not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare to the city, and;
  - e. The location, size, design, and operating characteristics of the proposed use are compatible with the existing and future land uses in the vicinity.

### CONDITIONS OF APPROVAL:

1. **Permit Expiration:** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction and Use Compliance:** All activities must occur in strict compliance with the proposal as set forth in the application for this Use Permit, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Planning Commission approval.

3. **Public Works, Fire, and Building:** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a Building Permit. Work taking place in the public right-of-way shall require an Encroachment Permit prior to issuance of the building permit. The equipment shall be installed, maintained and operated in compliance with all applicable public health and safety regulations, which includes without limitation all building codes, electrical codes, pole installation regulations and regulations for exposure to RF emissions.
4. **Conformance to Plans.** Development of the site shall conform to approved plans for “Pacific Grove HS SC1 – Location Code 425598”, submitted to the Community and Economic Development Department on July 11, 2018, with the exception of any subsequently approved changes. Subsequent changes shall require city approval and may require further CEQA review.
5. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the Urban Forestry Standards, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
6. **During-Construction Pollution Prevention (a):** During construction, the developer shall employ storm water best management practices (BMPs) for erosion and sediment control, prevention of non-stormwater discharges, and implement good housekeeping and construction waste management practices to protect the storm drainage system and water quality as required by City Code Section 9.30.130(c), the City Phase II NPDES Permit, State Water Resources Control Board (SWRCB) Construction General Permit (CGP), and the Monterey Regional Storm Water Management Program (MRSWMP). Plans for during-construction storm water management and BMPs, such as a Storm Water Pollution Prevention Plan (SWPPP), shall be submitted to the City and subject to review and approval of the Public Works/Community Development Director and Building Official prior to issuance of a grading and/or building permit.
7. **During-Construction Pollution Prevention (b):** Construction activities subject to BMP requirements shall continuously employ measures to control waste such as discarded building materials, concrete truck washout, chemicals, litter, and sanitary waste at the construction site that may cause adverse impacts to water quality, contamination, or unauthorized discharge of pollutants.
8. **During-Construction Pollution Prevention (c):** Whenever construction activity is being done contrary to and in violation of Municipal Code Chapter 9.30, the Public Works/Community Development Director may order that construction activity to stop by posting a written notice on the premises. All persons shall immediately stop such work unless or until the public works director authorizes removing the stop work order and allows construction activity to proceed.
9. **Archaeology:** If human remains are encountered during excavations associated with this project, all work will halt, and the County Coroner will be notified. The County Coroner will determine the remains are of forensic interest. If the County Coroner, with the aid of the supervising archaeologist, determines the remains are prehistoric, he/she will contact the Native American Heritage Commission (NAHC). The NAHC will be responsible for designating the most likely descendant (MLD), who will be responsible for the ultimate disposition of the remains, as required by Section 7050.5 of the California Health and Safety Code. The MLD will make his/her recommendations within 24 hours of their notification by the NAHC. This recommendation may include scientific removal and nondestructive analysis of human remains and items associated with Native American burials (Section 7050.5 of the Health and Safety Code). In the event that any other cultural material is encountered during construction of this telecommunications facility, work

shall be halted within 50 meters of the find and a qualified archaeologist should be notified. The archaeologist will assess the find and provide mitigation recommendations.

10. **Monterey County Health Department.** Approval from the Monterey County Health Department, Environmental Health Bureau is required prior to the issuance of building permits.
11. **Signature:** The resolution for the use permit is not valid and construction shall not commence until a copy of the resolution signed by the permittee or authorized agent, acknowledging receipt of the permits and acceptance of the terms and conditions, is returned to the Community Development Department.
12. **Terms and Conditions:** These terms and conditions shall run with the land, and it is the intention of the Planning Commission and the Permittee to bind all permittees of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made, and the Planning Commission approves, any such amendments pursuant to the Zoning Code regulations.
13. **Conditions of Approval in Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.
14. **Compaction Report:** The permittee shall submit a compaction report prior to paving or repaving, at the expense of the permittee/contractor.
15. **Undergrounding Utilities:** Accessory utility equipment shall be undergrounded where feasible.
16. **Traffic Control Plan:** The permittee shall submit a traffic control plan to be approved by the City Engineer.
17. **Federal Communications Commission (FCC):** The facility shall be operated in full compliance at all times with applicable Federal Communications Commission guidelines and regulations. Warning signs shall be posted in compliance with FCC guidelines and requirements and to notice about potential exposure to RF emissions.
18. **Signage:** No logos, signs or other forms of advertising are permitted to be installed on antennas or related equipment, with the exception of warning signs as noted above.
19. **Reports:** The permittee shall submit an annual monitoring report prepared by a licensed electrical/mechanical engineer to the Community Development Department for the purpose of demonstrating that the facility is in full compliance with guidelines and regulations established by the Federal Communications Commission regarding radio frequency emissions. The first report shall be due one year from final approval of the building permit required for installation of the equipment, and any other additional reports may be required.
20. **Equipment:** No additional antennas or related equipment may be installed without prior approval from the Community & Economic Development Department. The permittee shall remove antennas and equipment that have not been in service for a continuous period of six months.
21. **Road, Sidewalk, and Landscape Condition:** All affected roads, sidewalks, and landscape shall be restored to original or better condition.

**NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF PACIFIC GROVE:**

- I. The Commission determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.

- II. The Commission authorizes approval of Use Permit No. 17-1111 for a site located along the public right-of-way of the 700 block of Forest Lodge Road, to allow a new pole of approximately 29’-6” height with a small-cell antenna and associated wireless telecommunications facility equipment, including the installation of a meter pedestal and a transformer.
- III. This permit shall become effective upon the expiration of the 10-day appeal period.
- IV. This permit shall not take effect until the permittee acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

**PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF PACIFIC GROVE this 26<sup>th</sup> day of July, 2018, by the following vote:**

AYES:        **XXX**  
 NOES:        **XXX**  
 ABSENT:     **XXX**

APPROVED:

\_\_\_\_\_  
 WILLIAM FREDRICKSON, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

\_\_\_\_\_  
 Ben Hackstedde, Sequoia Deployment Services,  
 on behalf of Verizon Wireless  
 Permittee

\_\_\_\_\_  
 Date

**Verizon Wireless • Proposed Base Station (Site No. 425598 “Pacific Grove HS SC1”)  
618 Sunset Drive • Pacific Grove, California**

**Statement of Hammett & Edison, Inc., Consulting Engineers**

The firm of Hammett & Edison, Inc., Consulting Engineers, has been retained on behalf of Verizon Wireless, a personal wireless telecommunications carrier, to evaluate the base station (Site No. 425598 “Pacific Grove HS SC1”) proposed to be located at 618 Sunset Drive in Pacific Grove, California, for compliance with appropriate guidelines limiting human exposure to radio frequency (“RF”) electromagnetic fields.

**Executive Summary**

Verizon proposes to install a cylindrical antenna on top of the wood pole sited at 618 Sunset Drive in Pacific Grove. The proposed operation will comply with the FCC guidelines limiting public exposure to RF energy.

**Prevailing Exposure Standards**

The U.S. Congress requires that the Federal Communications Commission (“FCC”) evaluate its actions for possible significant impact on the environment. A summary of the FCC’s exposure limits is shown in Figure 1. These limits apply for continuous exposures and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health. The most restrictive FCC limit for exposures of unlimited duration to radio frequency energy for several personal wireless services are as follows:

| Wireless Service                   | Frequency Band | Occupational Limit      | Public Limit            |
|------------------------------------|----------------|-------------------------|-------------------------|
| Microwave (Point-to-Point)         | 5–80 GHz       | 5.00 mW/cm <sup>2</sup> | 1.00 mW/cm <sup>2</sup> |
| WiFi (and unlicensed uses)         | 2–6            | 5.00                    | 1.00                    |
| BRS (Broadband Radio)              | 2,600 MHz      | 5.00                    | 1.00                    |
| WCS (Wireless Communication)       | 2,300          | 5.00                    | 1.00                    |
| AWS (Advanced Wireless)            | 2,100          | 5.00                    | 1.00                    |
| PCS (Personal Communication)       | 1,950          | 5.00                    | 1.00                    |
| Cellular                           | 870            | 2.90                    | 0.58                    |
| SMR (Specialized Mobile Radio)     | 855            | 2.85                    | 0.57                    |
| 700 MHz                            | 700            | 2.40                    | 0.48                    |
| [most restrictive frequency range] | 30–300         | 1.00                    | 0.20                    |

**General Facility Requirements**

Base stations typically consist of two distinct parts: the electronic transceivers (also called “radios” or “channels”) that are connected to the traditional wired telephone lines, and the passive antennas that send the wireless signals created by the radios out to be received by individual subscriber units. The transceivers are often located at ground level and are connected to the antennas by coaxial cables. A small antenna for reception of GPS signals is also required, mounted with a clear view of the sky.

**Verizon Wireless • Proposed Base Station (Site No. 425598 “Pacific Grove HS SC1”)  
618 Sunset Drive • Pacific Grove, California**

Because of the short wavelength of the frequencies assigned by the FCC for wireless services, the antennas require line-of-sight paths for their signals to propagate well and so are installed at some height above ground. The antennas are designed to concentrate their energy toward the horizon, with very little energy wasted toward the sky or the ground. This means that it is generally not possible for exposure conditions to approach the maximum permissible exposure limits without being physically very near the antennas.

### **Computer Modeling Method**

The FCC provides direction for determining compliance in its Office of Engineering and Technology Bulletin No. 65, “Evaluating Compliance with FCC-Specified Guidelines for Human Exposure to Radio Frequency Radiation,” dated August 1997. Figure 2 describes the calculation methodologies, reflecting the facts that a directional antenna’s radiation pattern is not fully formed at locations very close by (the “near-field” effect) and that at greater distances the power level from an energy source decreases with the square of the distance from it (the “inverse square law”). The conservative nature of this method for evaluating exposure conditions has been verified by numerous field tests.

### **Site and Facility Description**

Based upon information provided by Verizon, including zoning drawings by Cellsius Engineering Group, dated June 13, 2017, it is proposed to install one Amphenol Model CUUT070X12F cylindrical tri-directional antenna, with one direction activated, on top of the existing 25-foot wood pole sited in the public right-of-way in front of the residence located at 618 Sunset Drive in Pacific Grove, across the street from Pacific Grove High School. The antenna would employ no downtilt, would be mounted at an effective height of about 27¾ feet above ground, and would be oriented with its active direction toward 180°T. The maximum effective radiated power in that direction would be 4,070 watts, representing simultaneous operation at 2,150 watts for AWS and 1,920 watts for PCS. There are reported no other wireless telecommunications base stations at the site or nearby.

### **Study Results**

For a person anywhere at ground, the maximum RF exposure level due to the proposed Verizon operation is calculated to be 0.017 mW/cm<sup>2</sup>, which is 1.7% of the applicable public exposure limit. The maximum calculated level at the second-floor elevation of any building on the school campus is 2.0% of the public exposure limit. The maximum calculated level at the second-floor elevation of any nearby residence is 0.38% of the public exposure limit. It should be noted that these results include several “worst-case” assumptions and therefore are expected to overstate actual power density levels from the proposed operation.

**Verizon Wireless • Proposed Base Station (Site No. 425598 “Pacific Grove HS SC1”)  
618 Sunset Drive • Pacific Grove, California**

**Recommended Mitigation Measures**

Due to its mounting location and height, the Verizon antenna would not be accessible to unauthorized persons, and so no mitigation measures are necessary to comply with the FCC public exposure guidelines. To prevent occupational exposures in excess of the FCC guidelines, it is recommended that appropriate RF safety training, to include review of personal monitor use and lockout/tagout procedures, be provided to all authorized personnel who have access high on the pole, including employees and contractors of Verizon and of the utility companies. No access within 7 feet directly in front of the Verizon antenna itself, such as might occur during certain maintenance activities, should be allowed while the base station is in operation, unless other measures can be demonstrated to ensure that occupational protection requirements are met. It is recommended that explanatory signs\* be posted at the antenna and/or on the pole below the antenna, readily visible from any angle of approach to persons who might need to work within that distance.

**Conclusion**

Based on the information and analysis above, it is the undersigned’s professional opinion that operation of the base station proposed by Verizon Wireless at 618 Sunset Drive in Pacific Grove, California, will comply with the prevailing standards for limiting public exposure to radio frequency energy and, therefore, will not for this reason cause a significant impact on the environment. The highest calculated level in publicly accessible areas is much less than the prevailing standards allow for exposures of unlimited duration. This finding is consistent with measurements of actual exposure conditions taken at other operating base stations. Training authorized personnel and posting explanatory signs are recommended to establish compliance with occupational exposure limits.

---

\* Signs should comply with OET-65 color, symbol, and content recommendations. Contact information should be provided (*e.g.*, a telephone number) to arrange for access to restricted areas. The selection of language(s) is not an engineering matter, and guidance from the landlord, local zoning or health authority, or appropriate professionals may be required. Signage may also need to comply with the requirements of PUC GO95.

**Verizon Wireless • Proposed Base Station (Site No. 425598 “Pacific Grove HS SC1”)  
618 Sunset Drive • Pacific Grove, California**

**Authorship**

The undersigned author of this statement is a qualified Professional Engineer, holding California Registration Nos. E-13026 and M-20676, which expire on June 30, 2019. This work has been carried out under his direction, and all statements are true and correct of his own knowledge except, where noted, when data has been supplied by others, which data he believes to be correct.



*William F. Hammett*  
\_\_\_\_\_  
William F. Hammett, P.E.  
707/996-5200

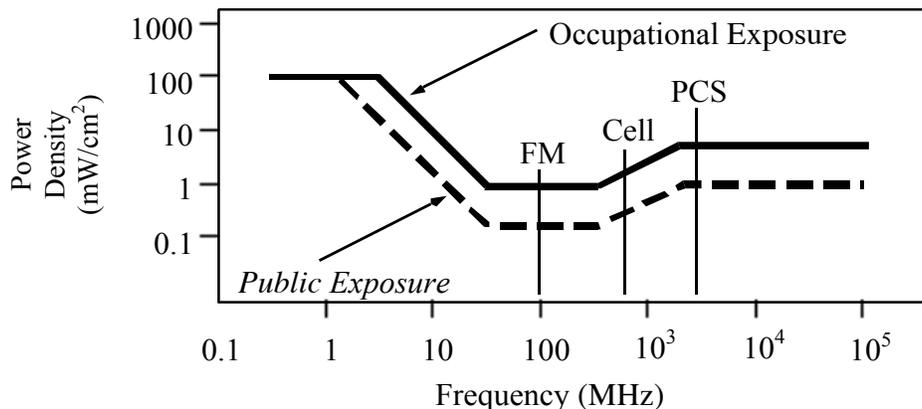
May 8, 2018

## FCC Radio Frequency Protection Guide

The U.S. Congress required (1996 Telecom Act) the Federal Communications Commission (“FCC”) to adopt a nationwide human exposure standard to ensure that its licensees do not, cumulatively, have a significant impact on the environment. The FCC adopted the limits from Report No. 86, “Biological Effects and Exposure Criteria for Radiofrequency Electromagnetic Fields,” published in 1986 by the Congressionally chartered National Council on Radiation Protection and Measurements (“NCRP”). Separate limits apply for occupational and public exposure conditions, with the latter limits generally five times more restrictive. The more recent standard, developed by the Institute of Electrical and Electronics Engineers and approved as American National Standard ANSI/IEEE C95.1-2006, “Safety Levels with Respect to Human Exposure to Radio Frequency Electromagnetic Fields, 3 kHz to 300 GHz,” includes similar limits. These limits apply for continuous exposures from all sources and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health.

As shown in the table and chart below, separate limits apply for occupational and public exposure conditions, with the latter limits (in *italics* and/or dashed) up to five times more restrictive:

| Frequency<br>Applicable<br>Range<br>(MHz) | Electromagnetic Fields (f is frequency of emission in MHz) |                |                                     |               |  |                          |
|---|--|----------------|-------------------------------------|---------------|--|--------------------------|
|   | Electric<br>Field Strength<br>(V/m)                        |                | Magnetic<br>Field Strength<br>(A/m) |               | Equivalent Far-Field<br>Power Density<br>(mW/cm <sup>2</sup> ) |                          |
| 0.3 – 1.34                                | 614  | <i>614</i>     | 1.63                                | <i>1.63</i>   | 100  | <i>100</i>               |
| 1.34 – 3.0                                | 614  | <i>823.8/f</i> | 1.63                                | <i>2.19/f</i> | 100  | <i>180/f<sup>2</sup></i> |
| 3.0 – 30                                  | 1842/f   | <i>823.8/f</i> | 4.89/f                              | <i>2.19/f</i> | 900/f <sup>2</sup>   | <i>180/f<sup>2</sup></i> |
| 30 – 300                                  | 61.4   | <i>27.5</i>    | 0.163                               | <i>0.0729</i> | 1.0  | <i>0.2</i>               |
| 300 – 1,500                               | 3.54√f   | <i>1.59√f</i>  | √f/106                              | <i>√f/238</i> | f/300  | <i>f/1500</i>            |
| 1,500 – 100,000                           | 137  | <i>61.4</i>    | 0.364                               | <i>0.163</i>  | 5.0  | <i>1.0</i>               |



Higher levels are allowed for short periods of time, such that total exposure levels averaged over six or thirty minutes, for occupational or public settings, respectively, do not exceed the limits, and higher levels also are allowed for exposures to small areas, such that the spatially averaged levels do not exceed the limits. However, neither of these allowances is incorporated in the conservative calculation formulas in the FCC Office of Engineering and Technology Bulletin No. 65 (August 1997) for projecting field levels. Hammett & Edison has built those formulas into a proprietary program that calculates, at each location on an arbitrary rectangular grid, the total expected power density from any number of individual radio sources. The program allows for the description of buildings and uneven terrain, if required to obtain more accurate projections.



## RFR.CALC™ Calculation Methodology

## Assessment by Calculation of Compliance with FCC Exposure Guidelines

The U.S. Congress required (1996 Telecom Act) the Federal Communications Commission (“FCC”) to adopt a nationwide human exposure standard to ensure that its licensees do not, cumulatively, have a significant impact on the environment. The maximum permissible exposure limits adopted by the FCC (see Figure 1) apply for continuous exposures from all sources and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health. Higher levels are allowed for short periods of time, such that total exposure levels averaged over six or thirty minutes, for occupational or public settings, respectively, do not exceed the limits.

**Near Field.**

Prediction methods have been developed for the near field zone of panel (directional) and whip (omnidirectional) antennas, typical at wireless telecommunications base stations, as well as dish (aperture) antennas, typically used for microwave links. The antenna patterns are not fully formed in the near field at these antennas, and the FCC Office of Engineering and Technology Bulletin No. 65 (August 1997) gives suitable formulas for calculating power density within such zones.

For a panel or whip antenna, power density  $S = \frac{180}{\theta_{BW}} \times \frac{0.1 \times P_{net}}{\pi \times D \times h}$ , in mW/cm<sup>2</sup>,

and for an aperture antenna, maximum power density  $S_{max} = \frac{0.1 \times 16 \times \eta \times P_{net}}{\pi \times h^2}$ , in mW/cm<sup>2</sup>,

- where  $\theta_{BW}$  = half-power beamwidth of the antenna, in degrees, and  
 $P_{net}$  = net power input to the antenna, in watts,  
 $D$  = distance from antenna, in meters,  
 $h$  = aperture height of the antenna, in meters, and  
 $\eta$  = aperture efficiency (unitless, typically 0.5-0.8).

The factor of 0.1 in the numerators converts to the desired units of power density.

**Far Field.**

OET-65 gives this formula for calculating power density in the far field of an individual RF source:

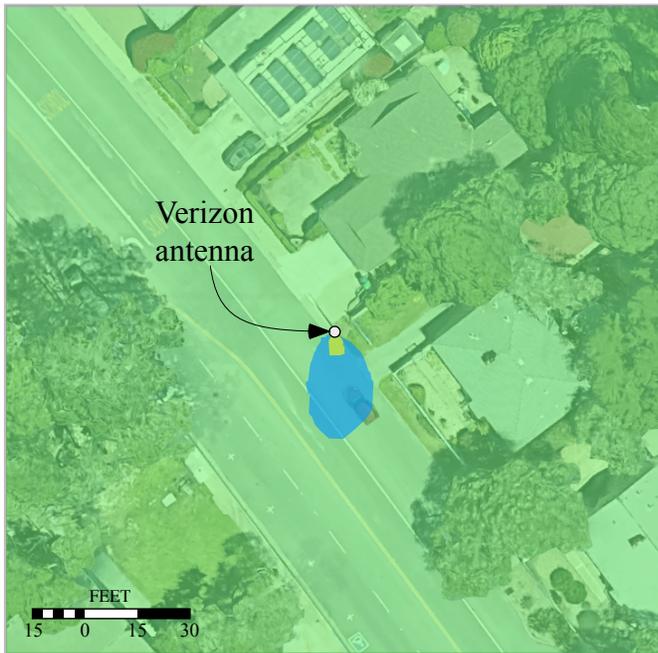
$$\text{power density } S = \frac{2.56 \times 1.64 \times 100 \times RFF^2 \times ERP}{4 \times \pi \times D^2}, \text{ in mW/cm}^2,$$

- where ERP = total ERP (all polarizations), in kilowatts,  
RFF = relative field factor at the direction to the actual point of calculation, and  
 $D$  = distance from the center of radiation to the point of calculation, in meters.

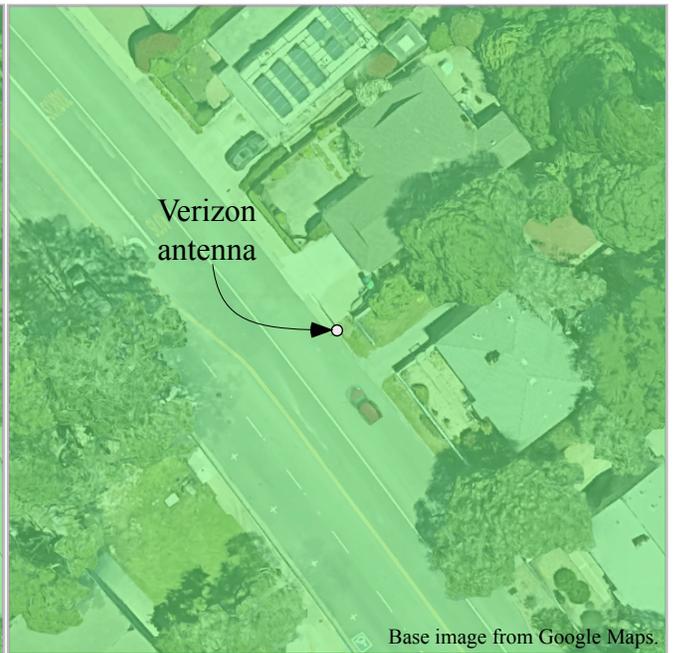
The factor of 2.56 accounts for the increase in power density due to ground reflection, assuming a reflection coefficient of 1.6 (1.6 x 1.6 = 2.56). The factor of 1.64 is the gain of a half-wave dipole relative to an isotropic radiator. The factor of 100 in the numerator converts to the desired units of power density. This formula has been built into a proprietary program that calculates, at each location on an arbitrary rectangular grid, the total expected power density from any number of individual radiation sources. The program also allows for the description of uneven terrain in the vicinity, to obtain more accurate projections.

Verizon Wireless • Proposed Base Station (Site No. 425598 “Pacific Grove HS SC1”)  
618 Sunset Drive • Pacific Grove, California

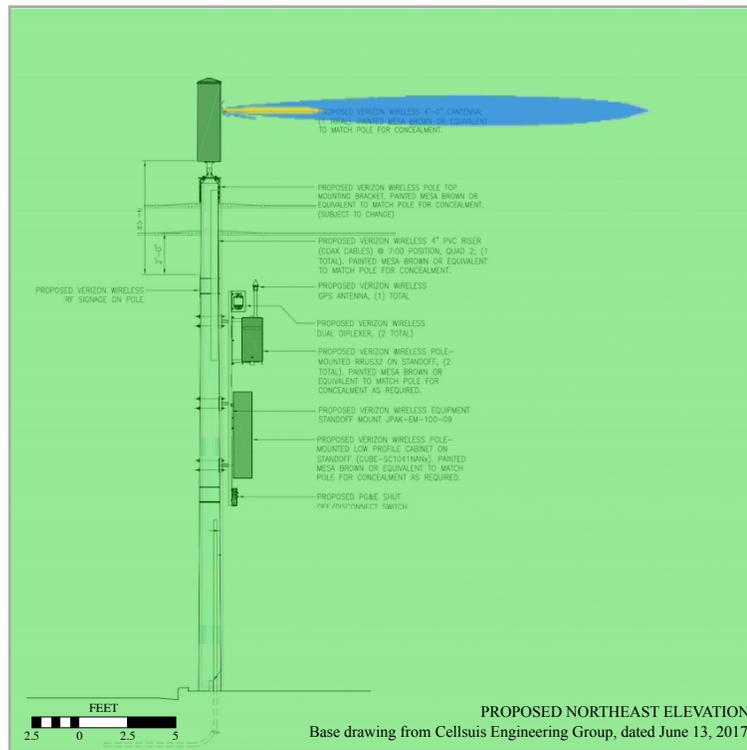
Calculated RF Exposure Levels  
in Immediate Airspace



Calculated RF Exposure Levels  
at Ground



Calculated RF Exposure Levels



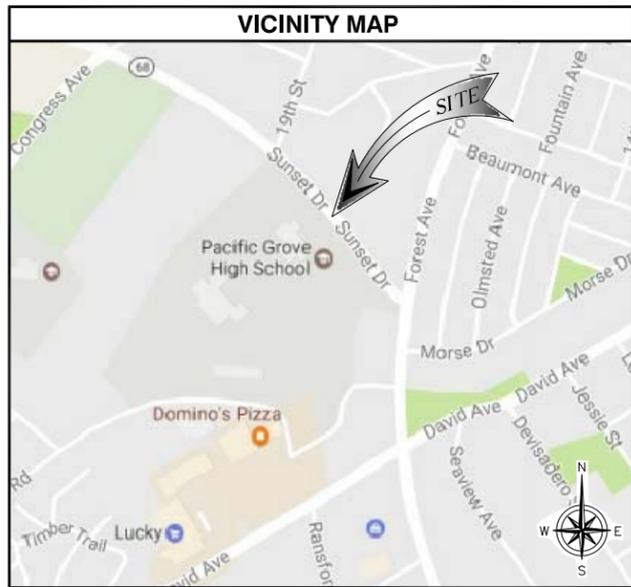
Calculations performed according to OET Bulletin No. 65, August 1997.  
Colors shown represent percent of applicable FCC public limit.

■ <100%    
 ■ >100%    
 ■ >500%

Note: See report dated May 8, 2018.



**HAMMETT & EDISON, INC.**  
CONSULTING ENGINEERS  
SAN FRANCISCO



| SITE INFORMATION  |  |
|---|--|
| PROPERTY OWNER:<br>ADDRESS:   | NORTHERN CA JOINT POLE ASSOCIATION<br>1800 SUTTER STREET<br>CONCORD, CA 94520<br>CONTACT: JONATHAN VAUGHAN<br>PH: (925) 681-0378 |
| APPLICANT:<br>ADDRESS:  | VERIZON WIRELESS<br>2785 MITCHELL DRIVE, BLDG. 9<br>WALNUT CREEK, CA 94598   |
| LATITUDE (NAD 83):<br>LONGITUDE (NAD 83):<br>GROUND ELEVATION:<br>ZONING JURISDICTION:<br>PROPOSED USE: | 36°36'40.14" N<br>121°55'24.01" W<br>269.27' AMSL<br>COUNTY OF MONTEREY<br>UNMANNED TELECOMMUNICATIONS FACILITY                  |

| PROJECT TEAM   |  |
|--|--|
| <b>APPLICANT:</b><br>VERIZON WIRELESS<br>2785 MITCHELL DRIVE, BLDG. 9<br>WALNUT CREEK, CA 94598<br>CONTACT: JORDAN THOMPSON<br>PHONE: (925) 895-1668<br>EMAIL: jordan.thompson@verizonwireless.com             | <b>ARCHITECT/ENGINEERING:</b><br>CELLSIUS ENGINEERING GROUP<br>10650 SCRIPPS RANCH BLVD., SUITE 224<br>SAN DIEGO, CA 92131<br>CONTACT: REGGIE GABRIEL<br>PHONE: (619) 200-7190<br>EMAIL: reggie.gabriel@cellsius.net |
| <b>RF ENGINEER:</b><br>VERIZON WIRELESS<br>2785 MITCHELL DRIVE, BLDG. 9<br>WALNUT CREEK, CA 94598<br>CONTACT: STEFANO IACHELLA<br>PHONE: (510) 381-2904<br>EMAIL: stefano.iachella@verizonwireless.com         | <b>LAND SURVEYOR:</b><br>CELLSIUS ENGINEERING GROUP<br>10005 MUIRLANDS BLVD., SUITES E & F<br>IRVINE, CA 92618<br>CONTACT: ANDREW J. KOLTAVARY<br>PHONE: (714) 624-9027<br>EMAIL: andrew.koltavary@cellsius.net      |
| <b>SITE ACQUISITION:</b><br>SEQUOIA DEPLOYMENT SERVICES, INC.<br>22471 ASPAN, SUITE #290<br>LAKE FOREST, CA 92630<br>CONTACT: ROBERT BALLMAIER<br>PHONE: (949) 278-7747<br>EMAIL: bob.ballmaier@sequoia-ds.com | <b>CONSTRUCTION:</b><br>SEQUOIA DEPLOYMENT SERVICES, INC.<br>22471 ASPAN, SUITE #290<br>LAKE FOREST, CA 92630<br>CONTACT: ED MARQUEZ<br>PHONE: (949) 330-9712<br>EMAIL: ed.marquez@sequoia-ds.com                    |
| <b>ZONING:</b><br>SEQUOIA DEPLOYMENT SERVICES, INC.<br>22471 ASPAN, SUITE #290<br>LAKE FOREST, CA 92630<br>CONTACT: BEN HACKSTEDDE<br>PHONE: (949) 259-3344<br>EMAIL: ben.hackstedde@sequoia-ds.com            |  |

| APPROVALS  |       |
|--|-------|
| THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT & MAY IMPOSE CHANGES OR MODIFICATIONS. |       |
| VZW PROJECT MANAGER:   | _____ |
| VZW RF ENGINEER:   | _____ |
| VZW EQUIPMENT ENGINEER:  | _____ |
| VZW CONSTRUCTION MANAGER:  | _____ |
| PLANNING MANAGER:  | _____ |
| SITE ACQUISITION MANAGER:  | _____ |
| A/E MANAGER:   | _____ |

| DRAWING INDEX |  |
|---------------|--|
| SHEET NO:     | SHEET TITLE                                    |
| T-1           | TITLE SHEET                                    |
| LS-1          | TOPOGRAPHIC SURVEY                             |
| A-1           | SITE PLAN                                      |
| A-2           | ENLARGED SITE PLAN AND EQUIPMENT / POLE LAYOUT |
| A-3           | ARCHITECTURAL ELEVATIONS                       |

| PROJECT DESCRIPTION  |   |
|--|---|
| THE PROJECT CONSISTS OF INSTALLATIONS OF TELECOMMUNICATIONS EQUIPMENT FOR VERIZON WIRELESS. THE INSTALLATIONS ENTAILS: |   |
| • INSTALL (1)  | PROPOSED VERIZON WIRELESS 4"-0" HIGH CYLINDRICAL ANTENNA ON POLE        |
| • INSTALL (1)  | PROPOSED VERIZON WIRELESS GPS ANTENNA                                   |
| • INSTALL (2)  | PROPOSED VERIZON WIRELESS DUAL DUPLEXER ON POLE                         |
| • INSTALL (1)  | PROPOSED VERIZON WIRELESS ANTENNA MOUNTING KIT                          |
| • INSTALL (1)  | PROPOSED VERIZON WIRELESS EQUIPMENT STANDOFF MOUNT                      |
| • INSTALL (1)  | PROPOSED VERIZON WIRELESS POLE TOP MOUNTING KIT                         |
| • INSTALL (1)  | PROPOSED VERIZON WIRELESS RRUS STANDOFF ARM                             |
| • INSTALL (2)  | PROPOSED VERIZON WIRELESS REMOTE RADIO UNITS (RRUS) ON POLE             |
| • INSTALL (1)  | PROPOSED VERIZON WIRELESS LOW PROFILE CABINET (CUBE-SC1041NANx) ON POLE |
| • INSTALL (1)  | PROPOSED VERIZON WIRELESS METER PEDESTAL                                |
| • INSTALL (1)  | PROPOSED VERIZON WIRELESS DISCONNECT SWITCH                             |

| APPLICABLE CODES  |  |
|---|--|
| ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES.   |  |
| <ul style="list-style-type: none"> <li>CALIFORNIA ADMINISTRATIVE CODE (INCL TITLE 24 &amp; 25)</li> <li>2016 CALIFORNIA BUILDING CODE</li> <li>LOCAL BUILDING CODE</li> <li>CITY/COUNTY ORDINANCES</li> <li>ANSI/EIA-222-G LIFE SAFETY CODE NFPA-101</li> <li>2016 CALIFORNIA ELECTRICAL CODE</li> <li>CA PUBLIC UTILITIES COMMISSION GENERAL ORDER 95 (GO 95)</li> </ul> |  |

**DO NOT SCALE DRAWINGS**

SUBCONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS & FIELD CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME. IF USING 11"x17" PLOT, DRAWINGS WILL BE HALF SCALE.



**PROJECT TYPE: SMALL CELL**

**PACIFIC GROVE HS SC1**

**ROW IN FRONT OF 618 SUNSET DRIVE**

**PACIFIC GROVE, CA 93950**

**LOCATION CODE: 425598**

| GENERAL NOTES  |   |   |
|--|---|---|
| 1. LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. NEITHER THE OWNER NOR THE ENGINEER ASSUMES ANY RESPONSIBILITY FOR UTILITIES OR STRUCTURES NOT SHOWN OR NOT IN THE LOCATION SHOWN ON THE DRAWINGS.  | 10. CONTRACTOR SHALL NOTIFY THE JURISDICTION, A MINIMUM OF 46 HOURS PRIOR TO COMMENCING WORK WITHIN 10 FEET OF ALL SEWER, WATER, AND STORM DRAIN MAIN INCLUDING ALL CROSSINGS.  | 21. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS EQUIPMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER. |
| 2. THE CONTRACTORS SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.   | 11. "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT-ISSUING AUTHORITY. | 22. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE FROM EXISTING RECORDS AND CORROBORATED, WHERE POSSIBLE WITH FIELD TIES. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LOCATIONS SHOWN, BOTH HORIZONTALLY AND VERTICALLY PRIOR TO CONSTRUCTION. IF EXISTING LOCATIONS VARY SUBSTANTIALLY FROM THE PLANS, THE ENGINEER SHOULD BE NOTIFIED TO MAKE ANY CONSTRUCTION CHANGES REQUIRED.  |
| 3. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.  | 12. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY FIELD ENGINEERING DIVISION PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING.   | 23. THE CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUITS, AND LANE STRIPPING DAMAGED DURING CONSTRUCTION.  |
| 4. UPON ISSUANCE OF A PERMIT, NO WORK WILL BE PERMITTED ON WEEKENDS OR HOLIDAYS WITHOUT PERMISSION FROM THE ENGINEERING DEPARTMENT.  | 13. MANHOLES OR COVERS SHALL BE LABELLED "NAME OF COMPANY".   | 24. CONTRACTOR SHALL BE RESPONSIBLE FOR THE POTHOLE AND LOCATING OF ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE AND MUST MAINTAIN ONE FOOT MINIMUM VERTICAL CLEARANCE  |
| 5. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT FROM DAMAGING EXISTING IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE. CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR, REPLACE OR RECONSTRUCT ALL SUCH IMPROVEMENTS OR OTHER STRUCTURES DAMAGED BY HIS WORK, TO THE ENGINEER'S SATISFACTION.   | 14. CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET THE APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD.                                      | 25. AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE CITY ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT.   |
| 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FILE LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, SUCH MONUMENTS SHALL BE REPLACED WITH APPROPRIATE MONUMENTS BY A LAND SURVEYOR. A CORNER RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FIELD AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE JURISDICTION'S FIELD SURVEY DIVISION MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS FROM OCCURRENCE. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION. | 15. THE CONTRACTOR SHALL HAVE EMERGENCY MATERIALS AND EQUIPMENT ON HAND FOR UNFORESEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHEREBY FLOWS MAY GENERATE EROSION AND SEDIMENT POLLUTION.                  | 26. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.  |
| 7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE POTHOLE AND LOCATING OF ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE AND MUST MAINTAIN 1 FOOT MINIMUM VERTICAL CLEARANCE.   | 16. THE CONTRACTOR SHALL VERIFY LOCATION ALL EXISTING UNDERGROUND UTILITIES INCLUDING SEWER LATERALS & WATER SERVICES TO INDIVIDUAL LOTS OF BOTH VERTICAL AND HORIZONTAL PRIOR TO COMMENCING IMPROVEMENTS OPERATIONS.                                 | 27. ANY DRAIN AND/OR FIELD TILE ENCOUNTERED/DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK, SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON "AS-BUILT" DRAWINGS BY GENERAL CONTRACTOR, AND ISSUED TO THE ARCHITECT OR ENGINEER AT COMPLETION OF PROJECT.  |
| 8. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.  | 17. LOCATION AND ELEVATIONS OF IMPROVEMENTS, TO BE MET BY WORK, SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK.   | 28. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAD BACK OR BRACED IN ACCORDANCE WITH THE CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.  |
| 9. CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUIT, AND LANE STRIPPING DAMAGED DURING CONSTRUCTION.   | 18. GRADES SHOWN ARE FINISH GRADES. CONTRACTOR SHALL DETERMINE NECESSARY SUB GRADE ELEVATIONS AND SHALL CONSTRUCT SMOOTH TRANSITION BETWEEN FINISH GRADES SHOWN.  |   |
|  | 19. THE CONTRACTOR SHALL SUBMIT WORK PLANS FOR ALL BORE OPERATIONS TWO WEEKS PRIOR TO COMMENCING WORK.  |   |
|  | 20. THE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR COMPLIANCE WITH THE PROVISIONS OF THE STATE OF CALIFORNIA SAFETY ORDERS.  |   |

**ACCESSIBILITY NOTE**

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2016 CALIFORNIA BUILDING CODE. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS NEW.

THE TELECOMMUNICATIONS EQUIPMENT SPACE SHOWN ON THESE PLANS IS NOT CUSTOMARILY OCCUPIED WORK TO BE PERFORMED IN THIS FACILITY CANNOT REASONABLY BE PERFORMED BY PERSONS WITH A SEVERE IMPAIRMENT: MOBILITY, SIGHT, AND/OR HEARING. THEREFORE, PER 2016 CALIFORNIA BUILDING CODE SECTION 1105B.3.4, AND/OR 11B-203.5 OF 2016 CALIFORNIA BUILDING CODE, EXCEPTION 1, THIS FACILITY SHALL BE EXEMPTED FROM ALL TITLE 24 ACCESS REQUIREMENTS.

**TRAFFIC CONTROL NOTE**

THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN (11"x17") FOR APPROVAL PRIOR TO STARTING WORK. THE PLAN SHOULD BE SUBMITTED TO THE TRAFFIC CONTROL PERMIT COUNTER. CONTRACTOR SHALL OBTAIN A TRAFFIC CONTROL PERMIT A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO STARTING WORK, AND A MINIMUM OF FIVE (5) DAYS IF WORK WILL AFFECT A BUS STOP OR AN EXISTING TRAFFIC SIGNAL, OR IF WORK WILL REQUIRE A ROAD OR ALLEY CLOSURE.



| REV | DATE       | DESCRIPTION          |
|-----|------------|----------------------|
| 4   | 03/07/2018 | CITY COMMENTS        |
| 3   | 09/15/2017 | CITY COMMENTS        |
| 2   | 06/13/2017 | 100% ZONING DRAWINGS |
| 1   | 05/08/2017 | 90% ZONING DRAWINGS  |

ISSUED DATE: **MARCH 07, 2018**

ISSUED FOR: **PLANNING**

LICENSURE:

PROJECT INFORMATION:  
**PACIFIC GROVE HS SC1**  
LOCATION CODE: 425598  
ROW IN FRONT OF 618  
SUNSET DRIVE  
PACIFIC GROVE, CA 93950

DRAWN BY: MAM

CHECKED BY: FO

SHEET TITLE: **TITLE SHEET**

SHEET NUMBER: **T-1**



15505 SAND CANYON AVENUE  
IRVINE, CALIFORNIA 92618



| REV | DATE       | DESCRIPTION  |
|-----|------------|--------------|
| 0   | 03/06/2017 | FINAL SURVEY |

ISSUED DATE:  
**MAR. 06, 2017**

ISSUED FOR:  
**FINAL SURVEY**

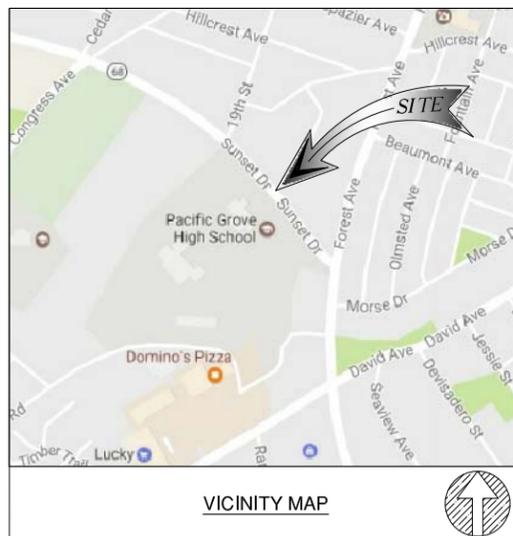
LICENSURE:

PROJECT INFORMATION:  
**SCL PACIFIC GROVE**  
LOCATION CODE: 425598  
ROW IN FRONT OF  
618 SUNSET DRIVE  
PACIFIC GROVE, CA 93950

DRAWN BY: **ABR**  
CHECKED BY: **AJK**

SHEET TITLE:  
**TOPOGRAPHIC SURVEY**

SHEET NUMBER:  
**LS-1**



- LEGEND**
- CENTER LINE
  - - - PROPERTY LINE
  - x-x-x- CHAIN-LINK FENCE
  - CONCRETE FENCE
  - WOOD FENCE
  - RETAINING WALL
  - EDGE OF PAVEMENT
- 
- HT HEIGHT
  - TC TOP OF CURB
  - TW TOP OF WALL
  - EG EXISTING GRADE
  - FS FINISH SURFACE
  - HH HAND HOLE
  - JB JUNCTION BOX
  - TR TRANSFORMER
  - WM WATER METER
  - CT CABINET
  - VT VAULT
  - PB PULL BOX
  - MP METER PEDESTAL
  - BW BACK WALK
  - SS SANITARY SEWER MANHOLE
  - SD STORMWATER DRAIN MANHOLE
  - GV GAS VALVE
  - WV WATER VALVE
  - TM TELECOM MANHOLE
  - WV WATER VALVE MANHOLE
  - FD FIRE HYDRANT
  - VT VAULT
  - PSL PEDESTRIAN SIGNAL LIGHT
  - ESL EXISTING STREET LIGHT
  - ETS EXISTING TRAFFIC SIGNAL
  - PP POWER POLE
  - ES EXISTING SIGN
  - GA GUY WIRE ANCHOR
  - PIQ POLE IN QUESTION
  - TREE TREE
  - PT PINE TREE
  - BUSH BUSH
  - PTM PALM TREE
  - EC EXISTING CONCRETE
  - EGT EXISTING GRASS/TURF

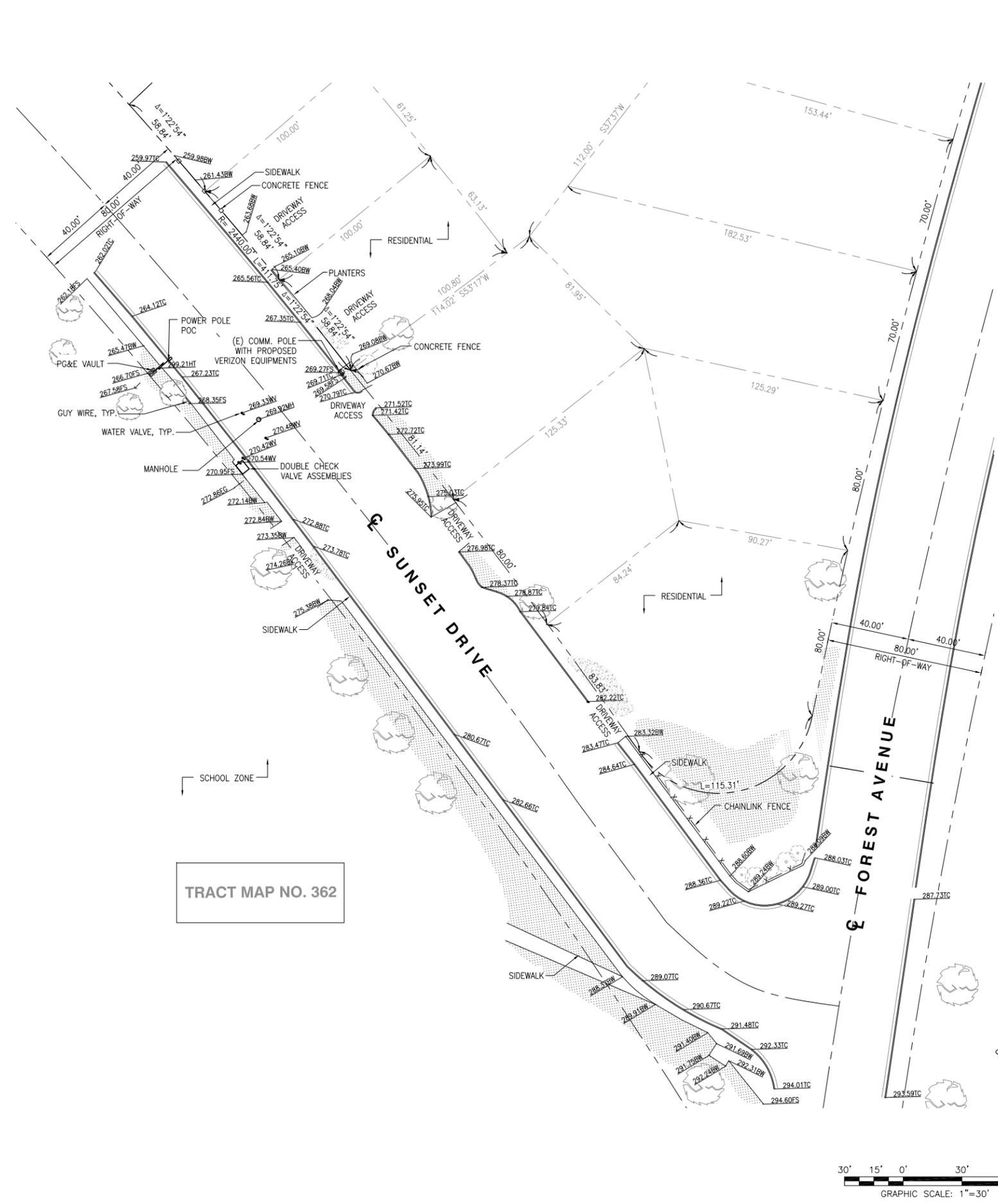
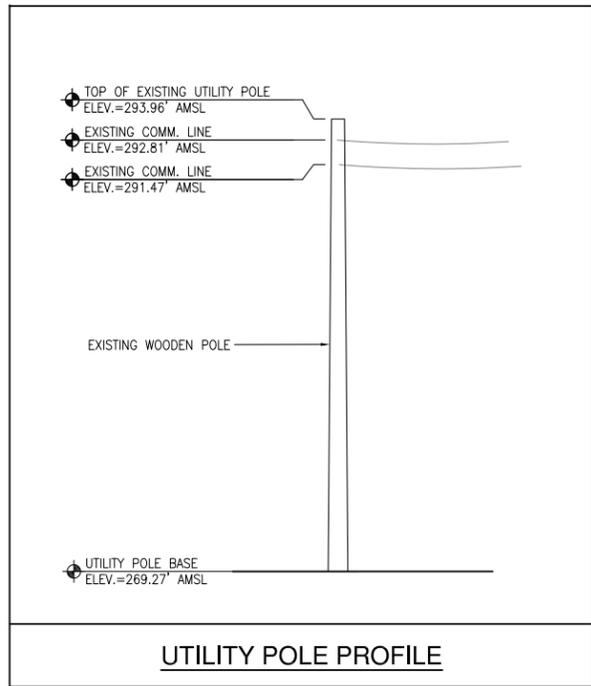
**BASIS OF BEARING**  
THE STATE PLANE COORDINATE SYSTEM 1983 (NAD 83), CALIFORNIA ZONE 4.

**BENCH MARK**  
THE CALIFORNIA SPATIAL REFERENCE CENTER CRTN "P171"

**FLOOD ZONE**  
SITE IS LOCATED IN FLOOD ZONE "X" AS PER F.I.R.M. MAP NO. 06053C0306G EFFECTIVE DATE 04/02/2009

**NOTES:**

- THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP. THE PROPERTY LINES AND EASEMENTS SHOWN HEREON ARE FROM RECORD INFORMATION AS NOTED HEREON. CELLSIUS ENGINEERING GROUP TRANSLATED THE TOPOGRAPHIC SURVEY TO RECORD INFORMATION USING FOUND MONUMENTS SHOWN HEREON.
- THE HEIGHTS AND ELEVATIONS FOR THE TREES, BUSHES AND OTHER LIVING PLANTS SHOWN HEREON, SHOULD BE CONSIDERED APPROXIMATE (+/-) AND ONLY FOR THE DATE OF THIS SURVEY. THEY ARE PROVIDED AS A GENERAL REFERENCE AND SHOULD NOT BE USED FOR DESIGN PURPOSES.
- FIELD SURVEY COMPLETED ON FEBRUARY 25, 2017.



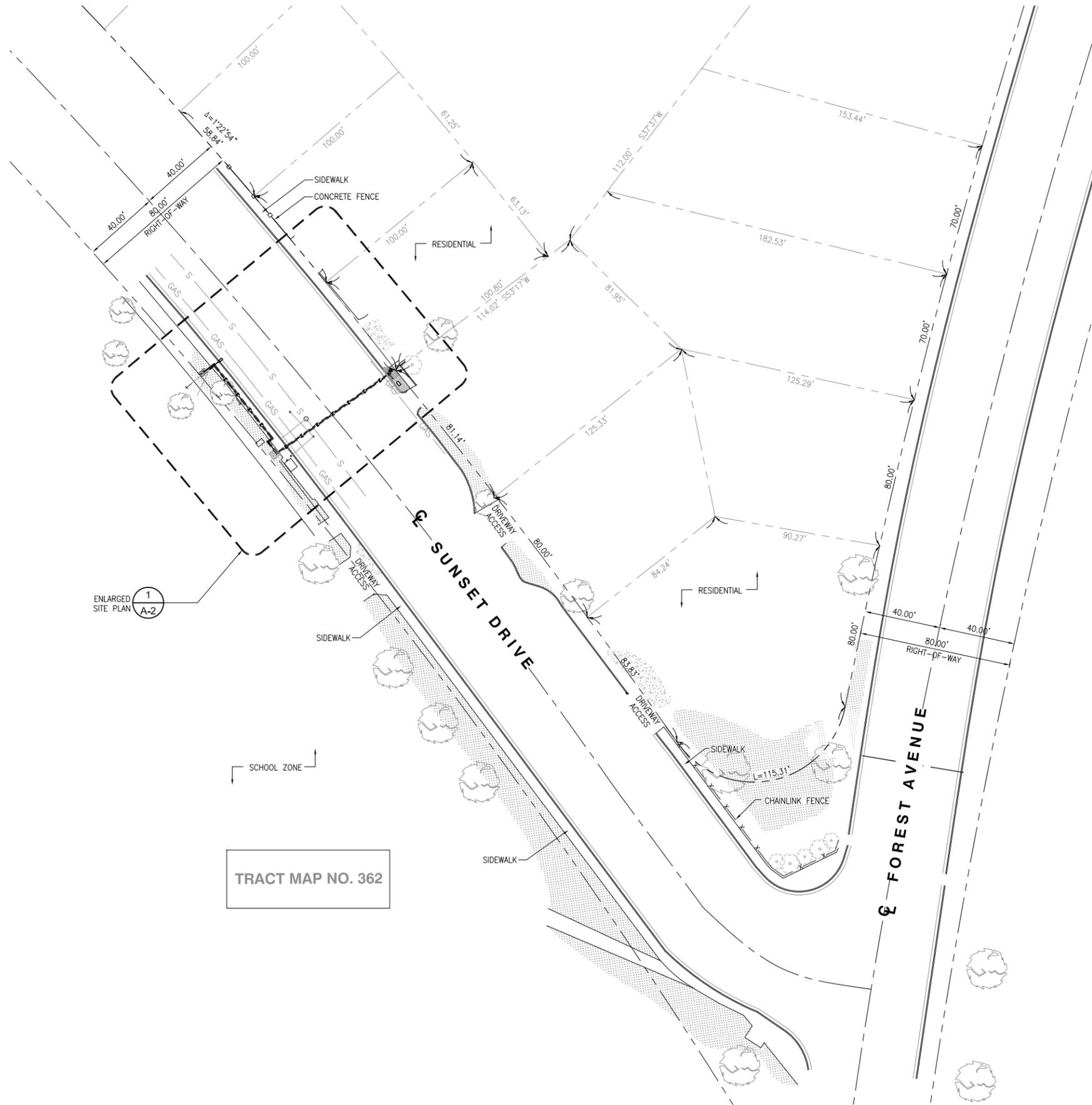
TRACT MAP NO. 362

- MONUMENTS**
- MONUMENT FD.
  - ⊕ LATITUDE: 36°36'40.14"N  
LONGITUDE: 121°55'24.01"W



**SITE NOTES:**

1. REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWINGS SHALL NOT BE USED TO IDENTIFY OR ESTABLISH BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE CIVIL SURVEY. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT/ENGINEER.
2. CONTRACTOR TO VERIFY LOCAL UTILITY REQUIREMENTS FOR DEPTH, SIZES, AND SEPARATION OF CONDUITS PRIOR TO INSTALLATION. NOTIFY CONSTRUCTION MANAGER IMMEDIATELY OF ANY DISCREPANCIES.
3. PROPOSED UTILITY SERVICES SHOWN NEED TO BE VERIFIED AND APPROVED BY UTILITY COMPANIES BEFORE START OF CONSTRUCTION. CONTRACTOR TO VERIFY WITH CLIENT PROJECT MANAGER TO OBTAIN FINAL APPROVAL.
4. VERIFY, LOCATE, AND PROTECT ALL EXISTING SUBSTRUCTURES AS REQUIRED. CALL DIG ALERT @ (800) 227-2600 48 HOURS BEFORE ANY EXCAVATION. CONTRACTOR IS RESPONSIBLE TO HAVE ALL NON-PUBLIC UTILITIES LOCATED AT THEIR OWN EXPENSE.
5. LINES SHOWN DOES NOT REPRESENT THE EXACT LOCATION OF THE CONDUIT ROUTES. CONTRACTOR TO VERIFY SERVICE LOCATIONS W/ ACTUAL FIELD CONDITIONS.
6. CONTRACTOR SHALL IMMEDIATELY INFORM CLIENT OF ANY ACCIDENTAL DAMAGE TO EXISTING UTILITIES VIA PHONE OR EMAIL REGARDLESS OF ABILITY TO REPAIR OR MITIGATE. A FOLLOW-UP EMAIL REPORT WITH DIGITAL PHOTOS WILL BE REQUIRED DAILY UNTIL RESOLUTION HAS BEEN ACCEPTED BY CLIENT, AFFECTED SERVICE PROVIDERS, AND RECIPIENTS. AT THEIR OWN EXPENSE, CONTRACTOR WILL EXERCISE ALL EFFORTS TO HAVE REPAIRS MADE BY QUALIFIED TECHNICIANS AS APPROVED BY SERVICE PROVIDER.
7. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, BOTH HORIZONTAL AND VERTICALLY, PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE REFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE.
8. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
9. ANY DRAIN AND /OR FIELD TILE ENCOUNTERED/DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO IT'S ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON "AS-BUILT" DRAWINGS BY GENERAL CONTRACTOR, AND ISSUED TO THE ARCHITECT OR ENGINEER AT COMPLETION OF PROJECT.
10. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH THE CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
11. NEW CONDUITS SHALL BE INSTALLED IN TRENCH SUCH THAT THE TOP OF CONDUIT SHALL HAVE A MINIMUM COVER OF 24-INCHES BELOW ADJACENT EDGE OF PAVEMENT OR ORIGINAL GROUND, WHICHEVER IS LOWER IN ELEVATION.
12. ALL PULL BOXES SHALL BE PRECAST REINFORCED CONCRETE AND HAVE NON CONDUCTIVE LIDS. EXISTING PULL BOX COVERS THAT ARE MARKED INCORRECTLY SHALL BE REPLACED.
13. REGRADE LANDSCAPING AS NEEDED AND REPLACE DAMAGED IRRIGATION LINES WITHIN 24 HOURS.



| REV | DATE       | DESCRIPTION          |
|-----|------------|----------------------|
| 4   | 03/07/2018 | CITY COMMENTS        |
| 3   | 09/15/2017 | CITY COMMENTS        |
| 2   | 06/13/2017 | 100% ZONING DRAWINGS |
| 1   | 05/08/2017 | 90% ZONING DRAWINGS  |

ISSUED DATE: **MARCH 07, 2018**

ISSUED FOR: **PLANNING**

LICENSURE:

PROJECT INFORMATION:  
PACIFIC GROVE HS SC1  
LOCATION CODE: 425598  
ROW IN FRONT OF 618  
SUNSET DRIVE  
PACIFIC GROVE, CA 93950

DRAWN BY: MAM  
CHECKED BY: FO

SHEET TITLE: **SITE PLAN**

SHEET NUMBER: **A-1**

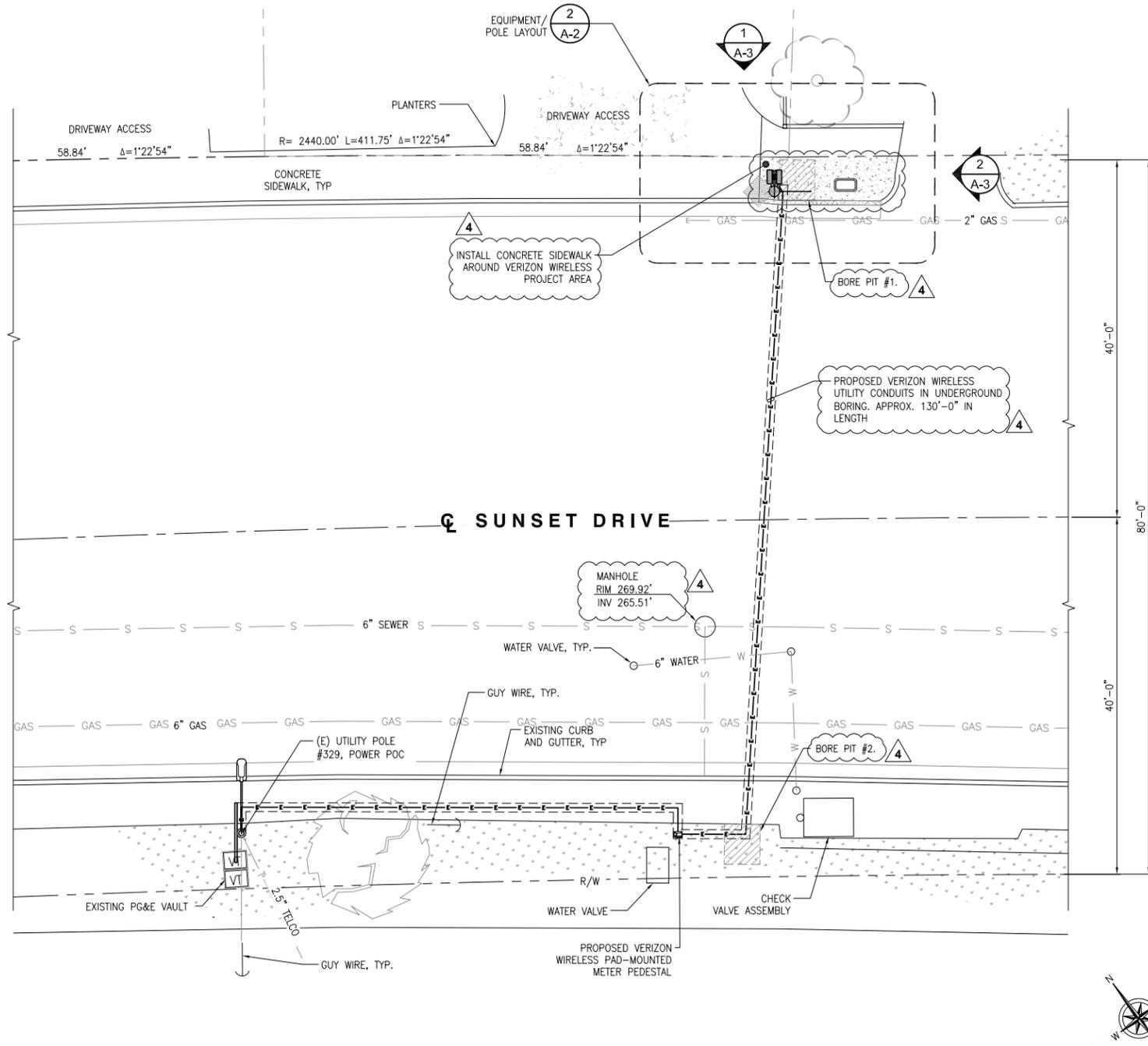
**CONSTRUCTION NOTES:**

- METER SHALL NOT FACE THE STREET, ALLEY, OR PROPERTY SIDE OF THE POLE.
- METER BASE AND DISCONNECT SHALL BE BONDED TO A SEPARATE GROUND FROM THE POLE GROUND WITH CONDUCTOR HAVING A CURRENT CAPACITY THAN NO LESS THAN #6 SOLID COPPER CONDUCTOR.
- CONDUIT MAY BE MOUNTED DIRECTLY TO THE POLE OR U-GUARD MAY BE USED IF THE POLE IS WITHIN 15' OF A BUCKET TRUCK ACCESSIBLE PAVED ROAD. IF NOT ACCESSIBLE AND THE CONDUIT IS GREATER THAN 1-1/2", THE CONDUIT IS TO BE MOUNTED WITH A STANDOFF BRACKET THAT PROVIDES 7" CLEARANCE FROM THE POLE TO THE CONDUIT.
- VERIFY AND RECORD ALL TIES AND FOOTAGES IN FIELD PER FINAL AS-BUILT CONDITIONS.
- PROVIDE ADEQUATE WORKMAN PROTECTION ON WINDING NARROW ROADS OR HEAVY TRAFFIC.
- GROUNDS ARE TO BE TESTED-REQUIRES 5 OHMS OR LESS RESISTANCE.
- ALL LANDSCAPING TO BE RESTORED TO ORIGINAL CONDITION.
- NOTIFY PROPERTY OWNER BEFORE WORKING ON OR AROUND PRIVATE PROPERTY.
- OBTAIN SPECIAL PERMITS AND PAY FEES AS REQUIRED WORKING ON COUNTY HIGHWAY.

- MAINTAIN 36" MINIMUM COVER IN PARKWAY
- MAINTAIN 30" MINIMUM COVER BELOW GUTTER GRADE ON SURFACE STREETS.
- CONDUIT REQUIREMENTS:**
  - UNDERGROUND - SCHEDULE 40 PVC OR BETTER
  - RISERS - SCHEDULE 80 PVC
  - ALL CONDUITS WILL BE MANDRELED AND EQUIPPED WITH 3/8" PULL ROPE.
  - 2" GALVANIZED STEEL CONDUIT FOR ANY CONDUIT UNDER 3", STUB UP 10' THEN CONVERT TO SCHEDULE 80.
  - CONTRACTOR TO STUB UP POLE 10" W/ 3" POWER CONDUIT. POWER COMPANY TO CONVERT FROM 3" STUB SCHEDULE 80 TO 2" SCHEDULE 80 FROM TOP OF STUB UP.
- NOTE:** WHERE MINIMUM COVER OF 36" CANNOT BE OBTAINED, REPLACED PVC WITH 2" GALVANIZED STEEL CONDUIT, GALVANIZED STEEL CONDUIT MUST BE MINIMUM OF 10'-0" IN LENGTH BEFORE CONVERTING BACK TO PVC.
- GROUND REQUIREMENTS:**
  - 5/8" ROD-10' LENGTH
  - GROUND TESTED AT 5 OHMS OR LESS
  - #2 GROUND WIRE
  - WOOD MOLDING, STAPLED TO POLE EVERY 2'-0" AT EACH END
  - GROUND RODS MUST BE 24" FROM POLE AND THE TOP OF ROD MUST BE BELOW GRADE LEVEL.

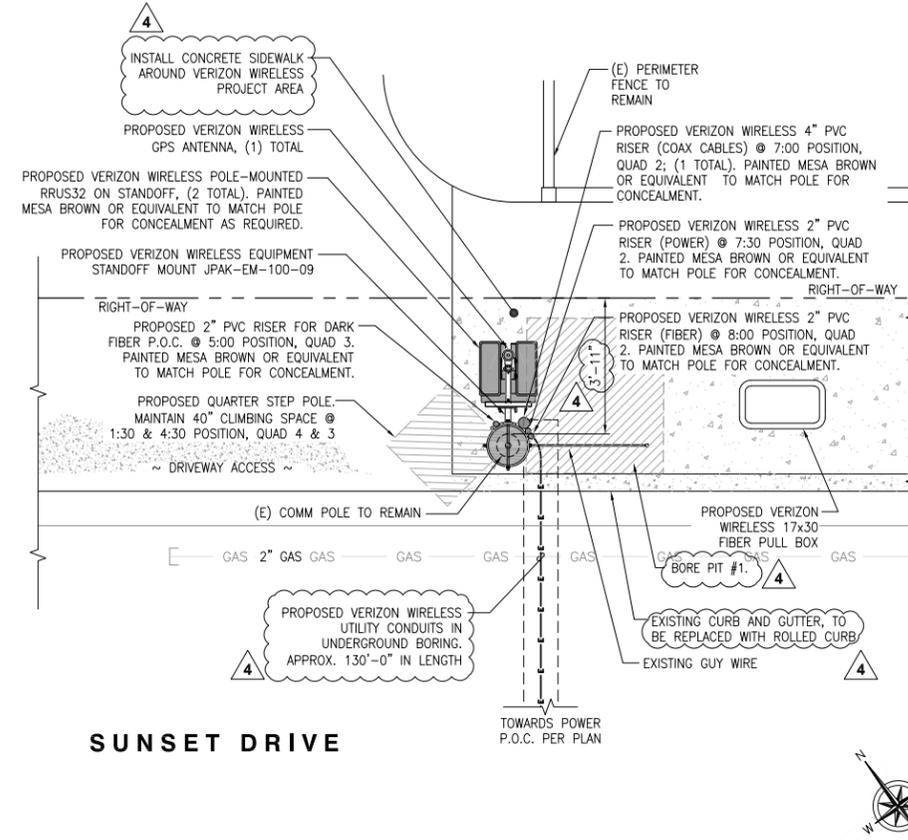
**UNDERGROUND UTILITIES NOTE:**

ALL EXISTING SUB-SURFACE UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON THE PLAN HAVE BEEN PLOTTED FROM FIELD SURVEY AND/OR AVAILABLE RECORDS, THE ARCHITECT/ ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR THE ACCURACY OF THE INFORMATION SHOWN ON THE PLANS, OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTORS SHALL BE RESPONSIBLE FOR THE DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTORS SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING UTILITIES. THERE MAY BE EXISTING UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINE SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.



ENLARGED SITE PLAN / PROPOSED ANTENNA LAYOUT

24"x36" SCALE: 1/8" = 1'-0"  
11"x17" SCALE: 1/16" = 1'-0"  
8' 6' 4' 2' 0'



EQUIPMENT / POLE LAYOUT

24"x36" SCALE: 3/8" = 1'-0"  
11"x17" SCALE: 3/16" = 1'-0"  
2' 1' 0' 2'



LIGHTPOLE PROFILE

24"x36" SCALE: NTS  
11"x17" SCALE: NTS

**ATTACHMENT C  
OPTION 1.A**



| REV | DATE       | DESCRIPTION          |
|-----|------------|----------------------|
| 4   | 03/07/2018 | CITY COMMENTS        |
| 3   | 09/15/2017 | CITY COMMENTS        |
| 2   | 06/13/2017 | 100% ZONING DRAWINGS |
| 1   | 05/08/2017 | 90% ZONING DRAWINGS  |

ISSUED DATE:  
**MARCH 07, 2018**

ISSUED FOR:  
**PLANNING**

LICENSURE:

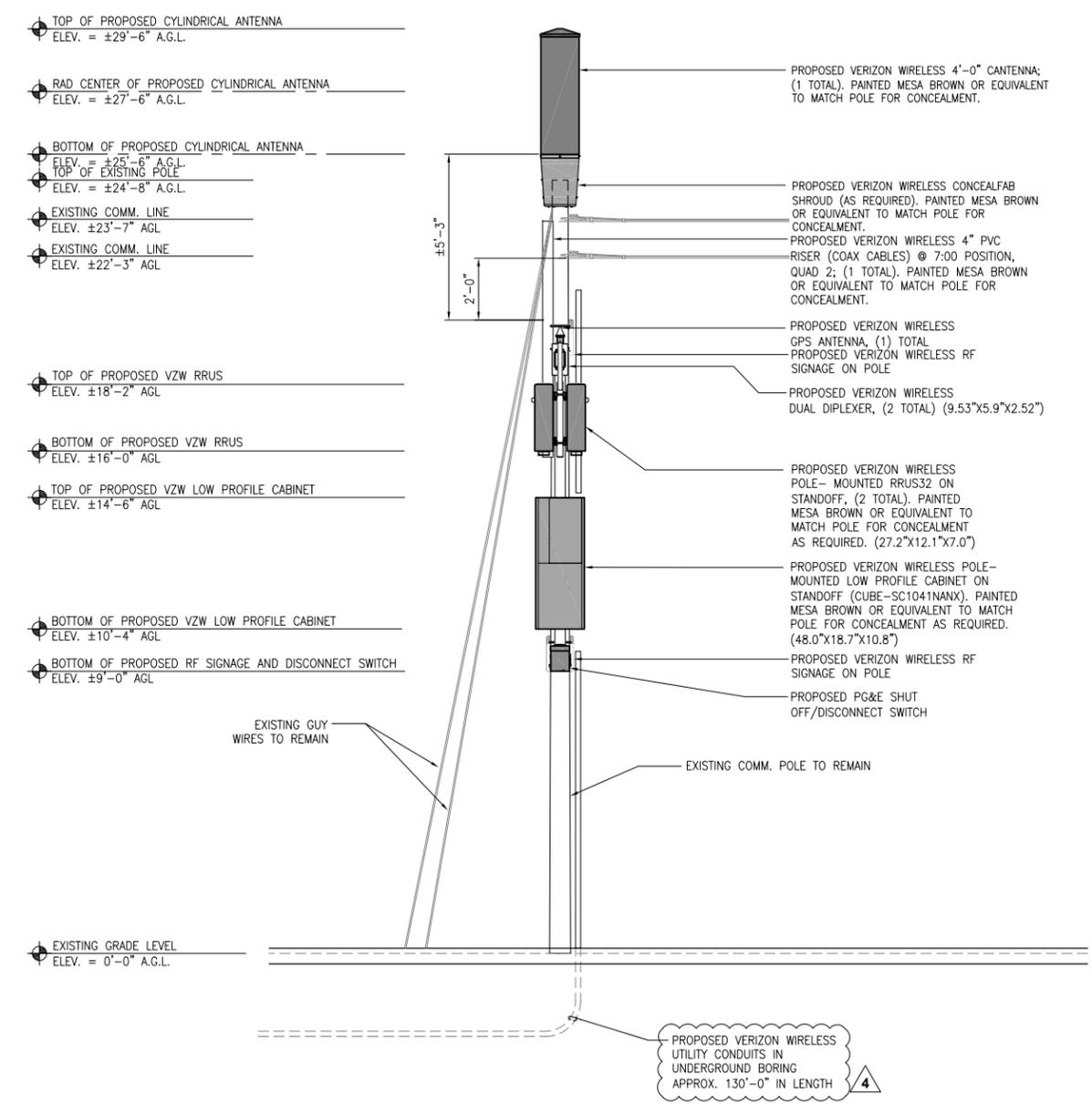
PROJECT INFORMATION:  
PACIFIC GROVE HS SC1  
LOCATION CODE: 425598  
ROW IN FRONT OF 618  
SUNSET DRIVE  
PACIFIC GROVE, CA 93950

DRAWN BY: MAM  
CHECKED BY: FO

SHEET TITLE:  
**ENLARGED SITE PLAN  
AND EQUIPMENT /  
POLE LAYOUT**

SHEET NUMBER:  
**A-2**

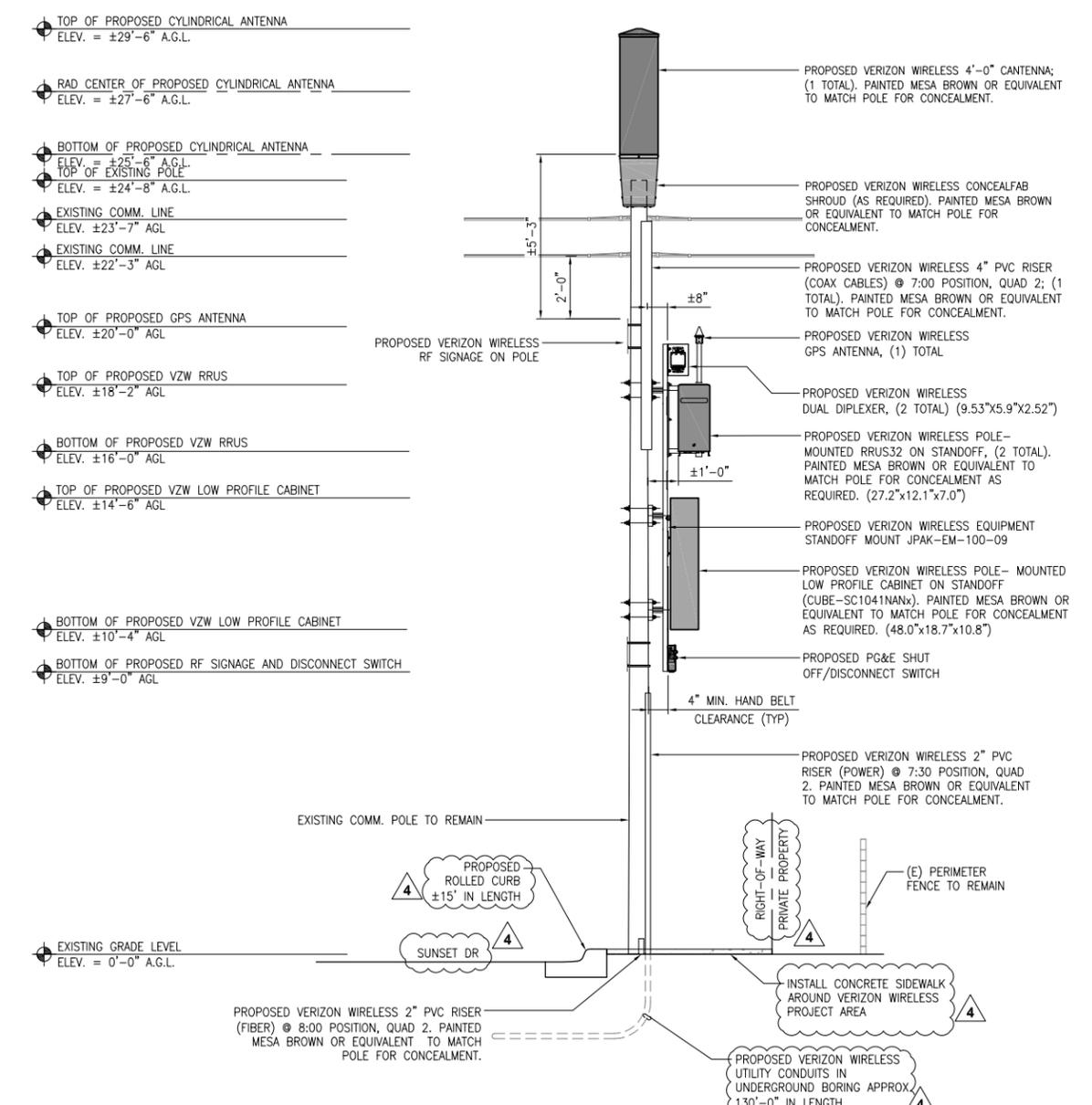
NOTES:  
 1. THE NEW LAYOUT IS PRELIMINARY AND SUBJECT TO CHANGE PENDING FIELD DATA AND STRUCTURAL DESIGN.  
 2. NEW ANTENNAS, EQUIPMENT, CONDUITS & ALL HARDWARE SHOULD BE PAINTED MESA BROWN OR EQUIVALENT TO MATCH POLE FOR CONCEALMENT AS NECESSARY.



PROPOSED NORTHEAST ELEVATION

24"x36" SCALE: 3/8" = 1'-0"  
 11"x17" SCALE: 3/16" = 1'-0"  
 2' 1' 0" 2'

NOTES:  
 1. THE NEW LAYOUT IS PRELIMINARY AND SUBJECT TO CHANGE PENDING FIELD DATA AND STRUCTURAL DESIGN.  
 2. NEW ANTENNAS, EQUIPMENT, CONDUITS & ALL HARDWARE SHOULD BE PAINTED BROWN FOR CONCEALMENT AS NECESSARY.



PROPOSED SOUTHEAST ELEVATION

24"x36" SCALE: 3/8" = 1'-0"  
 11"x17" SCALE: 3/16" = 1'-0"  
 2' 1' 0" 2'

ATTACHMENT C  
 OPTION 1.A



| REV | DATE       | DESCRIPTION          |
|-----|------------|----------------------|
| 4   | 03/07/2018 | CITY COMMENTS        |
| 3   | 09/15/2017 | CITY COMMENTS        |
| 2   | 06/13/2017 | 100% ZONING DRAWINGS |
| 1   | 05/08/2017 | 90% ZONING DRAWINGS  |

ISSUED DATE:  
 MARCH 07, 2018

ISSUED FOR:  
 PLANNING

LICENSURE:

PROJECT INFORMATION:  
 PACIFIC GROVE HS SC1  
 LOCATION CODE: 425598  
 ROW IN FRONT OF 618  
 SUNSET DRIVE  
 PACIFIC GROVE, CA 93950

DRAWN BY: MAM  
 CHECKED BY: FO

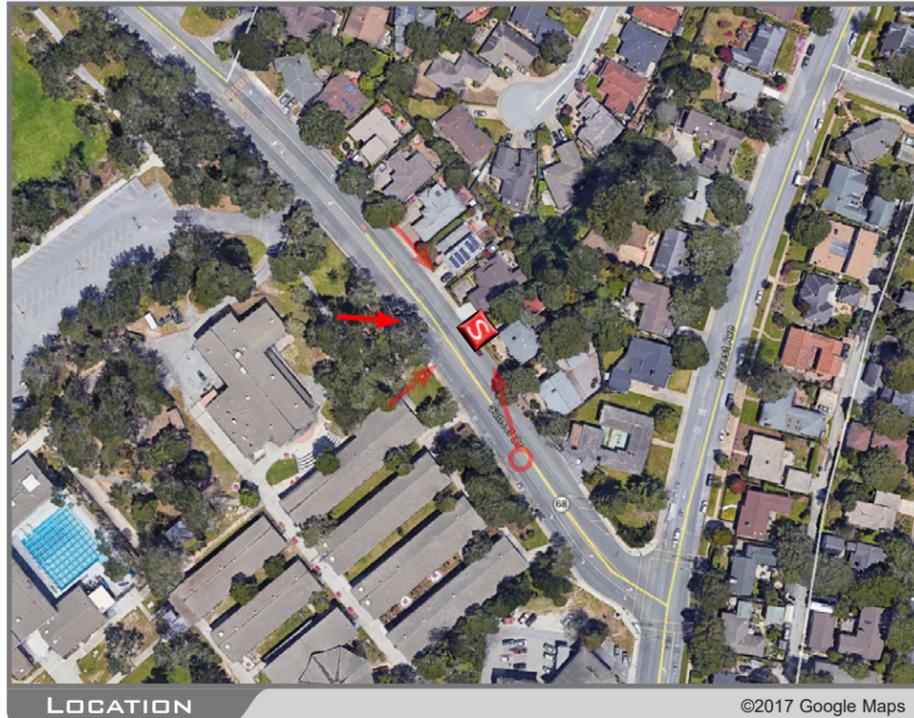
SHEET TITLE:  
 ARCHITECTURAL  
 ELEVATIONS

SHEET NUMBER:  
 A-3



# PACIFIC GROVE HS SC 1

PUBLIC ROW IN FRONT OF 618 SUNSET DRIVE PACIFIC GROVE CA 93950



LOCATION

©2017 Google Maps



EXISTING

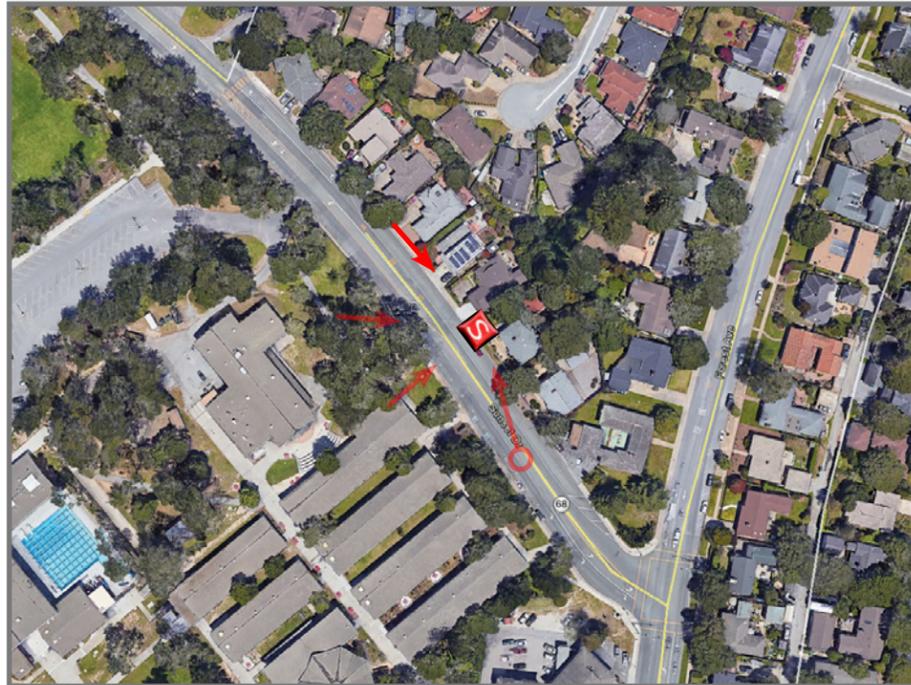


PROPOSED LOOKING EAST FROM SUNSET DRIVE



# PACIFIC GROVE HS SC 1

PUBLIC ROW IN FRONT OF 618 SUNSET DRIVE PACIFIC GROVE CA 93950



LOCATION

©2017 Google Maps



EXISTING



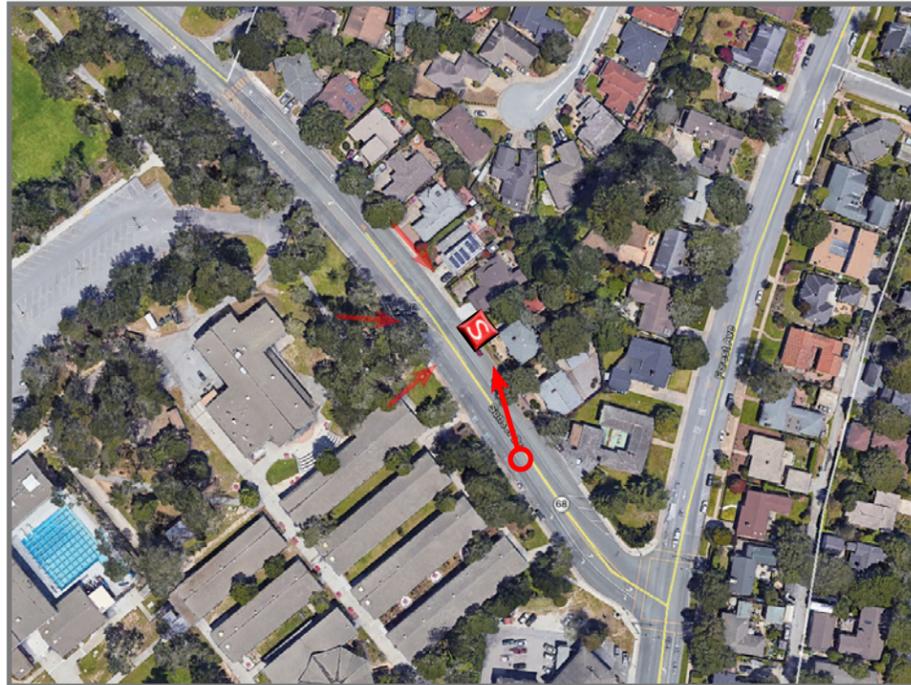
PROPOSED

LOOKING SOUTHEAST FROM SUNSET DRIVE



# PACIFIC GROVE HS SC 1

PUBLIC ROW IN FRONT OF 618 SUNSET DRIVE PACIFIC GROVE CA 93950



LOCATION

©2017 Google Maps



EXISTING



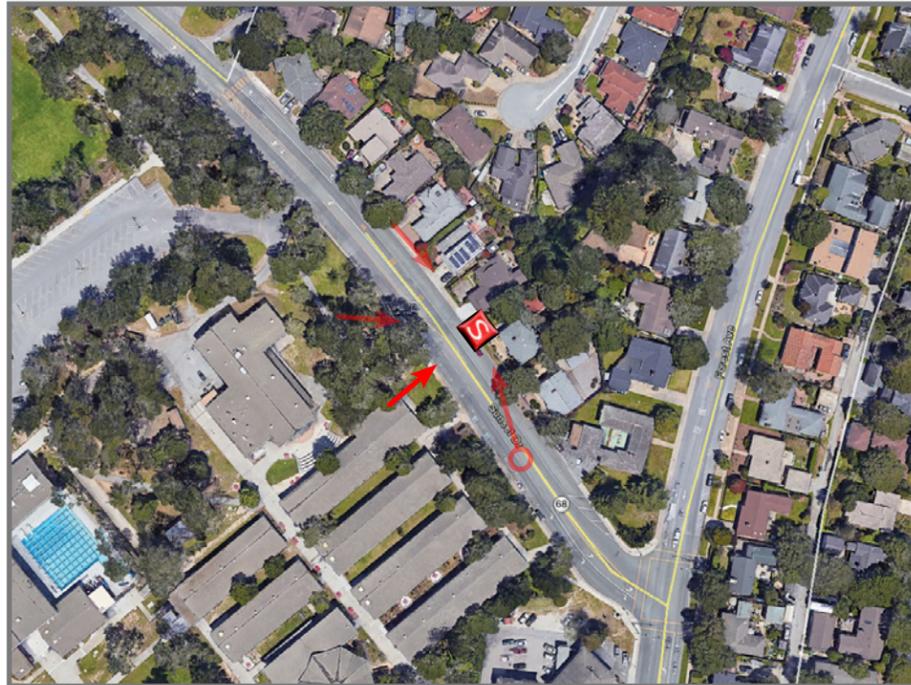
PROPOSED

LOOKING NORTH FROM SUNSET DRIVE



# PACIFIC GROVE HS SC 1

PUBLIC ROW IN FRONT OF 618 SUNSET DRIVE PACIFIC GROVE CA 93950



LOCATION

©2017 Google Maps

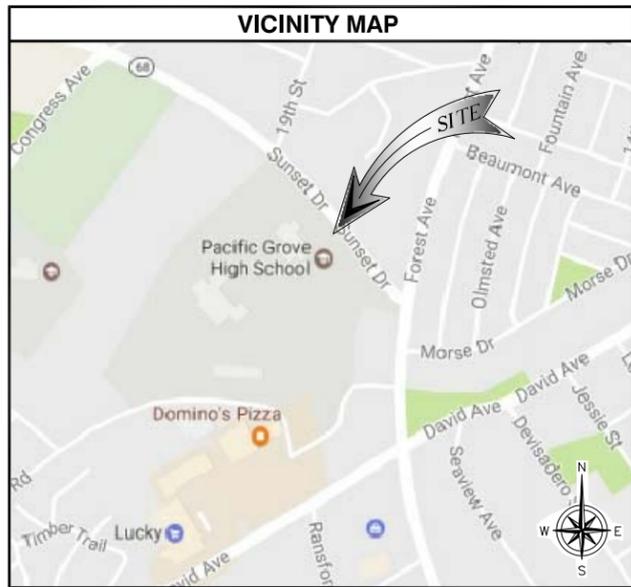


EXISTING



PROPOSED

LOOKING NORTHEAST ACROSS SUNSET DRIVE



| SITE INFORMATION            |  |
|-----------------------------|--|
| PROPERTY OWNER:<br>ADDRESS: | NORTHERN CA JOINT POLE ASSOCIATION<br>1800 SUTTER STREET<br>CONCORD, CA 94520<br>CONTACT: JONATHAN VAUGHAN<br>PH: (925) 681-0378 |
| APPLICANT:<br>ADDRESS:      | VERIZON WIRELESS<br>2785 MITCHELL DRIVE, BLDG. 9<br>WALNUT CREEK, CA 94598   |
| LATITUDE (NAD 83):          | 36°36'39.53" N   |
| LONGITUDE (NAD 83):         | 121°55'24.58" W  |
| GROUND ELEVATION:           | 272.14' AMSL   |
| ZONING JURISDICTION:        | COUNTY OF MONTEREY   |
| PROPOSED USE:               | UNMANNED TELECOMMUNICATIONS FACILITY   |

| PROJECT TEAM   |  |
|--|--|
| <b>APPLICANT:</b><br>VERIZON WIRELESS<br>2785 MITCHELL DRIVE, BLDG. 9<br>WALNUT CREEK, CA 94598<br>CONTACT: JORDAN THOMPSON<br>PHONE: (925) 895-1668<br>EMAIL: jordan.thompson@verizonwireless.com                   | <b>SITE ACQUISITION:</b><br>SEQUOIA DEPLOYMENT SERVICES, INC.<br>22471 ASPAN, SUITE #290<br>LAKE FOREST, CA 92630<br>CONTACT: ROBERT BALLMAIER<br>PHONE: (949) 278-7747<br>EMAIL: bob.ballmaier@sequoia-ds.com |
| <b>RF ENGINEER:</b><br>VERIZON WIRELESS<br>2785 MITCHELL DRIVE, BLDG. 9<br>WALNUT CREEK, CA 94598<br>CONTACT: STEFANO IACHELLA<br>PHONE: (510) 381-2904<br>EMAIL: stefano.iachella@verizonwireless.com               | <b>ZONING:</b><br>SEQUOIA DEPLOYMENT SERVICES, INC.<br>22471 ASPAN, SUITE #290<br>LAKE FOREST, CA 92630<br>CONTACT: BEN HACKSTEDDE<br>PHONE: (949) 259-3344<br>EMAIL: ben.hackstedde@sequoia-ds.com            |
| <b>ARCHITECT/ENGINEERING:</b><br>CELLSIUS ENGINEERING GROUP<br>10650 SCRIPPS RANCH BLVD., SUITE 224<br>SAN DIEGO, CA 92131<br>CONTACT: REGGIE GABRIEL<br>PHONE: (619) 200-7190<br>EMAIL: reggie.gabriel@cellsius.net | <b>CONSTRUCTION:</b><br>SEQUOIA DEPLOYMENT SERVICES, INC.<br>22471 ASPAN, SUITE #290<br>LAKE FOREST, CA 92630<br>CONTACT: ESI LIEGE<br>PHONE: (714) 697-6600<br>EMAIL: esi.liege@sequoia-ds.com                |

| APPROVALS  |       |
|--|-------|
| THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT & MAY IMPOSE CHANGES OR MODIFICATIONS. |       |
| VZW PROJECT MANAGER:   | _____ |
| VZW RF ENGINEER:   | _____ |
| VZW EQUIPMENT ENGINEER:  | _____ |
| VZW CONSTRUCTION MANAGER:  | _____ |
| PLANNING MANAGER:  | _____ |
| SITE ACQUISITION MANAGER:  | _____ |
| A/E MANAGER:   | _____ |

| DRAWING INDEX |  |
|---------------|--|
| SHEET NO:     | SHEET TITLE                                      |
| T-1           | TITLE SHEET                                      |
| LS-1          | TOPOGRAPHIC SURVEY                               |
| A-1           | SITE PLAN  |
| A-2           | ENLARGED SITE PLAN, EQUIPMENT AND ANTENNA LAYOUT |
| A-3           | ARCHITECTURAL ELEVATIONS                         |

| PROJECT DESCRIPTION  |  |
|--|--|
| THE PROJECT CONSISTS OF INSTALLATIONS OF TELECOMMUNICATIONS EQUIPMENT FOR VERIZON WIRELESS. THE INSTALLATIONS ENTAILS:   |  |
| <ul style="list-style-type: none"> <li>INSTALL (1) PROPOSED VERIZON WIRELESS 4'-0" HIGH CYLINDRICAL ANTENNA ON POLE</li> <li>INSTALL (1) PROPOSED VERIZON WIRELESS ANTENNA POLE TOP MOUNTING SKIRT</li> <li>INSTALL (1) PROPOSED VERIZON WIRELESS 24'-6" STEEL POLE</li> <li>INSTALL (1) PROPOSED VERIZON WIRELESS EQUIPMENT SHROUD ON POLE</li> <li>INSTALL (2) PROPOSED VERIZON WIRELESS REMOTE RADIO UNITS (RRUS) IN EQUIPMENT SHROUD</li> <li>INSTALL (2) PROPOSED VERIZON WIRELESS PSU UNITS IN EQUIPMENT SHROUD</li> <li>INSTALL (1) PROPOSED VERIZON WIRELESS DUAL DIPLEXER IN EQUIPMENT SHROUD</li> <li>INSTALL (1) PROPOSED VERIZON WIRELESS FIBER PATCH PANEL IN EQUIPMENT SHROUD</li> <li>INSTALL (1) PROPOSED VERIZON WIRELESS METER PEDESTAL</li> </ul> |  |

| APPLICABLE CODES  |  |
|---|--|
| ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES.   |  |
| <ul style="list-style-type: none"> <li>CALIFORNIA ADMINISTRATIVE CODE (INCL TITLE 24 &amp; 25)</li> <li>2016 CALIFORNIA BUILDING CODE</li> <li>LOCAL BUILDING CODE</li> <li>CITY/COUNTY ORDINANCES</li> <li>ANSI/EIA-222-G LIFE SAFETY CODE NFPA-101</li> <li>2016 CALIFORNIA ELECTRICAL CODE</li> <li>CA PUBLIC UTILITIES COMMISSION GENERAL ORDER 95 (GO 95)</li> </ul> |  |

**DO NOT SCALE DRAWINGS**

SUBCONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS & FIELD CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME. IF USING 11"x17" PLOT, DRAWINGS WILL BE HALF SCALE.

**811 Dig Alert**  
 Know what's below.  
 Call before you dig.  
 Call Two Working Days Before You Dig!  
 811 / 800-227-2600  
 digalert.org



**PROJECT TYPE: SMALL CELL**  
**PACIFIC GROVE HS SC1**  
**ROW IN FRONT OF 615 SUNSET DRIVE**  
**PACIFIC GROVE, CA 93950**  
**LOCATION CODE: 425598**

| GENERAL NOTES  |   |   |
|--|---|---|
| 1. LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. NEITHER THE OWNER NOR THE ENGINEER ASSUMES ANY RESPONSIBILITY FOR UTILITIES OR STRUCTURES NOT SHOWN OR NOT IN THE LOCATION SHOWN ON THE DRAWINGS.  | 10. CONTRACTOR SHALL NOTIFY THE JURISDICTION, A MINIMUM OF 46 HOURS PRIOR TO COMMENCING WORK WITHIN 10 FEET OF ALL SEWER, WATER, AND STORM DRAIN MAIN INCLUDING ALL CROSSINGS.  | 21. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS EQUIPMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER. |
| 2. THE CONTRACTORS SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.   | 11. "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT-ISSUING AUTHORITY. | 22. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE FROM EXISTING RECORDS AND CORROBORATED, WHERE POSSIBLE WITH FIELD TIES. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LOCATIONS SHOWN, BOTH HORIZONTALLY AND VERTICALLY PRIOR TO CONSTRUCTION. IF EXISTING LOCATIONS VARY SUBSTANTIALLY FROM THE PLANS, THE ENGINEER SHOULD BE NOTIFIED TO MAKE ANY CONSTRUCTION CHANGES REQUIRED.  |
| 3. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.  | 12. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY FIELD ENGINEERING DIVISION PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING.   | 23. THE CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUITS, AND LANE STRIPPING DAMAGED DURING CONSTRUCTION.  |
| 4. UPON ISSUANCE OF A PERMIT, NO WORK WILL BE PERMITTED ON WEEKENDS OR HOLIDAYS WITHOUT PERMISSION FROM THE ENGINEERING DEPARTMENT.  | 13. MANHOLES OR COVERS SHALL BE LABELLED "NAME OF COMPANY".   | 24. CONTRACTOR SHALL BE RESPONSIBLE FOR THE POTHOLE AND LOCATING OF ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE AND MUST MAINTAIN ONE FOOT MINIMUM VERTICAL CLEARANCE  |
| 5. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT FROM DAMAGING EXISTING IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE. CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR, REPLACE OR RECONSTRUCT ALL SUCH IMPROVEMENTS OR OTHER STRUCTURES DAMAGED BY HIS WORK, TO THE ENGINEER'S SATISFACTION.   | 14. CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET THE APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD.                                      | 25. AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE CITY ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT.   |
| 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FILE LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, SUCH MONUMENTS SHALL BE REPLACED WITH APPROPRIATE MONUMENTS BY A LAND SURVEYOR. A CORNER RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FIELD AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE JURISDICTION'S FIELD SURVEY DIVISION MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS FROM OCCURRENCE. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION. | 15. THE CONTRACTOR SHALL HAVE EMERGENCY MATERIALS AND EQUIPMENT ON HAND FOR UNFORESEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHEREBY FLOWS MAY GENERATE EROSION AND SEDIMENT POLLUTION.                  | 26. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.  |
| 7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE POTHOLE AND LOCATING OF ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE AND MUST MAINTAIN 1 FOOT MINIMUM VERTICAL CLEARANCE.   | 16. THE CONTRACTOR SHALL VERIFY LOCATION ALL EXISTING UNDERGROUND UTILITIES INCLUDING SEWER LATERALS & WATER SERVICES TO INDIVIDUAL LOTS OF BOTH VERTICAL AND HORIZONTAL PRIOR TO COMMENCING IMPROVEMENTS OPERATIONS.                                 | 27. ANY DRAIN AND/OR FIELD TILE ENCOUNTERED/DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK, SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON "AS-BUILT" DRAWINGS BY GENERAL CONTRACTOR, AND ISSUED TO THE ARCHITECT OR ENGINEER AT COMPLETION OF PROJECT.  |
| 8. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.  | 17. LOCATION AND ELEVATIONS OF IMPROVEMENTS, TO BE MET BY WORK, SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK.   | 28. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAD BACK OR BRACED IN ACCORDANCE WITH THE CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.  |
| 9. CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUIT, AND LANE STRIPPING DAMAGED DURING CONSTRUCTION.   | 18. GRADES SHOWN ARE FINISH GRADES. CONTRACTOR SHALL DETERMINE NECESSARY SUB GRADE ELEVATIONS AND SHALL CONSTRUCT SMOOTH TRANSITION BETWEEN FINISH GRADES SHOWN.  |   |
|  | 19. THE CONTRACTOR SHALL SUBMIT WORK PLANS FOR ALL BORE OPERATIONS TWO WEEKS PRIOR TO COMMENCING WORK.  |   |
|  | 20. THE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR COMPLIANCE WITH THE PROVISIONS OF THE STATE OF CALIFORNIA SAFETY ORDERS.  |   |

**ACCESSIBILITY NOTE**

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2016 CALIFORNIA BUILDING CODE. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS NEW.

THE TELECOMMUNICATIONS EQUIPMENT SPACE SHOWN ON THESE PLANS IS NOT CUSTOMARILY OCCUPIED WORK TO BE PERFORMED IN THIS FACILITY CANNOT REASONABLY BE PERFORMED BY PERSONS WITH A SEVERE IMPAIRMENT: MOBILITY, SIGHT, AND/OR HEARING. THEREFORE, PER 2016 CALIFORNIA BUILDING CODE SECTION 1105B.3.4, AND/OR 11B-203.5 OF 2016 CALIFORNIA BUILDING CODE, EXCEPTION 1, THIS FACILITY SHALL BE EXEMPTED FROM ALL TITLE 24 ACCESS REQUIREMENTS.

**TRAFFIC CONTROL NOTE**

THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN (11"x17") FOR APPROVAL PRIOR TO STARTING WORK. THE PLAN SHOULD BE SUBMITTED TO THE TRAFFIC CONTROL PERMIT COUNTER. CONTRACTOR SHALL OBTAIN A TRAFFIC CONTROL PERMIT A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO STARTING WORK, AND A MINIMUM OF FIVE (5) DAYS IF WORK WILL AFFECT A BUS STOP OR AN EXISTING TRAFFIC SIGNAL, OR IF WORK WILL REQUIRE A ROAD OR ALLEY CLOSURE.



| REV | DATE       | DESCRIPTION          |
|-----|------------|----------------------|
| 6   | 06/07/2018 | REDESIGN OPTION      |
| 5   | 05/31/2018 | EQUIPMENT REDESIGN   |
| 4   | 03/07/2018 | CITY COMMENTS        |
| 3   | 09/15/2017 | CITY COMMENTS        |
| 2   | 06/13/2017 | 100% ZONING DRAWINGS |
| 1   | 05/08/2017 | 90% ZONING DRAWINGS  |

ISSUED DATE:  
**MAY 31, 2018**

ISSUED FOR:  
**PLANNING**

LICENSURE:

PROJECT INFORMATION:  
**PACIFIC GROVE HS SC1**  
 LOCATION CODE: 425598  
 ROW IN FRONT OF 615  
 SUNSET DRIVE  
 PACIFIC GROVE, CA 93950

DRAWN BY: MAM

CHECKED BY: FO

SHEET TITLE:  
**TITLE SHEET**

SHEET NUMBER:  
**T-1**



2785 MITCHELL DRIVE, BLDG. 9  
WALNUT CREEK, CA 94598



| REV | DATE       | DESCRIPTION  |
|-----|------------|--------------|
| 0   | 03/06/2017 | FINAL SURVEY |

ISSUED DATE:  
**MAR. 06, 2017**

ISSUED FOR:  
**FINAL SURVEY**

LICENSURE:

PROJECT INFORMATION:  
**PACIFIC GROVE HS SC1  
LOCATION CODE: 425598**  
  
**ROW IN FRONT OF  
618 SUNSET DRIVE  
PACIFIC GROVE, CA 93950**

DRAWN BY: ABR  
CHECKED BY: AJK

SHEET TITLE:  
**TOPOGRAPHIC SURVEY**

SHEET NUMBER:  
**LS-1**



**BASIS OF BEARING**

THE STATE PLANE COORDINATE SYSTEM 1983 (NAD 83), CALIFORNIA ZONE 4.

**BENCH MARK**

THE CALIFORNIA SPATIAL REFERENCE CENTER CRTN "P171"

**FLOOD ZONE**

SITE IS LOCATED IN FLOOD ZONE "X" AS PER F.I.R.M. MAP NO. 06053C0306G  
EFFECTIVE DATE 04/02/2009

**NOTES:**

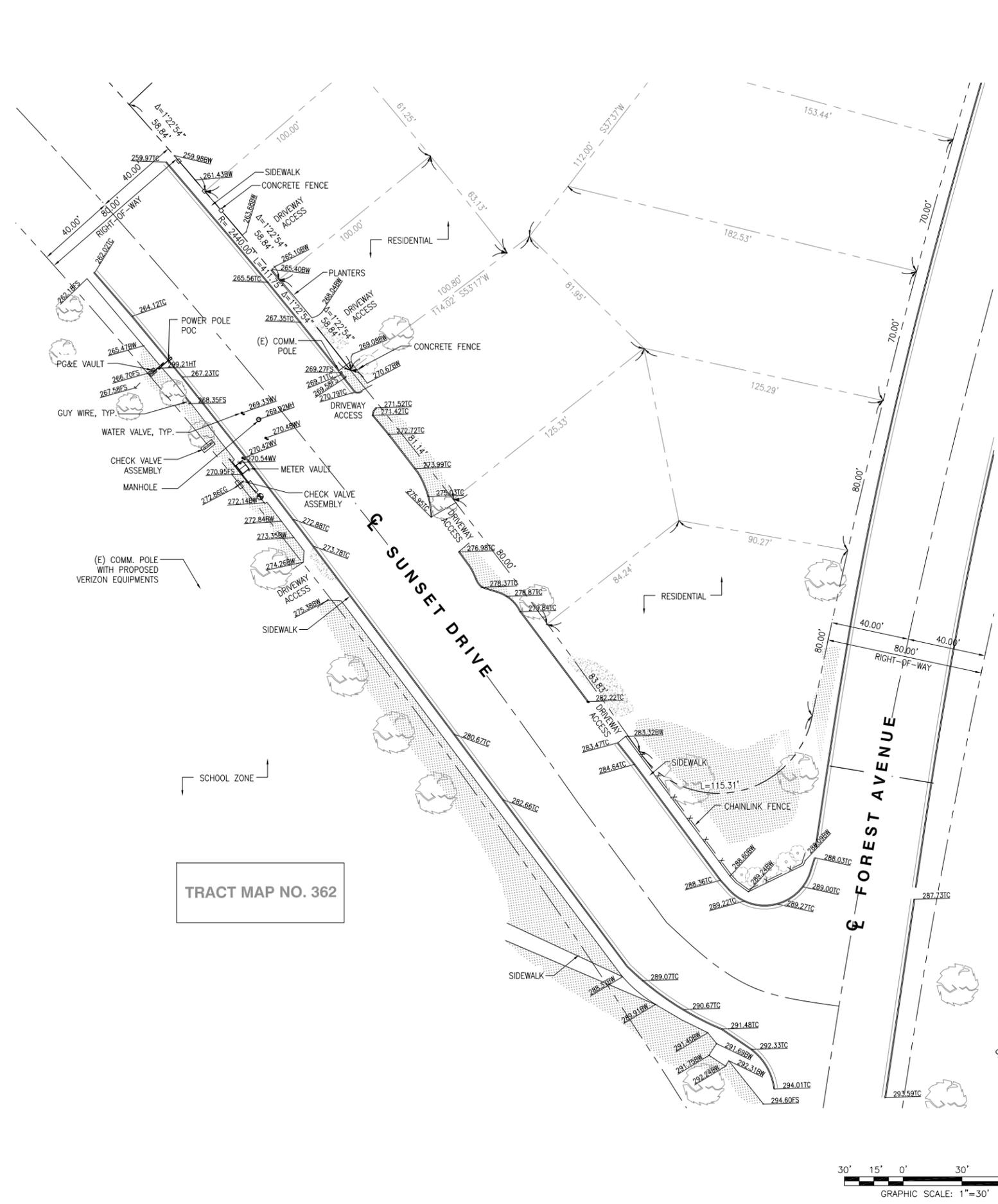
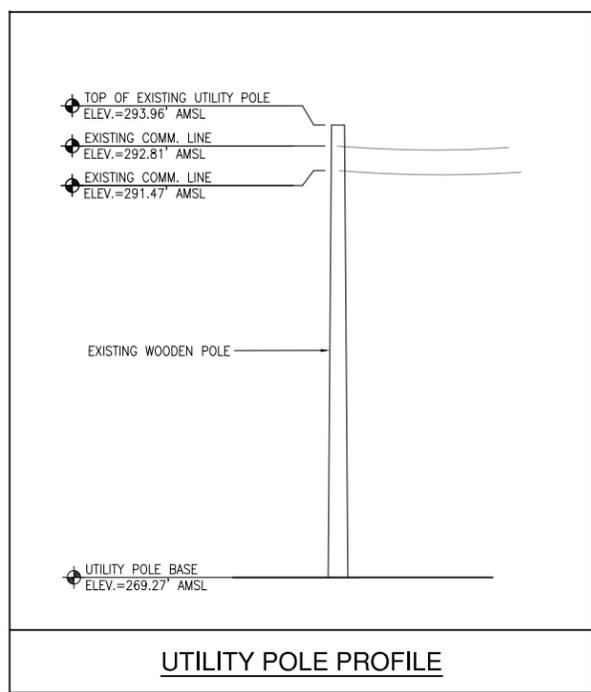
- THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP. THE PROPERTY LINES AND EASEMENTS SHOWN HEREON ARE FROM RECORD INFORMATION AS NOTED HEREON. CELLSIUS ENGINEERING GROUP TRANSLATED THE TOPOGRAPHIC SURVEY TO RECORD INFORMATION USING FOUND MONUMENTS SHOWN HEREON.
- THE HEIGHTS AND ELEVATIONS FOR THE TREES, BUSHES AND OTHER LIVING PLANTS SHOWN HEREON, SHOULD BE CONSIDERED APPROXIMATE (+/-) AND ONLY FOR THE DATE OF THIS SURVEY. THEY ARE PROVIDED AS A GENERAL REFERENCE AND SHOULD NOT BE USED FOR DESIGN PURPOSES.
- FIELD SURVEY COMPLETED ON FEBRUARY 25, 2017.

**LEGEND**

- CENTER LINE
- - - PROPERTY LINE
- x-x-x- CHAIN-LINK FENCE
- CONCRETE FENCE
- WOOD FENCE
- RETAINING WALL
- EDGE OF PAVEMENT
  
- HT HEIGHT
- TC TOP OF CURB
- TW TOP OF WALL
- EG EXISTING GRADE
- FS FINISH SURFACE
- HH HAND HOLE
- JB JUNCTION BOX
- TR TRANSFORMER
- WM WATER METER
- CT CABINET
- VT VAULT
- PB PULL BOX
- MP METER PEDESTAL
- BW BACK WALK
- SS SANITARY SEWER MANHOLE
- SD STORMWATER DRAIN MANHOLE
- GV GAS VALVE
- WV WATER VALVE
- TM TELECOM MANHOLE
  
- <sub>w</sub> WATER VALVE MANHOLE
- <sub>f</sub> FIRE HYDRANT
- <sub>v</sub> VAULT
- ⊙ PEDESTRIAN SIGNAL LIGHT
- ⊙ EXISTING STREET LIGHT
- ⊙ EXISTING TRAFFIC SIGNAL
- ⊙ POWER POLE
- ⊙ EXISTING SIGN
- ⊙ GUY WIRE ANCHOR
  
- ⊙ POLE IN QUESTION
- TREE
- PINE TREE
- BUSH
- PALM TREE
- ▨ EXISTING CONCRETE
- ▨ EXISTING GRASS/TURF

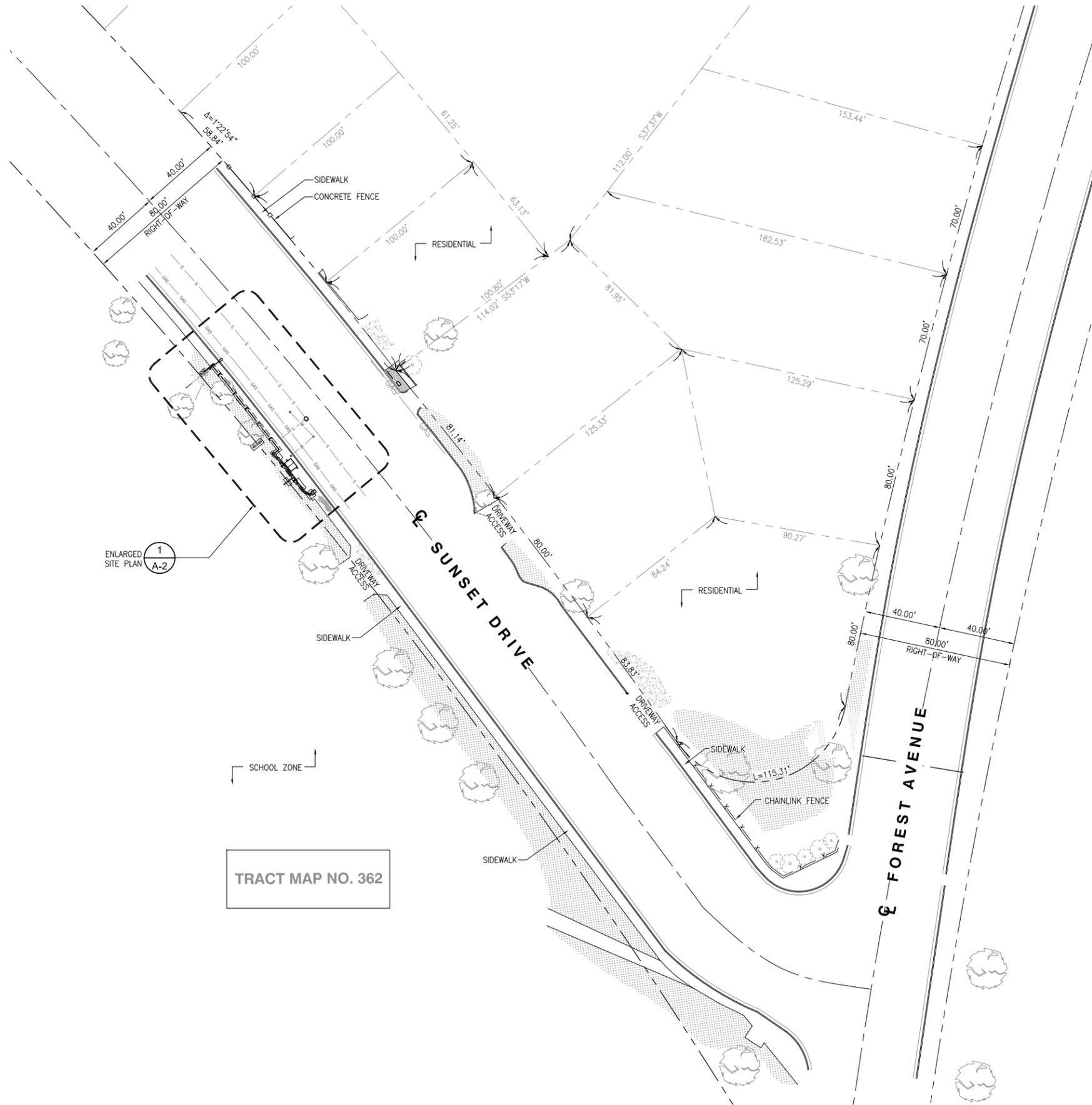
**MONUMENTS**

- MONUMENT FD.
- ⊕ LATITUDE: 36°36'39.53"N  
LONGITUDE: 121°55'24.58"W



**SITE NOTES:**

1. REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWINGS SHALL NOT BE USED TO IDENTIFY OR ESTABLISH BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE CIVIL SURVEY. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT/ENGINEER.
2. CONTRACTOR TO VERIFY LOCAL UTILITY REQUIREMENTS FOR DEPTH, SIZES, AND SEPARATION OF CONDUITS PRIOR TO INSTALLATION. NOTIFY CONSTRUCTION MANAGER IMMEDIATELY OF ANY DISCREPANCIES.
3. PROPOSED UTILITY SERVICES SHOWN NEED TO BE VERIFIED AND APPROVED BY UTILITY COMPANIES BEFORE START OF CONSTRUCTION. CONTRACTOR TO VERIFY WITH CLIENT PROJECT MANAGER TO OBTAIN FINAL APPROVAL.
4. VERIFY, LOCATE, AND PROTECT ALL EXISTING SUBSTRUCTURES AS REQUIRED. CALL DIG ALERT @ (800) 227-2600 48 HOURS BEFORE ANY EXCAVATION. CONTRACTOR IS RESPONSIBLE TO HAVE ALL NON-PUBLIC UTILITIES LOCATED AT THEIR OWN EXPENSE.
5. LINES SHOWN DOES NOT REPRESENT THE EXACT LOCATION OF THE CONDUIT ROUTES. CONTRACTOR TO VERIFY SERVICE LOCATIONS W/ ACTUAL FIELD CONDITIONS.
6. CONTRACTOR SHALL IMMEDIATELY INFORM CLIENT OF ANY ACCIDENTAL DAMAGE TO EXISTING UTILITIES VIA PHONE OR EMAIL REGARDLESS OF ABILITY TO REPAIR OR MITIGATE. A FOLLOW-UP EMAIL REPORT WITH DIGITAL PHOTOS WILL BE REQUIRED DAILY UNTIL RESOLUTION HAS BEEN ACCEPTED BY CLIENT, AFFECTED SERVICE PROVIDERS, AND RECIPIENTS. AT THEIR OWN EXPENSE, CONTRACTOR WILL EXERCISE ALL EFFORTS TO HAVE REPAIRS MADE BY QUALIFIED TECHNICIANS AS APPROVED BY SERVICE PROVIDER.
7. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, BOTH HORIZONTAL AND VERTICALLY, PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE REFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE.
8. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
9. ANY DRAIN AND /OR FIELD TILE ENCOUNTERED/DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO IT'S ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON "AS-BUILT" DRAWINGS BY GENERAL CONTRACTOR, AND ISSUED TO THE ARCHITECT OR ENGINEER AT COMPLETION OF PROJECT.
10. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH THE CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
11. NEW CONDUITS SHALL BE INSTALLED IN TRENCH SUCH THAT THE TOP OF CONDUIT SHALL HAVE A MINIMUM COVER OF 24-INCHES BELOW ADJACENT EDGE OF PAVEMENT OR ORIGINAL GROUND, WHICHEVER IS LOWER IN ELEVATION.
12. ALL PULL BOXES SHALL BE PRECAST REINFORCED CONCRETE AND HAVE NON CONDUCTIVE LIDS. EXISTING PULL BOX COVERS THAT ARE MARKED INCORRECTLY SHALL BE REPLACED.
13. REGRADE LANDSCAPING AS NEEDED AND REPLACE DAMAGED IRRIGATION LINES WITHIN 24 HOURS.



TRACT MAP NO. 362



| REV | DATE       | DESCRIPTION          |
|-----|------------|----------------------|
| 6   | 06/07/2018 | REDESIGN OPTION      |
| 5   | 05/31/2018 | EQUIPMENT REDESIGN   |
| 4   | 03/07/2018 | CITY COMMENTS        |
| 3   | 09/15/2017 | CITY COMMENTS        |
| 2   | 06/13/2017 | 100% ZONING DRAWINGS |
| 1   | 05/08/2017 | 90% ZONING DRAWINGS  |

ISSUED DATE: **MAY 31, 2018**

ISSUED FOR: **PLANNING**

LICENSURE:

PROJECT INFORMATION:  
PACIFIC GROVE HS SC1  
LOCATION CODE: 425598  
ROW IN FRONT OF 615  
SUNSET DRIVE  
PACIFIC GROVE, CA 93950

DRAWN BY: MAM  
CHECKED BY: FO

SHEET TITLE: **SITE PLAN**

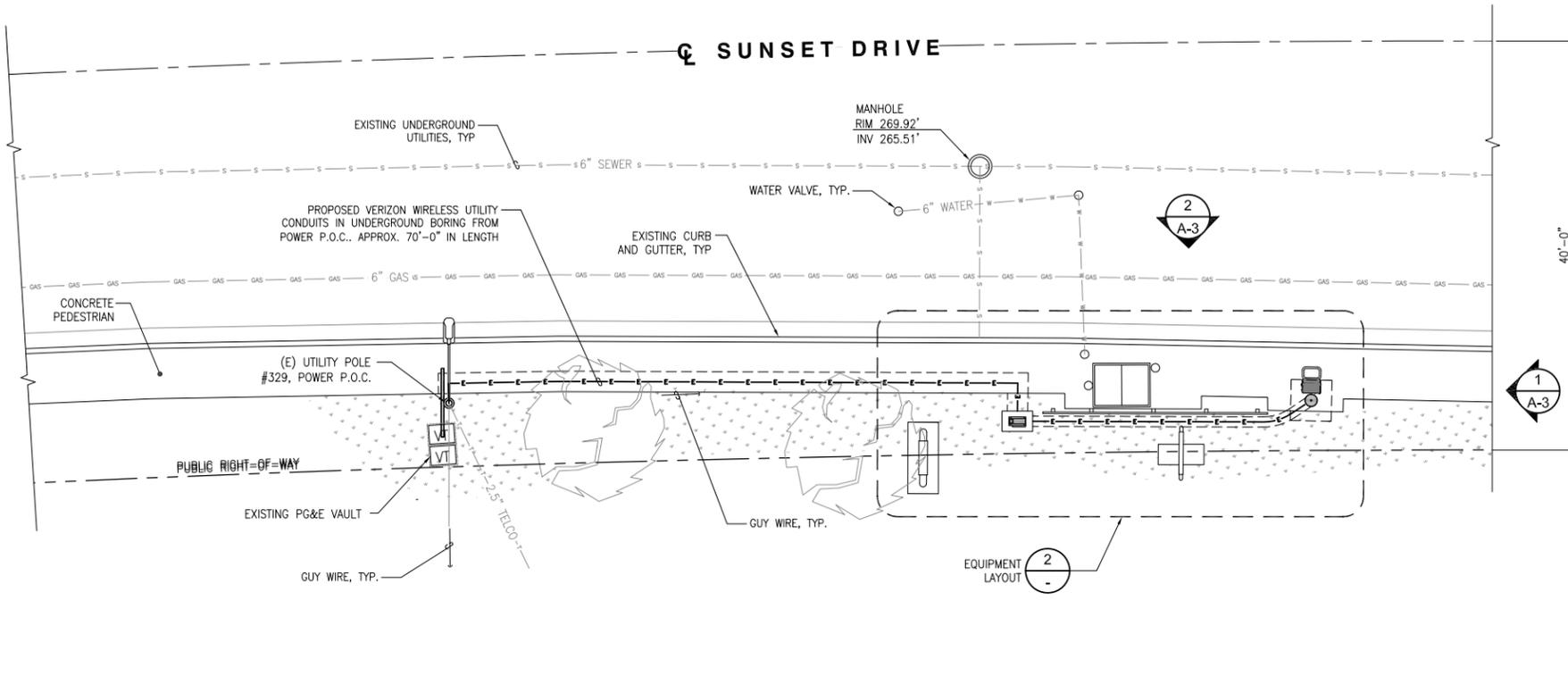
SHEET NUMBER: **A-1**

**CONSTRUCTION NOTES:**

- METER SHALL NOT FACE THE STREET, ALLEY, OR PROPERTY SIDE OF THE POLE.
- METER BASE AND DISCONNECT SHALL BE BONDED TO A SEPARATE GROUND FROM THE POLE GROUND WITH CONDUCTOR HAVING A CURRENT CAPACITY THAN NO LESS THAN #6 SOLID COPPER CONDUCTOR.
- VERIFY AND RECORD ALL TIES AND FOOTAGES IN FIELD PER FINAL AS-BUILT CONDITIONS.
- PROVIDE ADEQUATE WORKMAN PROTECTION ON WINDING NARROW ROADS OR HEAVY TRAFFIC.
- GROUNDS ARE TO BE TESTED-REQUIRES 5 OHMS OR LESS RESISTANCE.
- ALL LANDSCAPING TO BE RESTORED TO ORIGINAL CONDITION.
- NOTIFY PROPERTY OWNER BEFORE WORKING ON OR AROUND PRIVATE PROPERTY.
- OBTAIN SPECIAL PERMITS AND PAY FEES AS REQUIRED WORKING ON COUNTY HIGHWAY.
- MAINTAIN 36" MINIMUM COVER IN PARKWAY
- MAINTAIN 30" MINIMUM COVER BELOW GUTTER GRADE ON SURFACE STREETS.
- CONDUIT REQUIREMENTS:**
  - UNDERGROUND - SCHEDULE 40 PVC OR BETTER
  - RISERS - SCHEDULE 80 PVC
  - ALL CONDUITS WILL BE MANDELED AND EQUIPPED WITH 3/8" PULL ROPE.
  - 2" GALVANIZED STEEL CONDUIT FOR ANY CONDUIT UNDER 3', STUB UP 10" THEN CONVERT TO SCHEDULE 80.
- GROUND REQUIREMENTS:**
  - 5/8" ROD-10' LENGTH
  - GROUND TESTED AT 5 OHMS OR LESS
  - #2 GROUND WIRE
  - GROUND RODS MUST BE 24" FROM POLE AND THE TOP OF ROD MUST BE BELOW GRADE LEVEL.

**UNDERGROUND UTILITIES NOTE:**

ALL EXISTING SUB-SURFACE UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON THE PLAN HAVE BEEN PLOTTED FROM FIELD SURVEY AND/OR AVAILABLE RECORDS, THE ARCHITECT/ ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR THE ACCURACY OF THE INFORMATION SHOWN ON THE PLANS, OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTORS SHALL BE RESPONSIBLE FOR THE DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTORS SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING UTILITIES. THERE MAY BE EXISTING UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINE SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.

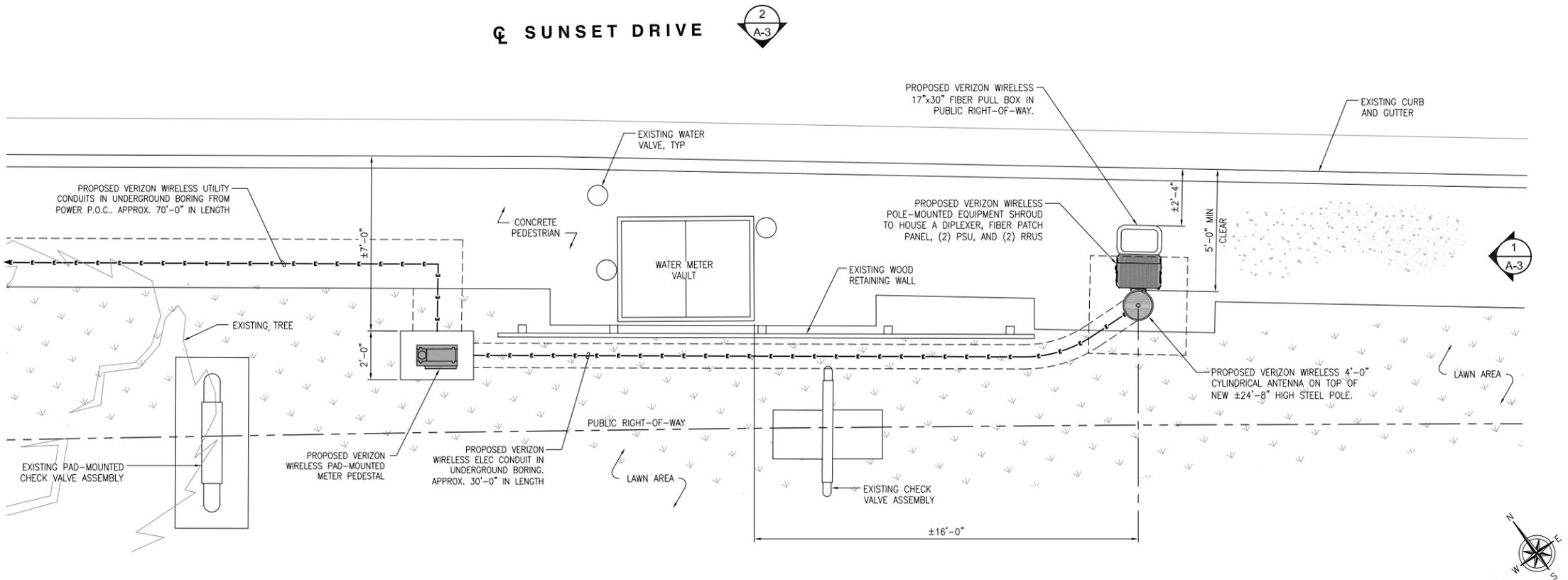


**ENLARGED SITE PLAN**

24"x36" SCALE: 1/8" = 1'-0"  
11"x17" SCALE: 1/16" = 1'-0"

**NOTES:**

- CONTRACTOR TO PLACE SANDBAGS AROUND ANY/ALL STORM DRAIN INLETS TO PREVENT CONTAMINATED WATER.
- SPOILS PILE WILL BE COVERED AND CONTAINED AND STREET WILL BE SWEEPED AND CLEANED AS NEEDED.
- CONTRACTOR TO REPAIR DAMAGED PUBLIC IMPROVEMENTS TO THE SATISFACTION OF THE CITY ENGINEER.
- CURB & GUTTER TO BE PROTECTED IN PLACE. SIDEWALK TO BE REPLACED TO THE SATISFACTION OF THE CITY ENGINEER.
- THE CONTRACTOR SHALL RESTORE THE ROADWAY BACK TO ITS ORIGINAL CONDITION SATISFACTORY TO THE CITY ENGINEER INCLUDING, BUT NOT LIMITED TO PAVING, STRIPING, BIKE LANES, PAVEMENT, LEGENDS, SIGNS, AND TRAFFIC LOOP DETECTORS.



**EQUIPMENT LAYOUT**

24"x36" SCALE: 3/8" = 1'-0"  
11"x17" SCALE: 3/16" = 1'-0"



| REV | DATE       | DESCRIPTION          |
|-----|------------|----------------------|
| 6   | 06/07/2018 | REDESIGN OPTION      |
| 5   | 05/31/2018 | EQUIPMENT REDESIGN   |
| 4   | 03/07/2018 | CITY COMMENTS        |
| 3   | 09/15/2017 | CITY COMMENTS        |
| 2   | 06/13/2017 | 100% ZONING DRAWINGS |
| 1   | 05/08/2017 | 90% ZONING DRAWINGS  |

ISSUED DATE: **MAY 31, 2018**

ISSUED FOR: **PLANNING**

LICENSURE:

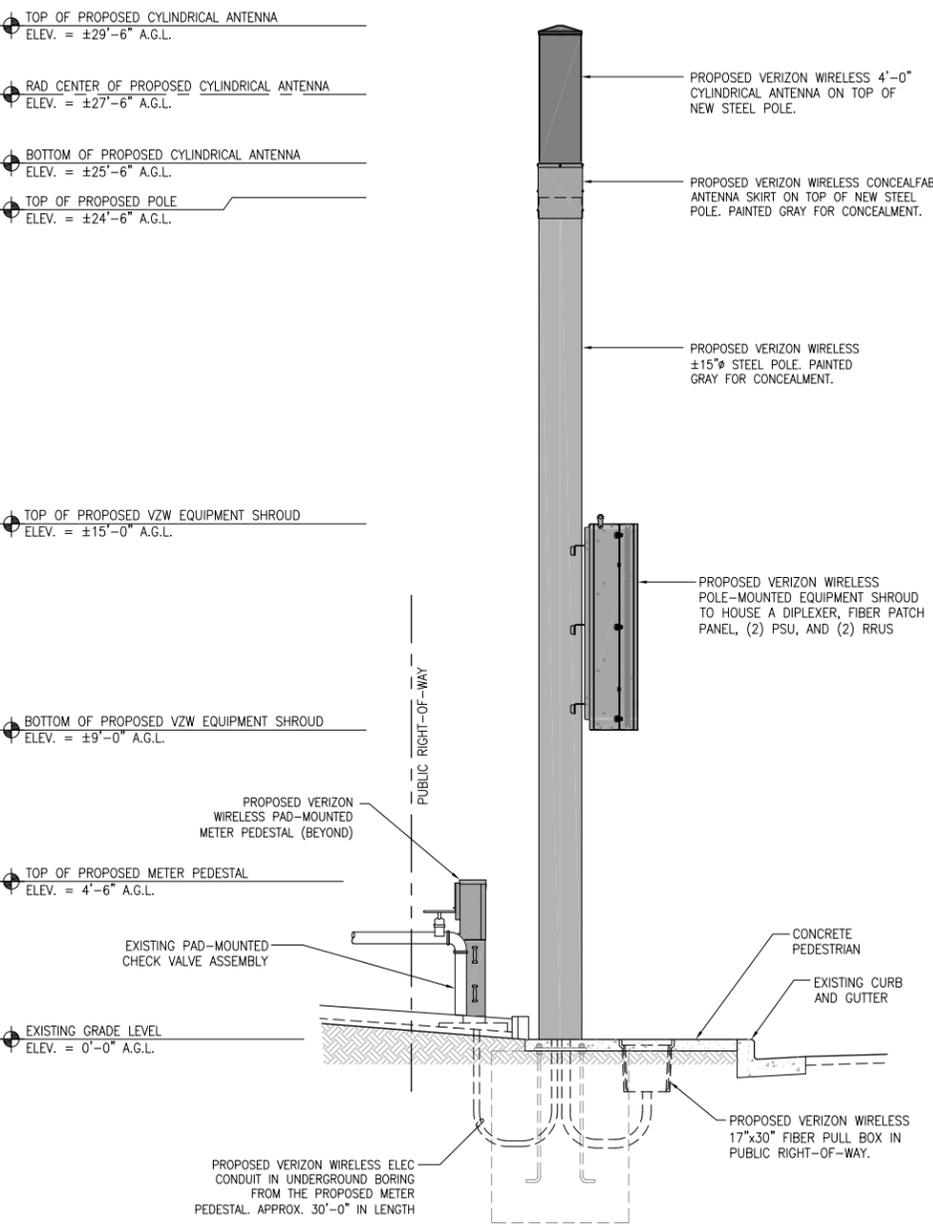
PROJECT INFORMATION:  
**PACIFIC GROVE HS SC1**  
 LOCATION CODE: 425598  
 ROW IN FRONT OF 615  
 SUNSET DRIVE  
 PACIFIC GROVE, CA 93950

DRAWN BY: MAM  
 CHECKED BY: FO

SHEET TITLE:  
**ENLARGED SITE PLAN,  
 EQUIPMENT AND  
 ANTENNA LAYOUT**

SHEET NUMBER:  
**A-2**

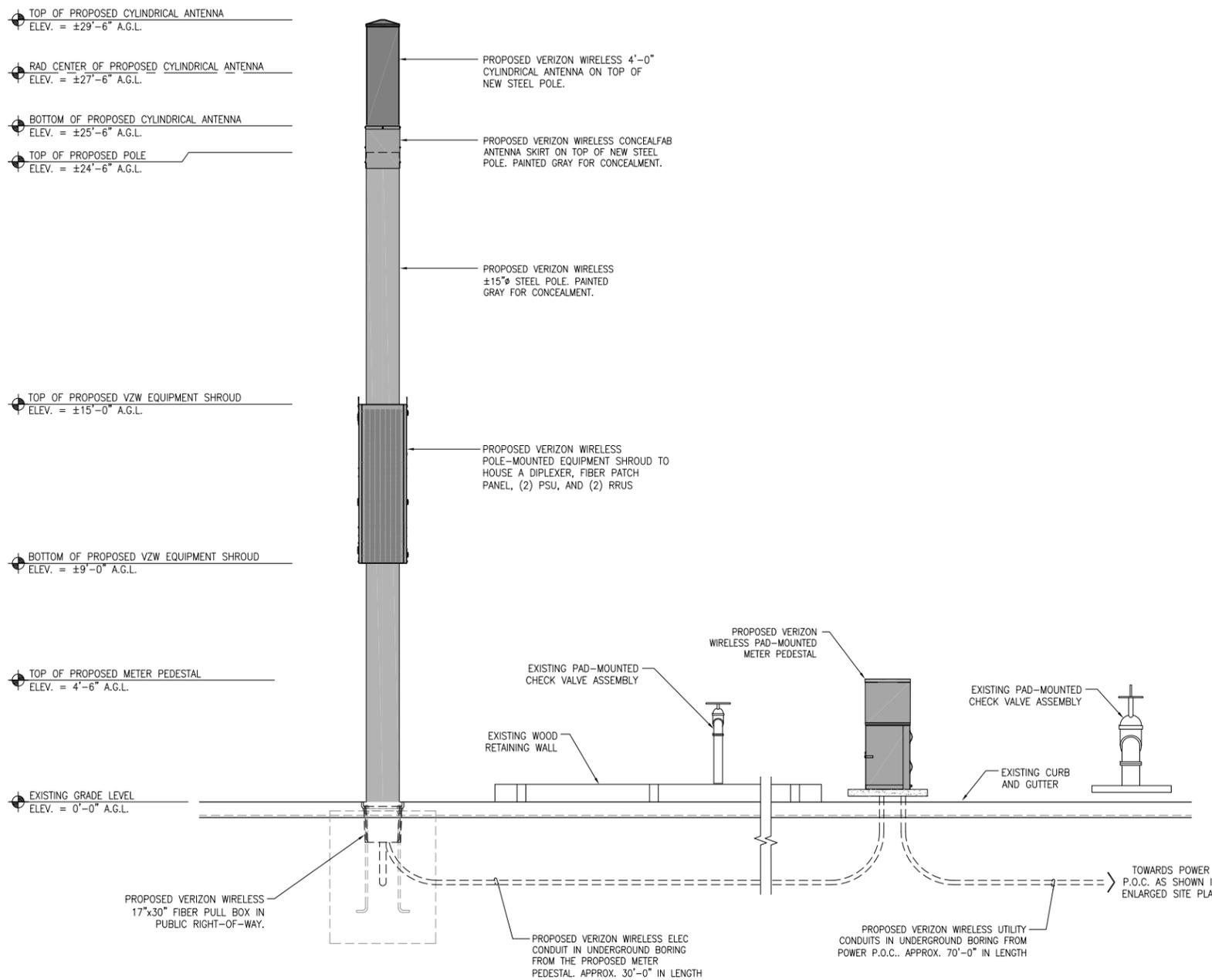
- NOTES:
1. THE NEW LAYOUT IS PRELIMINARY AND SUBJECT TO CHANGE PENDING FULL STRUCTURAL ANALYSIS.
  2. NEW TOWER, ANTENNAS, EQUIPMENT SHROUD, AND ALL EXPOSED HARDWARE SHOULD BE PAINTED GRAY FOR CONCEALMENT AS NECESSARY.



PROPOSED SOUTHEAST ELEVATION

24"x36" SCALE: 3/8" = 1'-0"  
11"x17" SCALE: 3/16" = 1'-0"

- NOTES:
1. THE NEW LAYOUT IS PRELIMINARY AND SUBJECT TO CHANGE PENDING FULL STRUCTURAL ANALYSIS.
  2. NEW TOWER, ANTENNAS, EQUIPMENT SHROUD, AND ALL EXPOSED HARDWARE SHOULD BE PAINTED GRAY FOR CONCEALMENT AS NECESSARY.



PROPOSED NORTHEAST ELEVATION

24"x36" SCALE: 3/8" = 1'-0"  
11"x17" SCALE: 3/16" = 1'-0"



| REV | DATE       | DESCRIPTION          |
|-----|------------|----------------------|
| 6   | 06/07/2018 | REDESIGN OPTION      |
| 5   | 05/31/2018 | EQUIPMENT REDESIGN   |
| 4   | 03/07/2018 | CITY COMMENTS        |
| 3   | 09/15/2017 | CITY COMMENTS        |
| 2   | 06/13/2017 | 100% ZONING DRAWINGS |
| 1   | 05/08/2017 | 90% ZONING DRAWINGS  |

ISSUED DATE:  
MAY 31, 2018

ISSUED FOR:  
PLANNING

LICENSURE:

PROJECT INFORMATION:  
PACIFIC GROVE HS SC1  
LOCATION CODE: 425598  
ROW IN FRONT OF 615  
SUNSET DRIVE  
PACIFIC GROVE, CA 93950

DRAWN BY: MAM  
CHECKED BY: FO

SHEET TITLE:  
ARCHITECTURAL  
ELEVATIONS

SHEET NUMBER:  
A-3





2785 MITCHELL DRIVE, BLDG. 9  
WALNUT CREEK, CA 94598



| REV | DATE       | DESCRIPTION  |
|-----|------------|--------------|
| 0   | 03/06/2017 | FINAL SURVEY |

ISSUED DATE:  
**MAR. 06, 2017**

ISSUED FOR:  
**FINAL SURVEY**

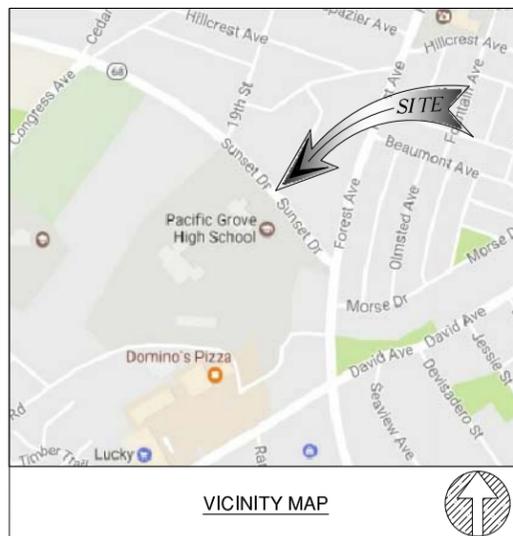
LICENSURE:

PROJECT INFORMATION:  
PACIFIC GROVE HS SC1  
LOCATION CODE: 425598  
ROW IN FRONT OF  
618 SUNSET DRIVE  
PACIFIC GROVE, CA 93950

DRAWN BY: ABR  
CHECKED BY: AJK

SHEET TITLE:  
**TOPOGRAPHIC SURVEY**

SHEET NUMBER:  
**LS-1**



**BASIS OF BEARING**

THE STATE PLANE COORDINATE SYSTEM 1983 (NAD 83), CALIFORNIA ZONE 4.

**BENCH MARK**

THE CALIFORNIA SPATIAL REFERENCE CENTER CRTN "P171"

**FLOOD ZONE**

SITE IS LOCATED IN FLOOD ZONE "X" AS PER F.I.R.M. MAP NO. 06053C0306G  
EFFECTIVE DATE 04/02/2009

**NOTES:**

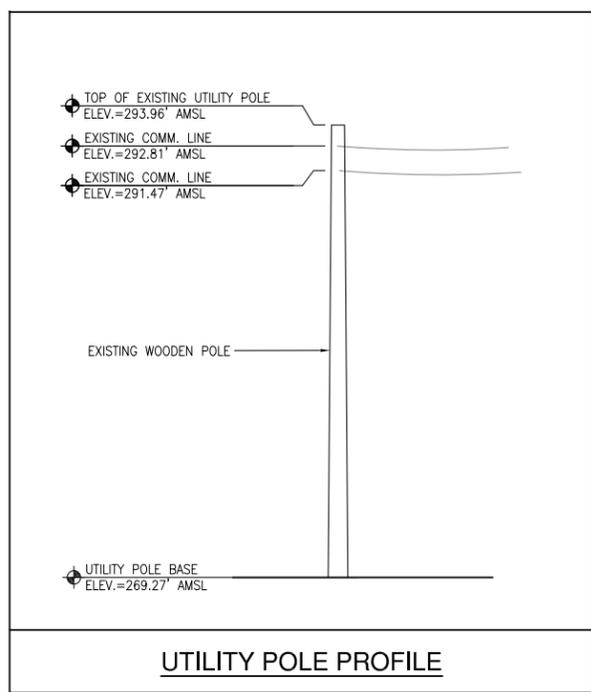
- THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP. THE PROPERTY LINES AND EASEMENTS SHOWN HEREON ARE FROM RECORD INFORMATION AS NOTED HEREON. CELLSIUS ENGINEERING GROUP TRANSLATED THE TOPOGRAPHIC SURVEY TO RECORD INFORMATION USING FOUND MONUMENTS SHOWN HEREON.
- THE HEIGHTS AND ELEVATIONS FOR THE TREES, BUSHES AND OTHER LIVING PLANTS SHOWN HEREON, SHOULD BE CONSIDERED APPROXIMATE (+/-) AND ONLY FOR THE DATE OF THIS SURVEY. THEY ARE PROVIDED AS A GENERAL REFERENCE AND SHOULD NOT BE USED FOR DESIGN PURPOSES.
- FIELD SURVEY COMPLETED ON FEBRUARY 25, 2017.

**LEGEND**

- CENTER LINE
- - - PROPERTY LINE
- x-x-x- CHAIN-LINK FENCE
- CONCRETE FENCE
- WOOD FENCE
- RETAINING WALL
- EDGE OF PAVEMENT
  
- HT HEIGHT
- TC TOP OF CURB
- TW TOP OF WALL
- EG EXISTING GRADE
- FS FINISH SURFACE
- HH HAND HOLE
- JB JUNCTION BOX
- TR TRANSFORMER
- WM WATER METER
- CT CABINET
- VT VAULT
- PB PULL BOX
- MP METER PEDESTAL
- BW BACK WALK
- SS SANITARY SEWER MANHOLE
- SD STORMWATER DRAIN MANHOLE
- GV GAS VALVE
- WV WATER VALVE
- TM TELECOM MANHOLE
  
- <sub>w</sub> WATER VALVE MANHOLE
- <sub>f</sub> FIRE HYDRANT
- <sub>v</sub> VAULT
- ⊙ PEDESTRIAN SIGNAL LIGHT
- ⊙ EXISTING STREET LIGHT
- ⊙ EXISTING TRAFFIC SIGNAL
- ⊙ POWER POLE
- ⊙ EXISTING SIGN
- ⊙ GUY WIRE ANCHOR
  
- ⊙ POLE IN QUESTION
- TREE
- PINE TREE
- BUSH
- PALM TREE
- ▨ EXISTING CONCRETE
- ▨ EXISTING GRASS/TURF

**MONUMENTS**

- MONUMENT FD.
- ⊕ LATITUDE: 36°36'40.14"N  
LONGITUDE: 121°55'24.01"W

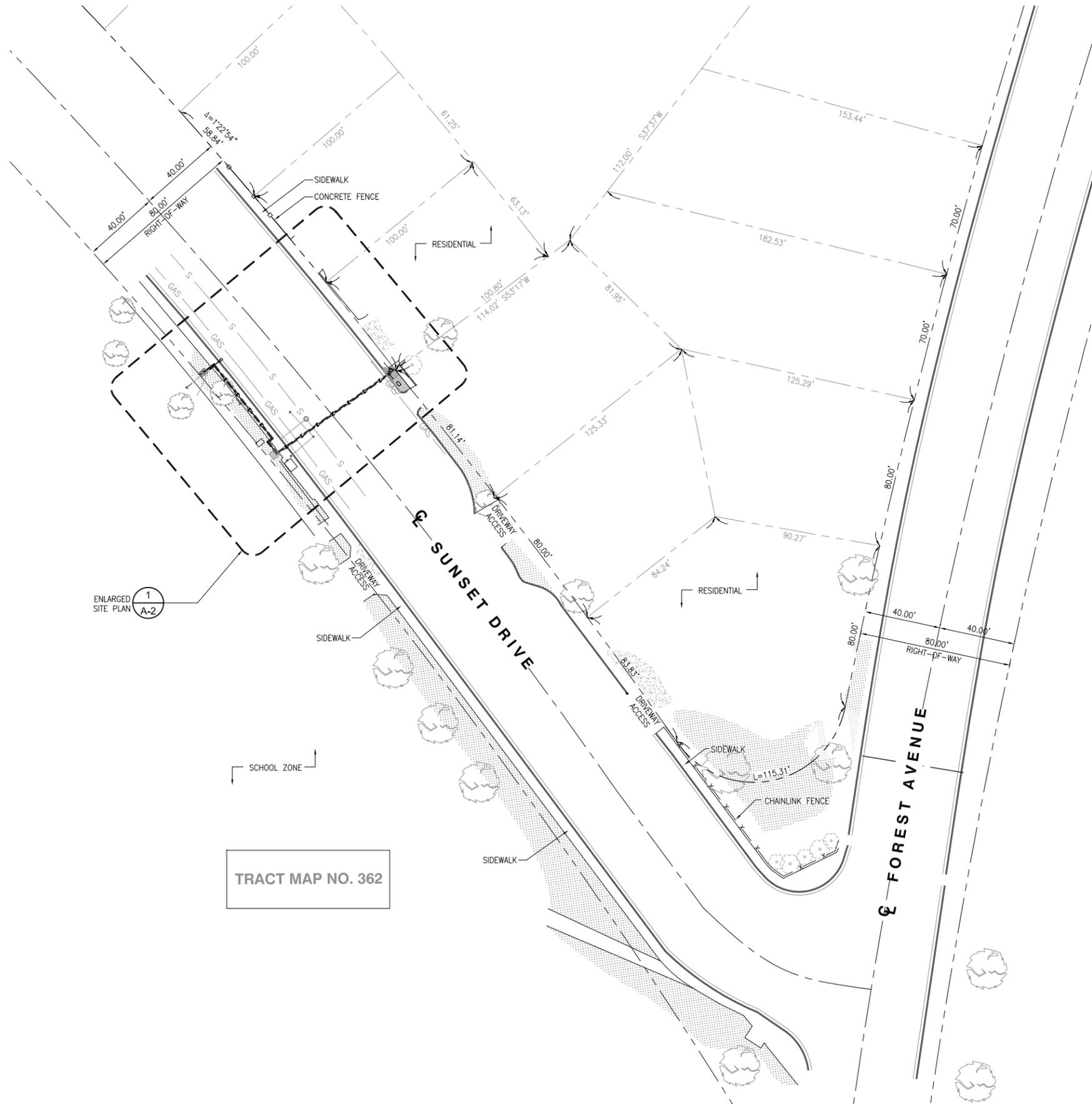


TRACT MAP NO. 362



**SITE NOTES:**

1. REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWINGS SHALL NOT BE USED TO IDENTIFY OR ESTABLISH BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE CIVIL SURVEY. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT/ENGINEER.
2. CONTRACTOR TO VERIFY LOCAL UTILITY REQUIREMENTS FOR DEPTH, SIZES, AND SEPARATION OF CONDUITS PRIOR TO INSTALLATION. NOTIFY CONSTRUCTION MANAGER IMMEDIATELY OF ANY DISCREPANCIES.
3. PROPOSED UTILITY SERVICES SHOWN NEED TO BE VERIFIED AND APPROVED BY UTILITY COMPANIES BEFORE START OF CONSTRUCTION. CONTRACTOR TO VERIFY WITH CLIENT PROJECT MANAGER TO OBTAIN FINAL APPROVAL.
4. VERIFY, LOCATE, AND PROTECT ALL EXISTING SUBSTRUCTURES AS REQUIRED. CALL DIG ALERT @ (800) 227-2600 48 HOURS BEFORE ANY EXCAVATION. CONTRACTOR IS RESPONSIBLE TO HAVE ALL NON-PUBLIC UTILITIES LOCATED AT THEIR OWN EXPENSE.
5. LINES SHOWN DOES NOT REPRESENT THE EXACT LOCATION OF THE CONDUIT ROUTES. CONTRACTOR TO VERIFY SERVICE LOCATIONS W/ ACTUAL FIELD CONDITIONS.
6. CONTRACTOR SHALL IMMEDIATELY INFORM CLIENT OF ANY ACCIDENTAL DAMAGE TO EXISTING UTILITIES VIA PHONE OR EMAIL REGARDLESS OF ABILITY TO REPAIR OR MITIGATE. A FOLLOW-UP EMAIL REPORT WITH DIGITAL PHOTOS WILL BE REQUIRED DAILY UNTIL RESOLUTION HAS BEEN ACCEPTED BY CLIENT, AFFECTED SERVICE PROVIDERS, AND RECIPIENTS. AT THEIR OWN EXPENSE, CONTRACTOR WILL EXERCISE ALL EFFORTS TO HAVE REPAIRS MADE BY QUALIFIED TECHNICIANS AS APPROVED BY SERVICE PROVIDER.
7. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, BOTH HORIZONTAL AND VERTICALLY, PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE REFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE.
8. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
9. ANY DRAIN AND /OR FIELD TILE ENCOUNTERED/DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO IT'S ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON "AS-BUILT" DRAWINGS BY GENERAL CONTRACTOR, AND ISSUED TO THE ARCHITECT OR ENGINEER AT COMPLETION OF PROJECT.
10. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH THE CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
11. NEW CONDUITS SHALL BE INSTALLED IN TRENCH SUCH THAT THE TOP OF CONDUIT SHALL HAVE A MINIMUM COVER OF 24-INCHES BELOW ADJACENT EDGE OF PAVEMENT OR ORIGINAL GROUND, WHICHEVER IS LOWER IN ELEVATION.
12. ALL PULL BOXES SHALL BE PRECAST REINFORCED CONCRETE AND HAVE NON CONDUCTIVE LIDS. EXISTING PULL BOX COVERS THAT ARE MARKED INCORRECTLY SHALL BE REPLACED.
13. REGRADE LANDSCAPING AS NEEDED AND REPLACE DAMAGED IRRIGATION LINES WITHIN 24 HOURS.



| REV | DATE       | DESCRIPTION          |
|-----|------------|----------------------|
| 5   | 05/31/2018 | EQUIPMENT REDESIGN   |
| 4   | 03/07/2018 | CITY COMMENTS        |
| 3   | 09/15/2017 | CITY COMMENTS        |
| 2   | 06/13/2017 | 100% ZONING DRAWINGS |
| 1   | 05/08/2017 | 90% ZONING DRAWINGS  |

ISSUED DATE: **MAY 31, 2018**

ISSUED FOR: **PLANNING**

LICENSURE:

PROJECT INFORMATION:  
PACIFIC GROVE HS SC1  
LOCATION CODE: 425598  
ROW IN FRONT OF 618  
SUNSET DRIVE  
PACIFIC GROVE, CA 93950

DRAWN BY: MAM  
CHECKED BY: FO

SHEET TITLE: **SITE PLAN**

SHEET NUMBER: **A-1**

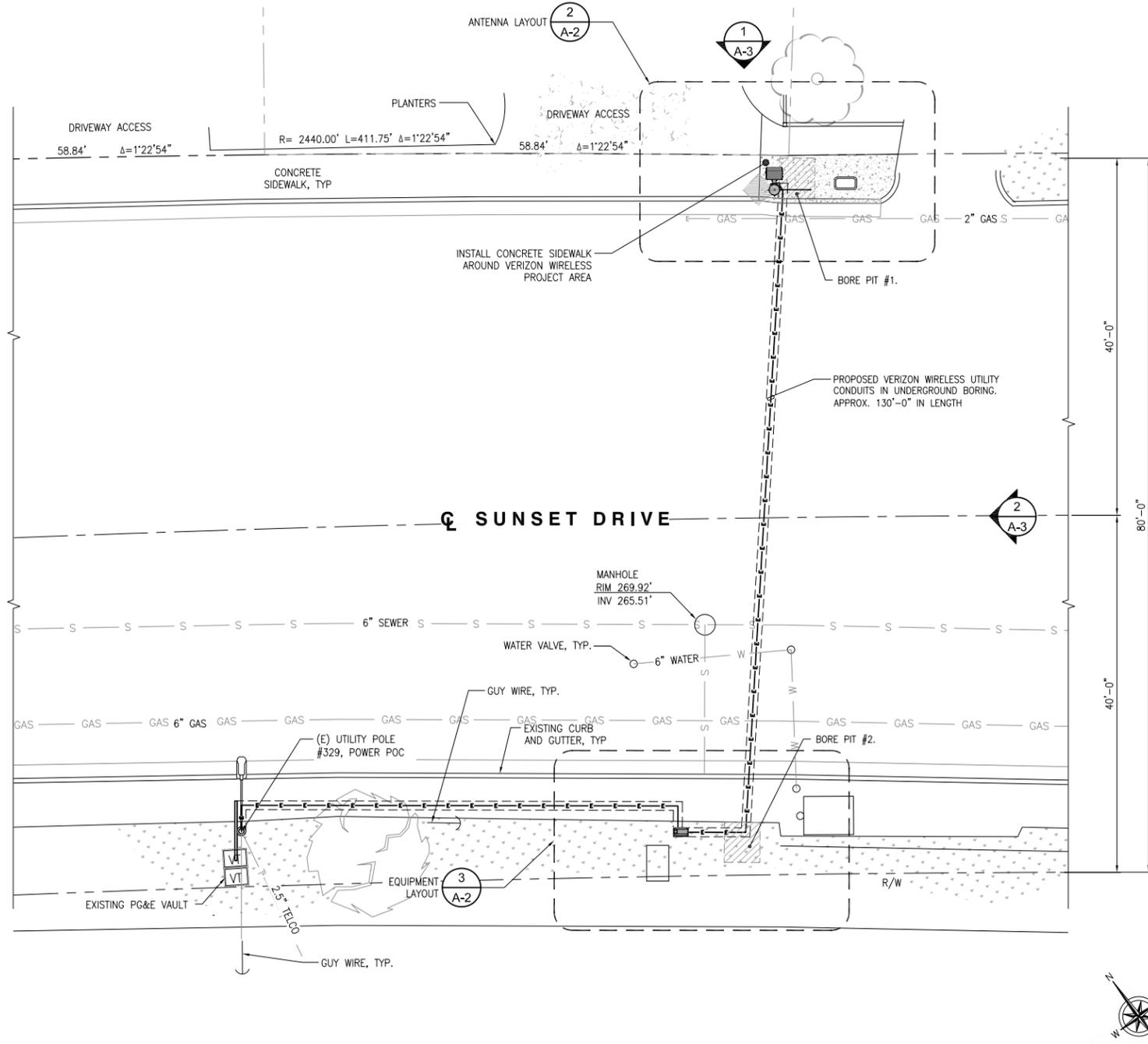
**CONSTRUCTION NOTES:**

- METER SHALL NOT FACE THE STREET, ALLEY, OR PROPERTY SIDE OF THE POLE.
- METER BASE AND DISCONNECT SHALL BE BONDED TO A SEPARATE GROUND FROM THE POLE GROUND WITH CONDUCTOR HAVING A CURRENT CAPACITY THAN NO LESS THAN #6 SOLID COPPER CONDUCTOR.
- CONDUIT MAY BE MOUNTED DIRECTLY TO THE POLE OR U-GUARD MAY BE USED IF THE POLE IS WITHIN 15' OF A BUCKET TRUCK ACCESSIBLE PAVED ROAD. IF NOT ACCESSIBLE AND THE CONDUIT IS GREATER THAN 1-1/2", THE CONDUIT IS TO BE MOUNTED WITH A STANDOFF BRACKET THAT PROVIDES 7" CLEARANCE FROM THE POLE TO THE CONDUIT.
- VERIFY AND RECORD ALL TIES AND FOOTAGES IN FIELD PER FINAL AS-BUILT CONDITIONS.
- PROVIDE ADEQUATE WORKMAN PROTECTION ON WINDING NARROW ROADS OR HEAVY TRAFFIC.
- GROUNDS ARE TO BE TESTED-REQUIRES 5 OHMS OR LESS RESISTANCE.
- ALL LANDSCAPING TO BE RESTORED TO ORIGINAL CONDITION.
- NOTIFY PROPERTY OWNER BEFORE WORKING ON OR AROUND PRIVATE PROPERTY.
- OBTAIN SPECIAL PERMITS AND PAY FEES AS REQUIRED WORKING ON COUNTY HIGHWAY.

- MAINTAIN 36" MINIMUM COVER IN PARKWAY
- MAINTAIN 30" MINIMUM COVER BELOW GUTTER GRADE ON SURFACE STREETS.
- CONDUIT REQUIREMENTS:**
  - UNDERGROUND - SCHEDULE 40 PVC OR BETTER
  - RISERS - SCHEDULE 80 PVC
  - ALL CONDUITS WILL BE MANDRELED AND EQUIPPED WITH 3/8" PULL ROPE.
  - 2" GALVANIZED STEEL CONDUIT FOR ANY CONDUIT UNDER 3", STUB UP 10' THEN CONVERT TO SCHEDULE 80.
  - CONTRACTOR TO STUB UP POLE 10" W/ 3" POWER CONDUIT. POWER COMPANY TO CONVERT FROM 3" STUB SCHEDULE 80 TO 2" SCHEDULE 80 FROM TOP OF STUB UP.
- NOTE:** WHERE MINIMUM COVER OF 36" CANNOT BE OBTAINED, REPLACED PVC WITH 2" GALVANIZED STEEL CONDUIT, GALVANIZED STEEL CONDUIT MUST BE MINIMUM OF 10'-0" IN LENGTH BEFORE CONVERTING BACK TO PVC.
- GROUND REQUIREMENTS:**
  - 5/8" ROD-10' LENGTH
  - GROUND TESTED AT 5 OHMS OR LESS
  - #2 GROUND WIRE
  - WOOD MOLDING, STAPLED TO POLE EVERY 2'-0" AT EACH END
  - GROUND RODS MUST BE 24" FROM POLE AND THE TOP OF ROD MUST BE BELOW GRADE LEVEL.

**UNDERGROUND UTILITIES NOTE:**

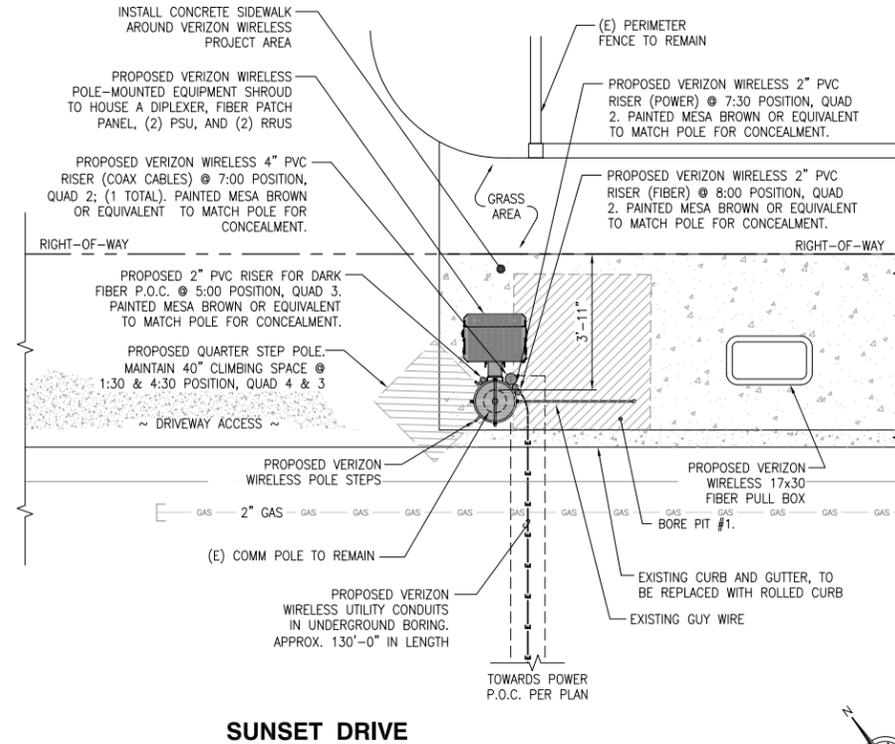
ALL EXISTING SUB-SURFACE UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON THE PLAN HAVE BEEN PLOTTED FROM FIELD SURVEY AND/OR AVAILABLE RECORDS, THE ARCHITECT/ ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR THE ACCURACY OF THE INFORMATION SHOWN ON THE PLANS, OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTORS SHALL BE RESPONSIBLE FOR THE DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTORS SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING UTILITIES. THERE MAY BE EXISTING UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINE SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.



ENLARGED SITE PLAN

24"x36" SCALE: 1/8" = 1'-0"  
11"x17" SCALE: 1/16" = 1'-0"  
8' 6' 4' 2' 0' 8'

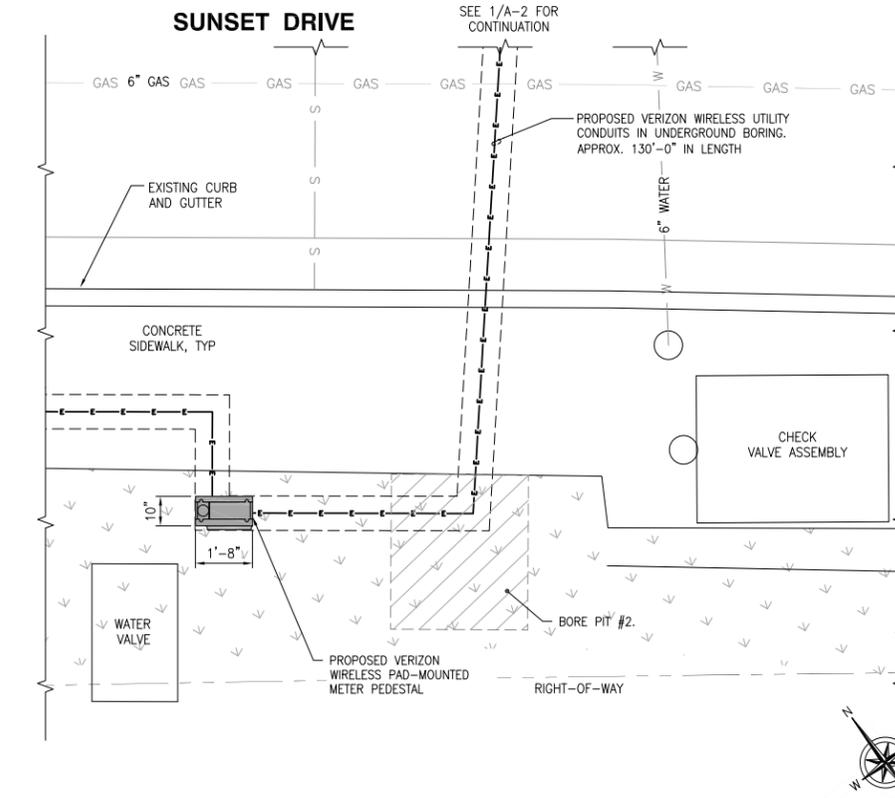
1



ANTENNA LAYOUT

24"x36" SCALE: 3/8" = 1'-0"  
11"x17" SCALE: 3/16" = 1'-0"  
2' 1' 0' 2'

2



EQUIPMENT LAYOUT

24"x36" SCALE: 3/8" = 1'-0"  
11"x17" SCALE: 3/16" = 1'-0"  
2' 1' 0' 2'

3

**ATTACHMENT D  
OPTION 1.B**



2785 MITCHELL DRIVE, BLDG. 9  
WALNUT CREEK, CA 94598



| REV | DATE       | DESCRIPTION          |
|-----|------------|----------------------|
| 5   | 05/31/2018 | EQUIPMENT REDESIGN   |
| 4   | 03/07/2018 | CITY COMMENTS        |
| 3   | 09/15/2017 | CITY COMMENTS        |
| 2   | 06/13/2017 | 100% ZONING DRAWINGS |
| 1   | 05/08/2017 | 90% ZONING DRAWINGS  |

ISSUED DATE:  
**MAY 31, 2018**

ISSUED FOR:  
**PLANNING**

LICENSURE:

PROJECT INFORMATION:  
PACIFIC GROVE HS SC1  
LOCATION CODE: 425598  
ROW IN FRONT OF 618  
SUNSET DRIVE  
PACIFIC GROVE, CA 93950

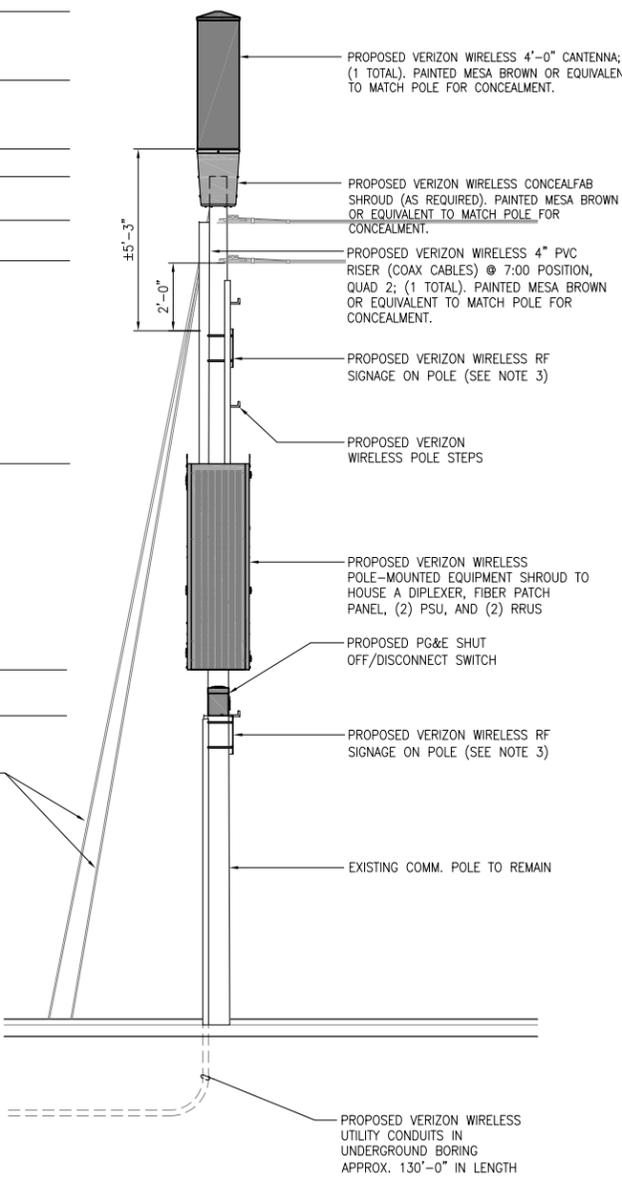
DRAWN BY: MAM  
CHECKED BY: FO

SHEET TITLE:  
**ENLARGED SITE PLAN,  
EQUIPMENT AND  
ANTENNA LAYOUT**

SHEET NUMBER:  
**A-2**

- NOTES:**
1. THE NEW LAYOUT IS PRELIMINARY AND SUBJECT TO CHANGE PENDING FIELD DATA AND STRUCTURAL DESIGN.
  2. NEW ANTENNAS, EQUIPMENT, CONDUITS & ALL HARDWARE SHOULD BE PAINTED BROWN FOR CONCEALMENT AS NECESSARY.
  3. RF SIGNAGES TO BE PLACED IN CLIMBING AREA AND STREET SIDE PER VZW/FCC STANDARDS.

- TOP OF PROPOSED CYLINDRICAL ANTENNA  
ELEV. = ±29'-6" A.G.L.
- RAD CENTER OF PROPOSED CYLINDRICAL ANTENNA  
ELEV. = ±27'-6" A.G.L.
- BOTTOM OF PROPOSED CYLINDRICAL ANTENNA  
ELEV. = ±25'-6" A.G.L.
- TOP OF EXISTING POLE  
ELEV. = ±24'-8" A.G.L.
- EXISTING COMM. LINE  
ELEV. = ±23'-7" A.G.L.
- EXISTING COMM. LINE  
ELEV. = ±22'-3" A.G.L.
- TOP OF PROPOSED VZW EQUIPMENT SHROUD  
ELEV. = ±16'-4" A.G.L.
- BOTTOM OF PROPOSED VZW EQUIPMENT SHROUD  
ELEV. = ±10'-4" A.G.L.
- BOTTOM OF PROPOSED DISCONNECT SWITCH  
ELEV. = ±9'-0" A.G.L.
- EXISTING GRADE LEVEL  
ELEV. = 0'-0" A.G.L.

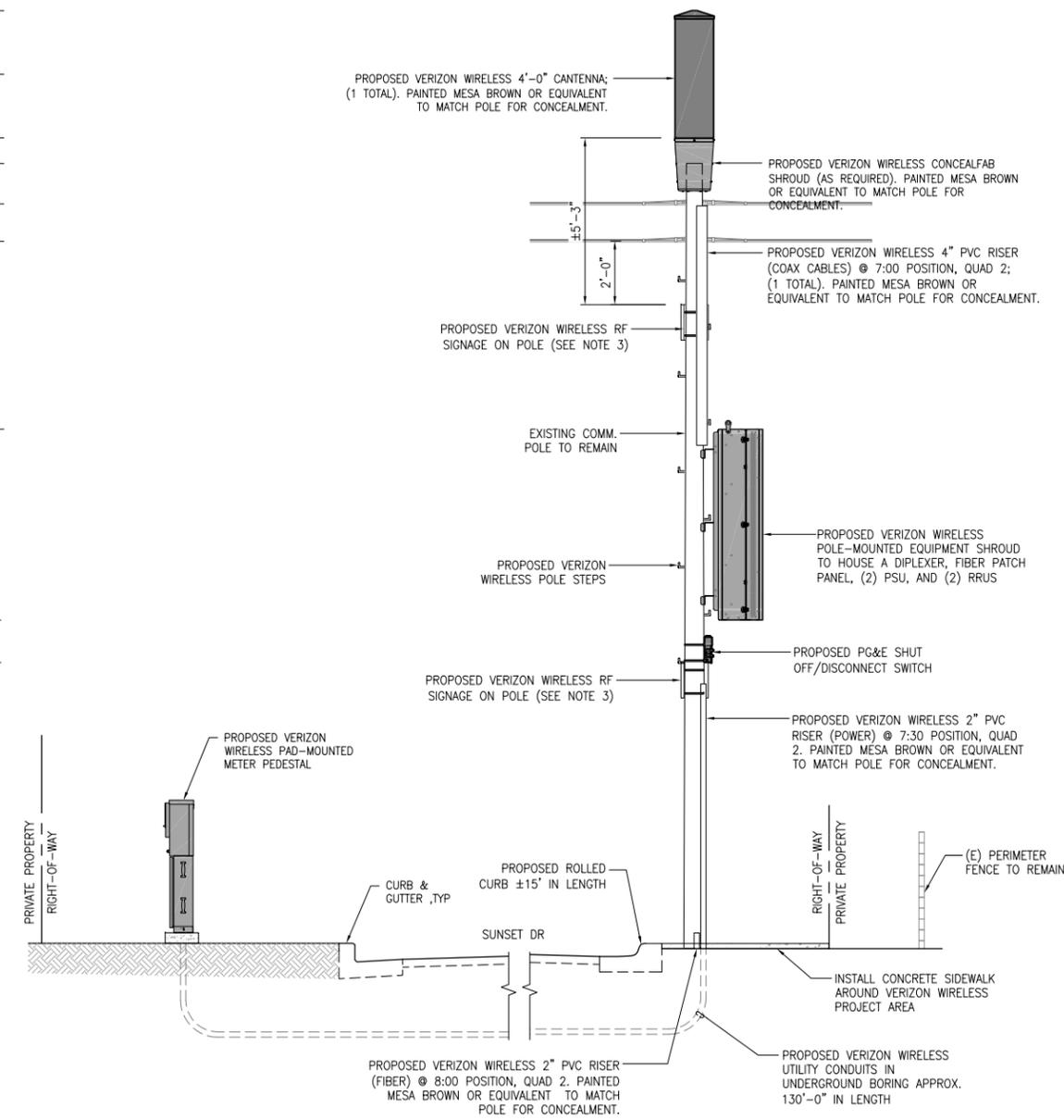


PROPOSED NORTHEAST ELEVATION

24"x36" SCALE: 3/8" = 1'-0"  
11"x17" SCALE: 3/16" = 1'-0"

- NOTES:**
1. THE NEW LAYOUT IS PRELIMINARY AND SUBJECT TO CHANGE PENDING FIELD DATA AND STRUCTURAL DESIGN.
  2. NEW ANTENNAS, EQUIPMENT, CONDUITS & ALL HARDWARE SHOULD BE PAINTED BROWN FOR CONCEALMENT AS NECESSARY.
  3. RF SIGNAGES TO BE PLACED IN CLIMBING AREA AND STREET SIDE PER VZW/FCC STANDARDS.

- TOP OF PROPOSED CYLINDRICAL ANTENNA  
ELEV. = ±29'-6" A.G.L.
- RAD CENTER OF PROPOSED CYLINDRICAL ANTENNA  
ELEV. = ±27'-6" A.G.L.
- BOTTOM OF PROPOSED CYLINDRICAL ANTENNA  
ELEV. = ±25'-6" A.G.L.
- TOP OF EXISTING POLE  
ELEV. = ±24'-8" A.G.L.
- EXISTING COMM. LINE  
ELEV. = ±23'-7" A.G.L.
- EXISTING COMM. LINE  
ELEV. = ±22'-3" A.G.L.
- TOP OF PROPOSED VZW EQUIPMENT SHROUD  
ELEV. = ±16'-4" A.G.L.
- BOTTOM OF PROPOSED VZW EQUIPMENT SHROUD  
ELEV. = ±10'-4" A.G.L.
- BOTTOM OF PROPOSED DISCONNECT SWITCH  
ELEV. = ±9'-0" A.G.L.
- TOP OF PROPOSED METER PEDESTAL  
ELEV. = 4'-6" A.G.L.
- EXISTING GRADE LEVEL  
ELEV. = 0'-0" A.G.L.



PROPOSED SOUTHEAST ELEVATION

24"x36" SCALE: 3/8" = 1'-0"  
11"x17" SCALE: 3/16" = 1'-0"

**ATTACHMENT D  
OPTION 1.B**



| REV | DATE       | DESCRIPTION          |
|-----|------------|----------------------|
| 5   | 05/31/2018 | EQUIPMENT REDESIGN   |
| 4   | 03/07/2018 | CITY COMMENTS        |
| 3   | 09/15/2017 | CITY COMMENTS        |
| 2   | 06/13/2017 | 100% ZONING DRAWINGS |
| 1   | 05/08/2017 | 90% ZONING DRAWINGS  |

ISSUED DATE:  
**MAY 31, 2018**

ISSUED FOR:  
**PLANNING**

LICENSURE:

PROJECT INFORMATION:  
**PACIFIC GROVE HS SC1  
LOCATION CODE: 425598  
ROW IN FRONT OF 618  
SUNSET DRIVE  
PACIFIC GROVE, CA 93950**

DRAWN BY: MAM  
CHECKED BY: FO

SHEET TITLE:  
**ARCHITECTURAL  
ELEVATIONS**

SHEET NUMBER:  
**A-3**

**Verizon Wireless • Proposed Base Station (Site No. 425598 “Pacific Grove HS SC1”)  
615 Sunset Drive • Pacific Grove, California**

**Statement of Hammett & Edison, Inc., Consulting Engineers**

The firm of Hammett & Edison, Inc., Consulting Engineers, has been retained on behalf of Verizon Wireless, a personal wireless telecommunications carrier, to evaluate the base station (Site No. 425598 “Pacific Grove HS SC1”) proposed to be located at 615 Sunset Drive in Pacific Grove, California, for compliance with appropriate guidelines limiting human exposure to radio frequency (“RF”) electromagnetic fields.

**Executive Summary**

Verizon proposes to install a cylindrical antenna on top of a new steel pole to be sited at 615 Sunset Drive in Pacific Grove. The proposed operation will comply with the FCC guidelines limiting public exposure to RF energy.

**Prevailing Exposure Standards**

The U.S. Congress requires that the Federal Communications Commission (“FCC”) evaluate its actions for possible significant impact on the environment. A summary of the FCC’s exposure limits is shown in Figure 1. These limits apply for continuous exposures and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health. The most restrictive FCC limit for exposures of unlimited duration to radio frequency energy for several personal wireless services are as follows:

| Wireless Service                   | Frequency Band | Occupational Limit      | Public Limit            |
|------------------------------------|----------------|-------------------------|-------------------------|
| Microwave (Point-to-Point)         | 5–80 GHz       | 5.00 mW/cm <sup>2</sup> | 1.00 mW/cm <sup>2</sup> |
| WiFi (and unlicensed uses)         | 2–6            | 5.00                    | 1.00                    |
| BRS (Broadband Radio)              | 2,600 MHz      | 5.00                    | 1.00                    |
| WCS (Wireless Communication)       | 2,300          | 5.00                    | 1.00                    |
| AWS (Advanced Wireless)            | 2,100          | 5.00                    | 1.00                    |
| PCS (Personal Communication)       | 1,950          | 5.00                    | 1.00                    |
| Cellular                           | 870            | 2.90                    | 0.58                    |
| SMR (Specialized Mobile Radio)     | 855            | 2.85                    | 0.57                    |
| 700 MHz                            | 700            | 2.40                    | 0.48                    |
| [most restrictive frequency range] | 30–300         | 1.00                    | 0.20                    |

**General Facility Requirements**

Base stations typically consist of two distinct parts: the electronic transceivers (also called “radios” or “channels”) that are connected to the traditional wired telephone lines, and the passive antennas that send the wireless signals created by the radios out to be received by individual subscriber units. The transceivers are often located at ground level and are connected to the antennas by coaxial cables. A small antenna for reception of GPS signals is also required, mounted with a clear view of the sky.

**Verizon Wireless • Proposed Base Station (Site No. 425598 “Pacific Grove HS SC1”)  
615 Sunset Drive • Pacific Grove, California**

Because of the short wavelength of the frequencies assigned by the FCC for wireless services, the antennas require line-of-sight paths for their signals to propagate well and so are installed at some height above ground. The antennas are designed to concentrate their energy toward the horizon, with very little energy wasted toward the sky or the ground. This means that it is generally not possible for exposure conditions to approach the maximum permissible exposure limits without being physically very near the antennas.

**Computer Modeling Method**

The FCC provides direction for determining compliance in its Office of Engineering and Technology Bulletin No. 65, “Evaluating Compliance with FCC-Specified Guidelines for Human Exposure to Radio Frequency Radiation,” dated August 1997. Figure 2 describes the calculation methodologies, reflecting the facts that a directional antenna’s radiation pattern is not fully formed at locations very close by (the “near-field” effect) and that at greater distances the power level from an energy source decreases with the square of the distance from it (the “inverse square law”). The conservative nature of this method for evaluating exposure conditions has been verified by numerous field tests.

**Site and Facility Description**

Based upon information provided by Verizon, including zoning drawings by Cellsius Engineering Group, dated May 31, 2018, it is proposed to install one Amphenol Model CUUT070X12F cylindrical tri-directional antenna, with one direction activated, on top of a new 25-foot steel pole to be sited in the public right-of-way on the southwest side of Sunset Drive in Pacific Grove, alongside Pacific Grove High School, located at 615 Sunset Drive. The antenna would employ no downtilt, would be mounted at an effective height of about 27½ feet above ground, and would be oriented with its active direction toward 180°T. The maximum effective radiated power in that direction would be 4,070 watts, representing simultaneous operation at 2,150 watts for AWS and 1,920 watts for PCS service. There are reported no other wireless telecommunications base stations at the site or nearby.

**Study Results**

For a person anywhere at ground, the maximum RF exposure level due to the proposed Verizon operation is calculated to be 0.017 mW/cm<sup>2</sup>, which is 1.7% of the applicable public exposure limit. The maximum calculated level at the second-floor elevation of any building on the school campus\* is 3.1% of the public exposure limit. The maximum calculated level at the second-floor elevation of any nearby residence† is 0.0087% of the public exposure limit. It should be noted that these results include

---

\* Located at least 45 feet away, based on review of photographs from Google Maps.

† Located at least 90 feet away, based on review of photographs from Google Maps.

**Verizon Wireless • Proposed Base Station (Site No. 425598 “Pacific Grove HS SC1”)  
615 Sunset Drive • Pacific Grove, California**

several “worst-case” assumptions and therefore are expected to overstate actual power density levels from the proposed operation.

**No Recommended Mitigation Measures**

Due to its mounting location and height, the Verizon antenna would not be accessible to unauthorized persons, and so no mitigation measures are necessary to comply with the FCC public exposure guidelines. It is presumed that Verizon will, as an FCC licensee, take adequate steps to ensure that its employees or contractors receive appropriate training and comply with FCC occupational exposure guidelines whenever work is required near the antenna itself.

**Conclusion**

Based on the information and analysis above, it is the undersigned’s professional opinion that operation of the base station proposed by Verizon Wireless at 615 Sunset Drive in Pacific Grove, California, will comply with the prevailing standards for limiting public exposure to radio frequency energy and, therefore, will not for this reason cause a significant impact on the environment. The highest calculated level in publicly accessible areas is much less than the prevailing standards allow for exposures of unlimited duration. This finding is consistent with measurements of actual exposure conditions taken at other operating base stations.

**Authorship**

The undersigned author of this statement is a qualified Professional Engineer, holding California Registration Nos. E-13026 and M-20676, which expire on June 30, 2019. This work has been carried out under his direction, and all statements are true and correct of his own knowledge except, where noted, when data has been supplied by others, which data he believes to be correct.

June 20, 2018



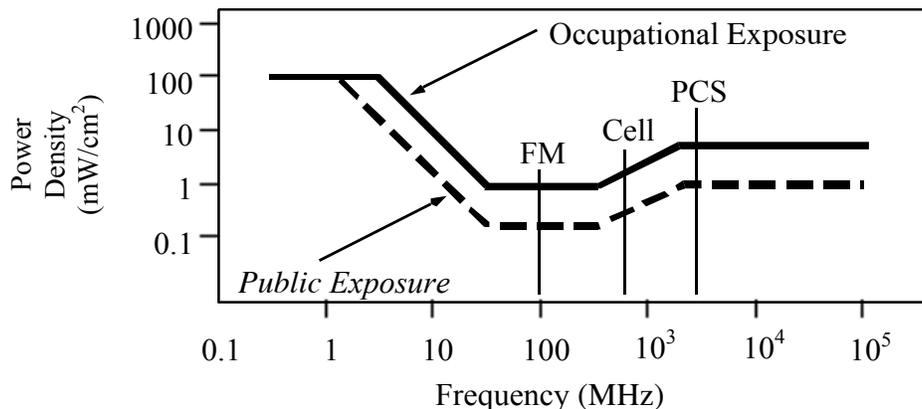
*William F. Hammett*  
William F. Hammett, P.E.  
707/996-5200

## FCC Radio Frequency Protection Guide

The U.S. Congress required (1996 Telecom Act) the Federal Communications Commission (“FCC”) to adopt a nationwide human exposure standard to ensure that its licensees do not, cumulatively, have a significant impact on the environment. The FCC adopted the limits from Report No. 86, “Biological Effects and Exposure Criteria for Radiofrequency Electromagnetic Fields,” published in 1986 by the Congressionally chartered National Council on Radiation Protection and Measurements (“NCRP”). Separate limits apply for occupational and public exposure conditions, with the latter limits generally five times more restrictive. The more recent standard, developed by the Institute of Electrical and Electronics Engineers and approved as American National Standard ANSI/IEEE C95.1-2006, “Safety Levels with Respect to Human Exposure to Radio Frequency Electromagnetic Fields, 3 kHz to 300 GHz,” includes similar limits. These limits apply for continuous exposures from all sources and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health.

As shown in the table and chart below, separate limits apply for occupational and public exposure conditions, with the latter limits (in *italics* and/or dashed) up to five times more restrictive:

| Frequency<br>Applicable<br>Range<br>(MHz) | Electromagnetic Fields (f is frequency of emission in MHz) |                |                                     |               |  |                          |
|---|--|----------------|-------------------------------------|---------------|--|--------------------------|
|   | Electric<br>Field Strength<br>(V/m)                        |                | Magnetic<br>Field Strength<br>(A/m) |               | Equivalent Far-Field<br>Power Density<br>(mW/cm <sup>2</sup> ) |                          |
| 0.3 – 1.34                                | 614  | <i>614</i>     | 1.63                                | <i>1.63</i>   | 100  | <i>100</i>               |
| 1.34 – 3.0                                | 614  | <i>823.8/f</i> | 1.63                                | <i>2.19/f</i> | 100  | <i>180/f<sup>2</sup></i> |
| 3.0 – 30                                  | 1842/f   | <i>823.8/f</i> | 4.89/f                              | <i>2.19/f</i> | 900/f <sup>2</sup>   | <i>180/f<sup>2</sup></i> |
| 30 – 300                                  | 61.4   | <i>27.5</i>    | 0.163                               | <i>0.0729</i> | 1.0  | <i>0.2</i>               |
| 300 – 1,500                               | 3.54√f   | <i>1.59√f</i>  | √f/106                              | <i>√f/238</i> | f/300  | <i>f/1500</i>            |
| 1,500 – 100,000                           | 137  | <i>61.4</i>    | 0.364                               | <i>0.163</i>  | 5.0  | <i>1.0</i>               |



Higher levels are allowed for short periods of time, such that total exposure levels averaged over six or thirty minutes, for occupational or public settings, respectively, do not exceed the limits, and higher levels also are allowed for exposures to small areas, such that the spatially averaged levels do not exceed the limits. However, neither of these allowances is incorporated in the conservative calculation formulas in the FCC Office of Engineering and Technology Bulletin No. 65 (August 1997) for projecting field levels. Hammett & Edison has built those formulas into a proprietary program that calculates, at each location on an arbitrary rectangular grid, the total expected power density from any number of individual radio sources. The program allows for the description of buildings and uneven terrain, if required to obtain more accurate projections.



## RFR.CALC™ Calculation Methodology

## Assessment by Calculation of Compliance with FCC Exposure Guidelines

The U.S. Congress required (1996 Telecom Act) the Federal Communications Commission (“FCC”) to adopt a nationwide human exposure standard to ensure that its licensees do not, cumulatively, have a significant impact on the environment. The maximum permissible exposure limits adopted by the FCC (see Figure 1) apply for continuous exposures from all sources and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health. Higher levels are allowed for short periods of time, such that total exposure levels averaged over six or thirty minutes, for occupational or public settings, respectively, do not exceed the limits.

**Near Field.**

Prediction methods have been developed for the near field zone of panel (directional) and whip (omnidirectional) antennas, typical at wireless telecommunications base stations, as well as dish (aperture) antennas, typically used for microwave links. The antenna patterns are not fully formed in the near field at these antennas, and the FCC Office of Engineering and Technology Bulletin No. 65 (August 1997) gives suitable formulas for calculating power density within such zones.

For a panel or whip antenna, power density  $S = \frac{180}{\theta_{BW}} \times \frac{0.1 \times P_{net}}{\pi \times D \times h}$ , in mW/cm<sup>2</sup>,

and for an aperture antenna, maximum power density  $S_{max} = \frac{0.1 \times 16 \times \eta \times P_{net}}{\pi \times h^2}$ , in mW/cm<sup>2</sup>,

- where  $\theta_{BW}$  = half-power beamwidth of the antenna, in degrees, and  
 $P_{net}$  = net power input to the antenna, in watts,  
 $D$  = distance from antenna, in meters,  
 $h$  = aperture height of the antenna, in meters, and  
 $\eta$  = aperture efficiency (unitless, typically 0.5-0.8).

The factor of 0.1 in the numerators converts to the desired units of power density.

**Far Field.**

OET-65 gives this formula for calculating power density in the far field of an individual RF source:

$$\text{power density } S = \frac{2.56 \times 1.64 \times 100 \times RFF^2 \times ERP}{4 \times \pi \times D^2}, \text{ in mW/cm}^2,$$

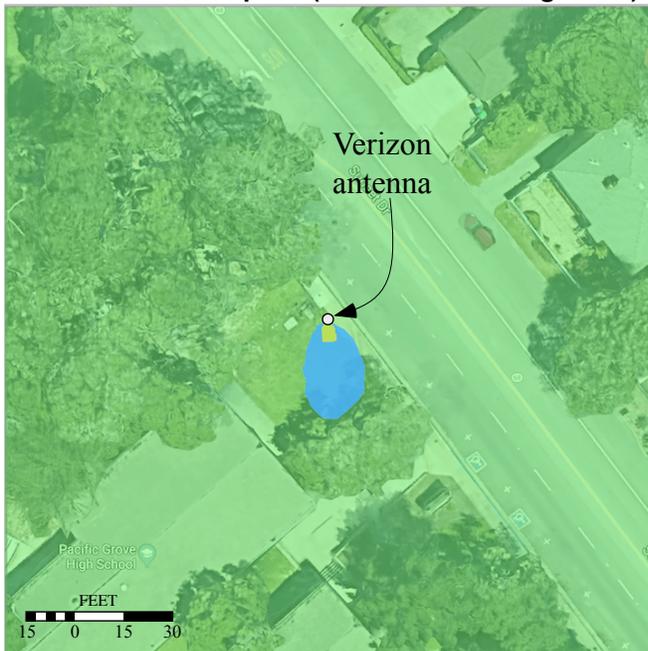
- where ERP = total ERP (all polarizations), in kilowatts,  
RFF = relative field factor at the direction to the actual point of calculation, and  
 $D$  = distance from the center of radiation to the point of calculation, in meters.

The factor of 2.56 accounts for the increase in power density due to ground reflection, assuming a reflection coefficient of 1.6 (1.6 x 1.6 = 2.56). The factor of 1.64 is the gain of a half-wave dipole relative to an isotropic radiator. The factor of 100 in the numerator converts to the desired units of power density. This formula has been built into a proprietary program that calculates, at each location on an arbitrary rectangular grid, the total expected power density from any number of individual radiation sources. The program also allows for the description of uneven terrain in the vicinity, to obtain more accurate projections.

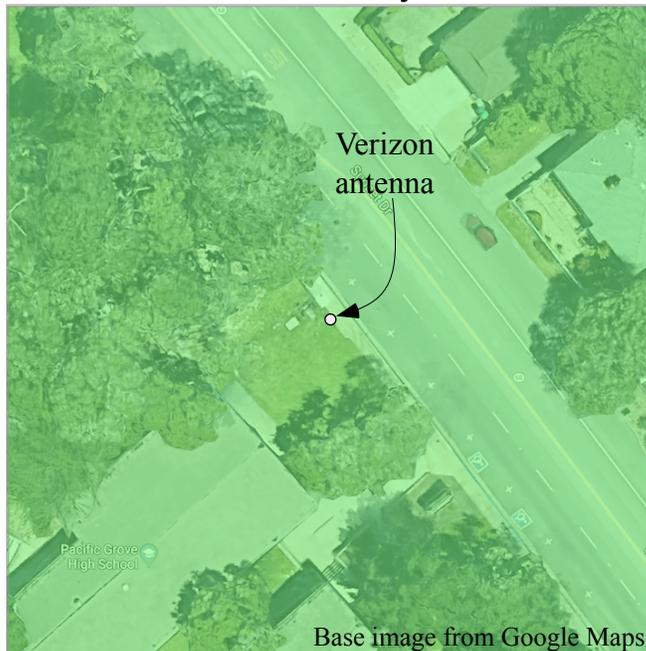
Verizon Wireless • Proposed Base Station (Site No. 425598 “Pacific Grove HS SC1”)  
615 Sunset Drive • Pacific Grove, California

Calculated RF Exposure Levels

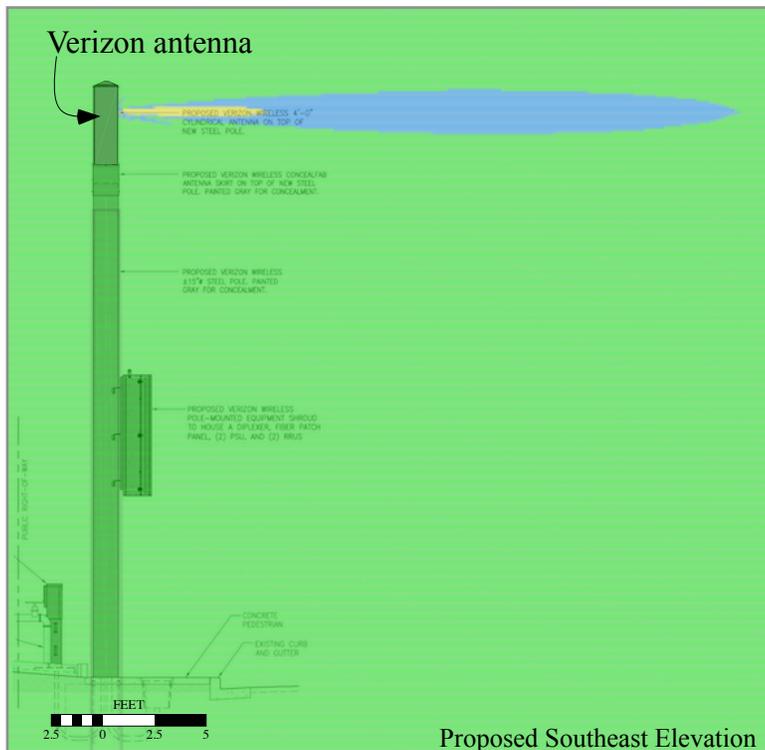
in Immediate Airspace (26–29 feet above ground)



at Ground and at Nearby Homes



View from Side



**Legend:**

- less than FCC Public Limit
- greater than FCC Public Limit  
less than FCC Occupational Limit
- greater than FCC Occupational Limit

Notes: See report dated June 20, 2018.

Calculations performed according to  
OET Bulletin No. 65, August 1997.

Base drawing from Cellsius Engineering  
Group, dated May 31, 2018.





2785 MITCHELL DRIVE, BLDG. 9  
WALNUT CREEK, CA 94598



| REV | DATE       | DESCRIPTION  |
|-----|------------|--------------|
| 0   | 03/06/2017 | FINAL SURVEY |

ISSUED DATE:  
**MAR. 06, 2017**

ISSUED FOR:  
**FINAL SURVEY**

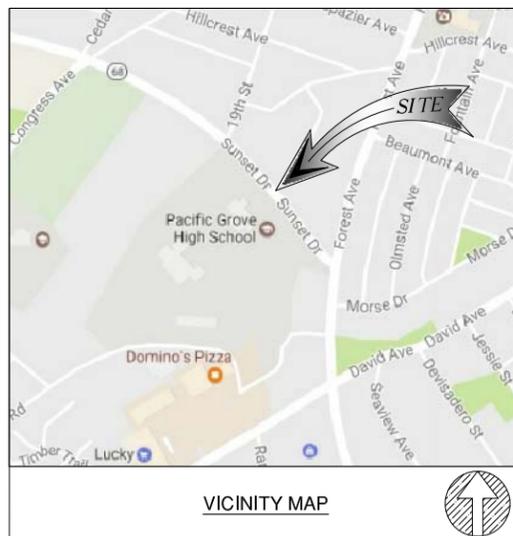
LICENSURE:

PROJECT INFORMATION:  
PACIFIC GROVE HS SC1  
LOCATION CODE: 425598  
ROW IN FRONT OF  
618 SUNSET DRIVE  
PACIFIC GROVE, CA 93950

DRAWN BY: ABR  
CHECKED BY: AJK

SHEET TITLE:  
**TOPOGRAPHIC SURVEY**

SHEET NUMBER:  
**LS-1**



**BASIS OF BEARING**

THE STATE PLANE COORDINATE SYSTEM 1983 (NAD 83), CALIFORNIA ZONE 4.

**BENCH MARK**

THE CALIFORNIA SPATIAL REFERENCE CENTER CRTN "P171"

**FLOOD ZONE**

SITE IS LOCATED IN FLOOD ZONE "X" AS PER F.I.R.M. MAP NO. 06053C0306G  
EFFECTIVE DATE 04/02/2009

**NOTES:**

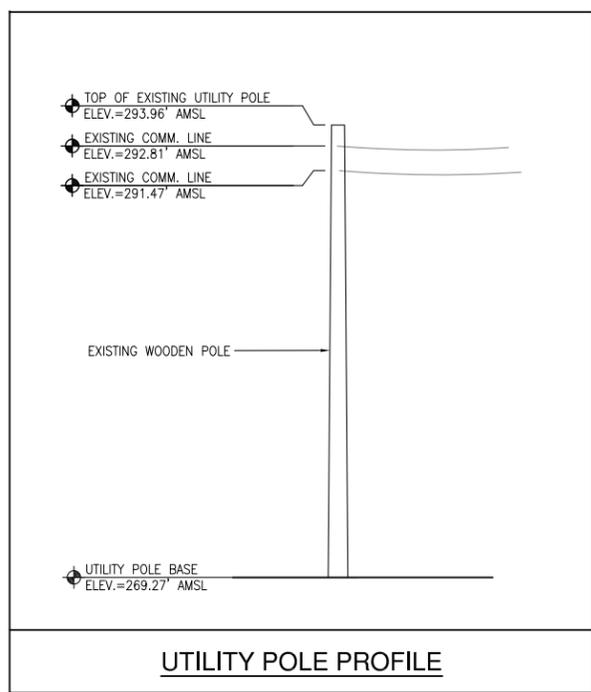
- THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP. THE PROPERTY LINES AND EASEMENTS SHOWN HEREON ARE FROM RECORD INFORMATION AS NOTED HEREON. CELLSIUS ENGINEERING GROUP TRANSLATED THE TOPOGRAPHIC SURVEY TO RECORD INFORMATION USING FOUND MONUMENTS SHOWN HEREON.
- THE HEIGHTS AND ELEVATIONS FOR THE TREES, BUSHES AND OTHER LIVING PLANTS SHOWN HEREON, SHOULD BE CONSIDERED APPROXIMATE (+/-) AND ONLY FOR THE DATE OF THIS SURVEY. THEY ARE PROVIDED AS A GENERAL REFERENCE AND SHOULD NOT BE USED FOR DESIGN PURPOSES.
- FIELD SURVEY COMPLETED ON FEBRUARY 25, 2017.

**LEGEND**

- CENTER LINE
- - - PROPERTY LINE
- x-x-x- CHAIN-LINK FENCE
- o-o-o- CONCRETE FENCE
- w-w-w- WOOD FENCE
- - - - - RETAINING WALL
- == EDGE OF PAVEMENT
  
- HT HEIGHT
- TC TOP OF CURB
- TW TOP OF WALL
- EG EXISTING GRADE
- FS FINISH SURFACE
- HH HAND HOLE
- JB JUNCTION BOX
- TR TRANSFORMER
- WM WATER METER
- CT CABINET
- VT VAULT
- PB PULL BOX
- MP METER PEDESTAL
- BW BACK WALK
- SS SANITARY SEWER MANHOLE
- SD STORMWATER DRAIN MANHOLE
- GV GAS VALVE
- WV WATER VALVE
- TM TELECOM MANHOLE
  
- o<sub>w</sub> WATER VALVE MANHOLE
- o<sub>f</sub> FIRE HYDRANT
- o<sub>v</sub> VAULT
- o<sub>sl</sub> PEDESTRIAN SIGNAL LIGHT
- o<sub>st</sub> EXISTING STREET LIGHT
- o<sub>ts</sub> EXISTING TRAFFIC SIGNAL
- o<sub>pp</sub> POWER POLE
- o<sub>es</sub> EXISTING SIGN
- o<sub>ga</sub> GUY WIRE ANCHOR
  
- o<sub>iq</sub> POLE IN QUESTION
- o<sub>t</sub> TREE
- o<sub>pt</sub> PINE TREE
- o<sub>b</sub> BUSH
- o<sub>pt</sub> PALM TREE
- o<sub>ec</sub> EXISTING CONCRETE
- o<sub>eg</sub> EXISTING GRASS/TURF

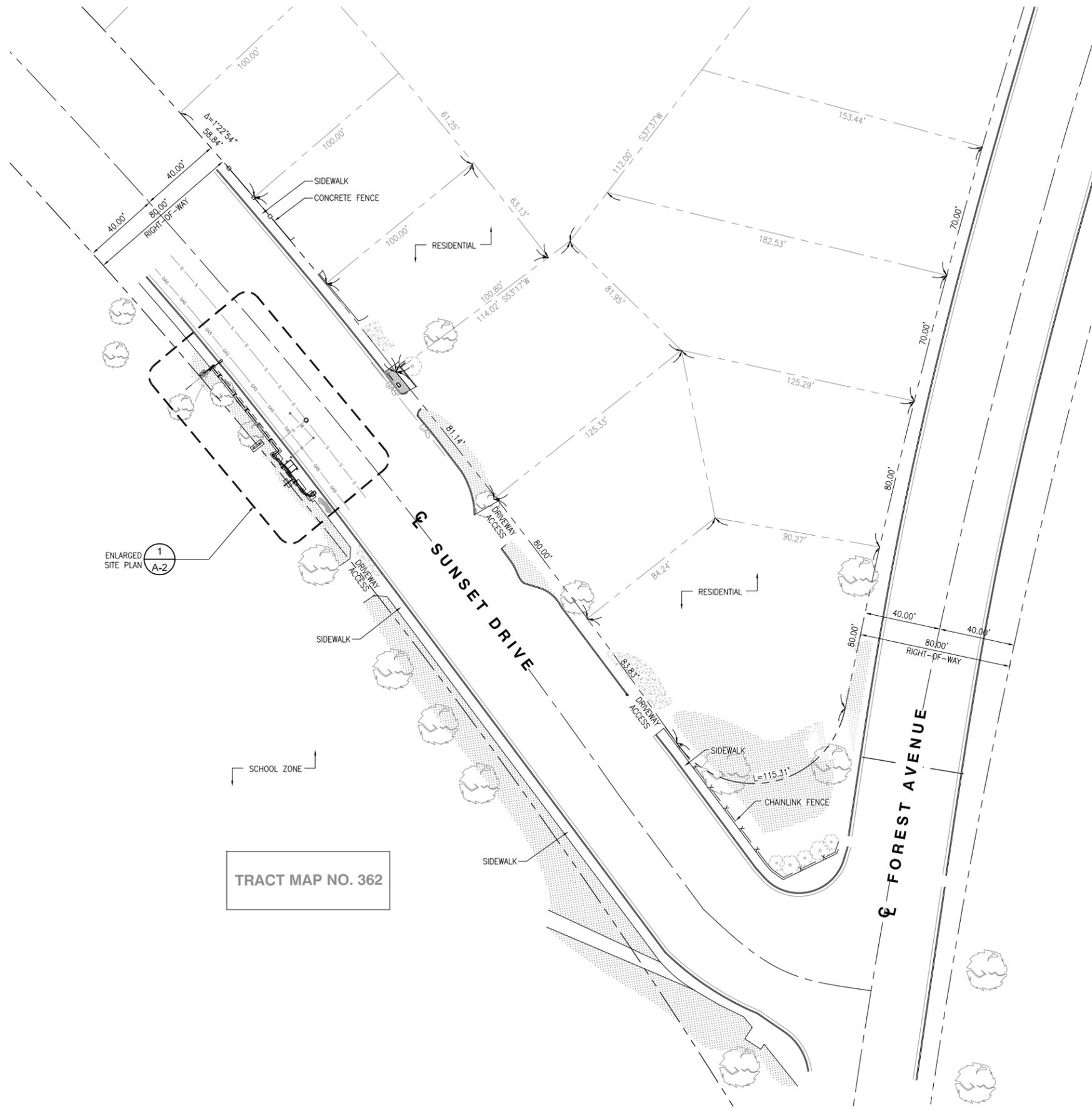
**MONUMENTS**

- o<sub>fd</sub> MONUMENT FD.
- o<sub>lat</sub> LATITUDE: 36°36'39.53"N
- o<sub>lon</sub> LONGITUDE: 121°55'24.58"W



**SITE NOTES:**

1. REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWINGS SHALL NOT BE USED TO IDENTIFY OR ESTABLISH BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE CIVIL SURVEY. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT/ENGINEER.
2. CONTRACTOR TO VERIFY LOCAL UTILITY REQUIREMENTS FOR DEPTH, SIZES, AND SEPARATION OF CONDUITS PRIOR TO INSTALLATION. NOTIFY CONSTRUCTION MANAGER IMMEDIATELY OF ANY DISCREPANCIES.
3. PROPOSED UTILITY SERVICES SHOWN NEED TO BE VERIFIED AND APPROVED BY UTILITY COMPANIES BEFORE START OF CONSTRUCTION. CONTRACTOR TO VERIFY WITH CLIENT PROJECT MANAGER TO OBTAIN FINAL APPROVAL.
4. VERIFY, LOCATE, AND PROTECT ALL EXISTING SUBSTRUCTURES AS REQUIRED. CALL DIG ALERT @ (800) 227-2600 48 HOURS BEFORE ANY EXCAVATION. CONTRACTOR IS RESPONSIBLE TO HAVE ALL NON-PUBLIC UTILITIES LOCATED AT THEIR OWN EXPENSE.
5. LINES SHOWN DOES NOT REPRESENT THE EXACT LOCATION OF THE CONDUIT ROUTES. CONTRACTOR TO VERIFY SERVICE LOCATIONS W/ ACTUAL FIELD CONDITIONS.
6. CONTRACTOR SHALL IMMEDIATELY INFORM CLIENT OF ANY ACCIDENTAL DAMAGE TO EXISTING UTILITIES VIA PHONE OR EMAIL REGARDLESS OF ABILITY TO REPAIR OR MITIGATE. A FOLLOW-UP EMAIL REPORT WITH DIGITAL PHOTOS WILL BE REQUIRED DAILY UNTIL RESOLUTION HAS BEEN ACCEPTED BY CLIENT, AFFECTED SERVICE PROVIDERS, AND RECIPIENTS. AT THEIR OWN EXPENSE, CONTRACTOR WILL EXERCISE ALL EFFORTS TO HAVE REPAIRS MADE BY QUALIFIED TECHNICIANS AS APPROVED BY SERVICE PROVIDER.
7. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, BOTH HORIZONTAL AND VERTICALLY, PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE REFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE.
8. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
9. ANY DRAIN AND /OR FIELD TILE ENCOUNTERED/DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO IT'S ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON "AS-BUILT" DRAWINGS BY GENERAL CONTRACTOR, AND ISSUED TO THE ARCHITECT OR ENGINEER AT COMPLETION OF PROJECT.
10. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH THE CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
11. NEW CONDUITS SHALL BE INSTALLED IN TRENCH SUCH THAT THE TOP OF CONDUIT SHALL HAVE A MINIMUM COVER OF 24-INCHES BELOW ADJACENT EDGE OF PAVEMENT OR ORIGINAL GROUND, WHICHEVER IS LOWER IN ELEVATION.
12. ALL PULL BOXES SHALL BE PRECAST REINFORCED CONCRETE AND HAVE NON CONDUCTIVE LIDS. EXISTING PULL BOX COVERS THAT ARE MARKED INCORRECTLY SHALL BE REPLACED.
13. REGRADE LANDSCAPING AS NEEDED AND REPLACE DAMAGED IRRIGATION LINES WITHIN 24 HOURS.



| REV | DATE       | DESCRIPTION          |
|-----|------------|----------------------|
| 6   | 06/07/2018 | REDESIGN OPTION      |
| 5   | 05/31/2018 | EQUIPMENT REDESIGN   |
| 4   | 03/07/2018 | CITY COMMENTS        |
| 3   | 09/15/2017 | CITY COMMENTS        |
| 2   | 06/13/2017 | 100% ZONING DRAWINGS |
| 1   | 05/08/2017 | 90% ZONING DRAWINGS  |

ISSUED DATE:  
**MAY 31, 2018**

ISSUED FOR:  
**PLANNING**

LICENSURE:

PROJECT INFORMATION:  
PACIFIC GROVE HS SC1  
LOCATION CODE: 425598  
ROW IN FRONT OF 615  
SUNSET DRIVE  
PACIFIC GROVE, CA 93950

DRAWN BY: MAM  
CHECKED BY: FO

SHEET TITLE:  
**SITE PLAN**

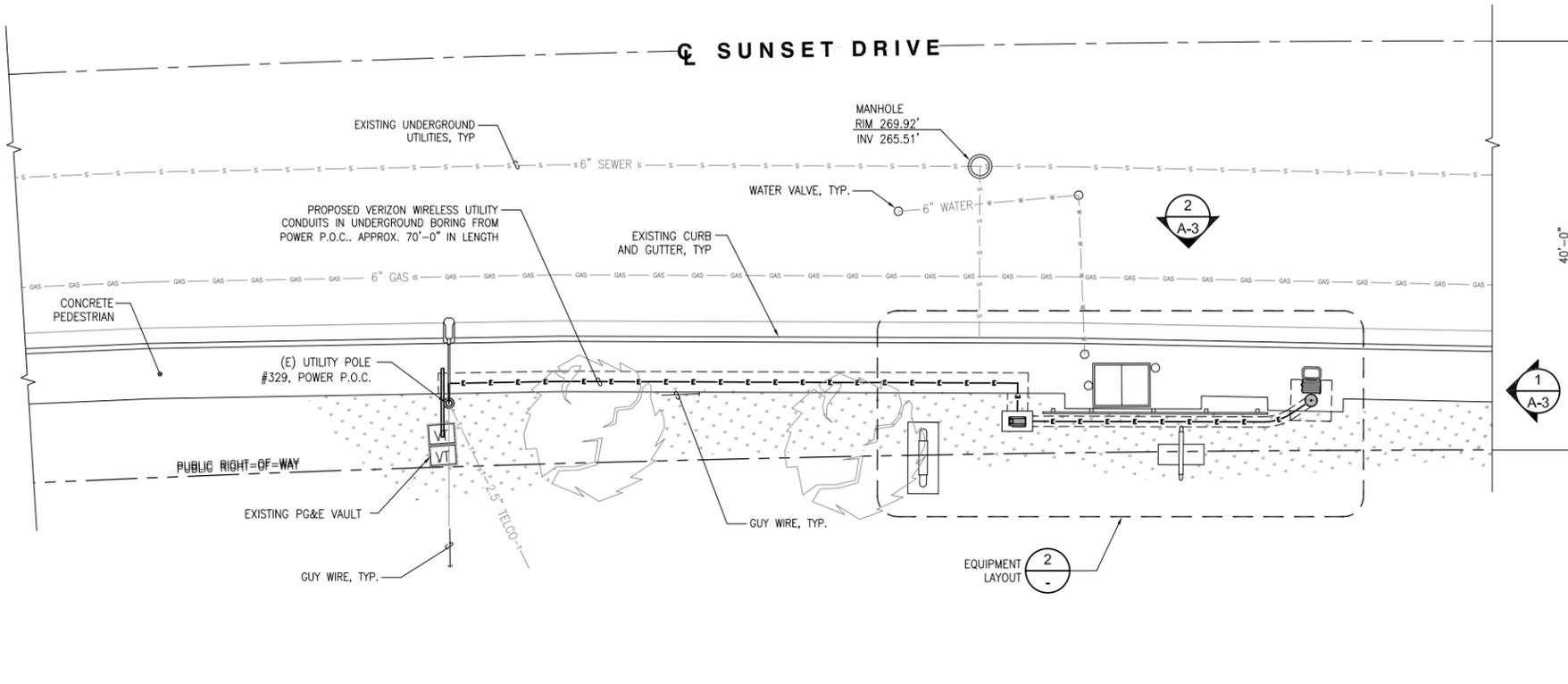
SHEET NUMBER:  
**A-1**

**CONSTRUCTION NOTES:**

- METER SHALL NOT FACE THE STREET, ALLEY, OR PROPERTY SIDE OF THE POLE.
- METER BASE AND DISCONNECT SHALL BE BONDED TO A SEPARATE GROUND FROM THE POLE GROUND WITH CONDUCTOR HAVING A CURRENT CAPACITY THAN NO LESS THAN #6 SOLID COPPER CONDUCTOR.
- VERIFY AND RECORD ALL TIES AND FOOTAGES IN FIELD PER FINAL AS-BUILT CONDITIONS.
- PROVIDE ADEQUATE WORKMAN PROTECTION ON WINDING NARROW ROADS OR HEAVY TRAFFIC.
- GROUNDS ARE TO BE TESTED-REQUIRES 5 OHMS OR LESS RESISTANCE.
- ALL LANDSCAPING TO BE RESTORED TO ORIGINAL CONDITION.
- NOTIFY PROPERTY OWNER BEFORE WORKING ON OR AROUND PRIVATE PROPERTY.
- OBTAIN SPECIAL PERMITS AND PAY FEES AS REQUIRED WORKING ON COUNTY HIGHWAY.
- MAINTAIN 36" MINIMUM COVER IN PARKWAY
- MAINTAIN 30" MINIMUM COVER BELOW GUTTER GRADE ON SURFACE STREETS.
- CONDUIT REQUIREMENTS:**
  - UNDERGROUND - SCHEDULE 40 PVC OR BETTER
  - RISERS - SCHEDULE 80 PVC
  - ALL CONDUITS WILL BE MANDELED AND EQUIPPED WITH 3/8" PULL ROPE.
  - 2" GALVANIZED STEEL CONDUIT FOR ANY CONDUIT UNDER 3', STUB UP 10" THEN CONVERT TO SCHEDULE 80.
- GROUND REQUIREMENTS:**
  - 5/8" ROD-10' LENGTH
  - GROUND TESTED AT 5 OHMS OR LESS
  - #2 GROUND WIRE
  - GROUND RODS MUST BE 24" FROM POLE AND THE TOP OF ROD MUST BE BELOW GRADE LEVEL.

**UNDERGROUND UTILITIES NOTE:**

ALL EXISTING SUB-SURFACE UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON THE PLAN HAVE BEEN PLOTTED FROM FIELD SURVEY AND/OR AVAILABLE RECORDS, THE ARCHITECT/ ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR THE ACCURACY OF THE INFORMATION SHOWN ON THE PLANS, OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTORS SHALL BE RESPONSIBLE FOR THE DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTORS SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING UTILITIES. THERE MAY BE EXISTING UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINE SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.

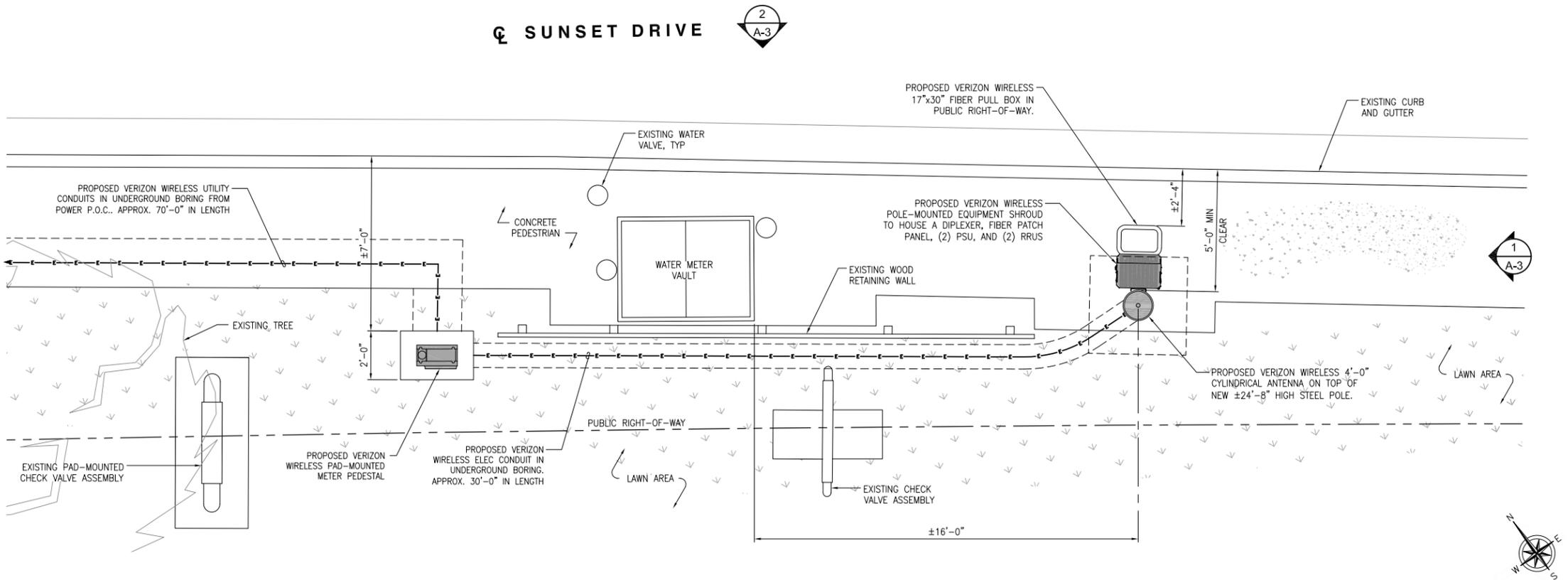


**ENLARGED SITE PLAN**

24"x36" SCALE: 1/8" = 1'-0"  
11"x17" SCALE: 1/16" = 1'-0"  
8' 6' 4' 2' 0' 8'

**NOTES:**

- CONTRACTOR TO PLACE SANDBAGS AROUND ANY/ALL STORM DRAIN INLETS TO PREVENT CONTAMINATED WATER.
- SPOILS PILE WILL BE COVERED AND CONTAINED AND STREET WILL BE SWEEPED AND CLEANED AS NEEDED.
- CONTRACTOR TO REPAIR DAMAGED PUBLIC IMPROVEMENTS TO THE SATISFACTION OF THE CITY ENGINEER.
- CURB & GUTTER TO BE PROTECTED IN PLACE. SIDEWALK TO BE REPLACED TO THE SATISFACTION OF THE CITY ENGINEER.
- THE CONTRACTOR SHALL RESTORE THE ROADWAY BACK TO ITS ORIGINAL CONDITION SATISFACTORY TO THE CITY ENGINEER INCLUDING, BUT NOT LIMITED TO PAVING, STRIPING, BIKE LANES, PAVEMENT, LEGENDS, SIGNS, AND TRAFFIC LOOP DETECTORS.



**EQUIPMENT LAYOUT**

24"x36" SCALE: 3/8" = 1'-0"  
11"x17" SCALE: 3/16" = 1'-0"  
2' 1' 0' 2'



| REV | DATE       | DESCRIPTION          |
|-----|------------|----------------------|
| 6   | 06/07/2018 | REDESIGN OPTION      |
| 5   | 05/31/2018 | EQUIPMENT REDESIGN   |
| 4   | 03/07/2018 | CITY COMMENTS        |
| 3   | 09/15/2017 | CITY COMMENTS        |
| 2   | 06/13/2017 | 100% ZONING DRAWINGS |
| 1   | 05/08/2017 | 90% ZONING DRAWINGS  |

ISSUED DATE: **MAY 31, 2018**

ISSUED FOR: **PLANNING**

LICENSURE:

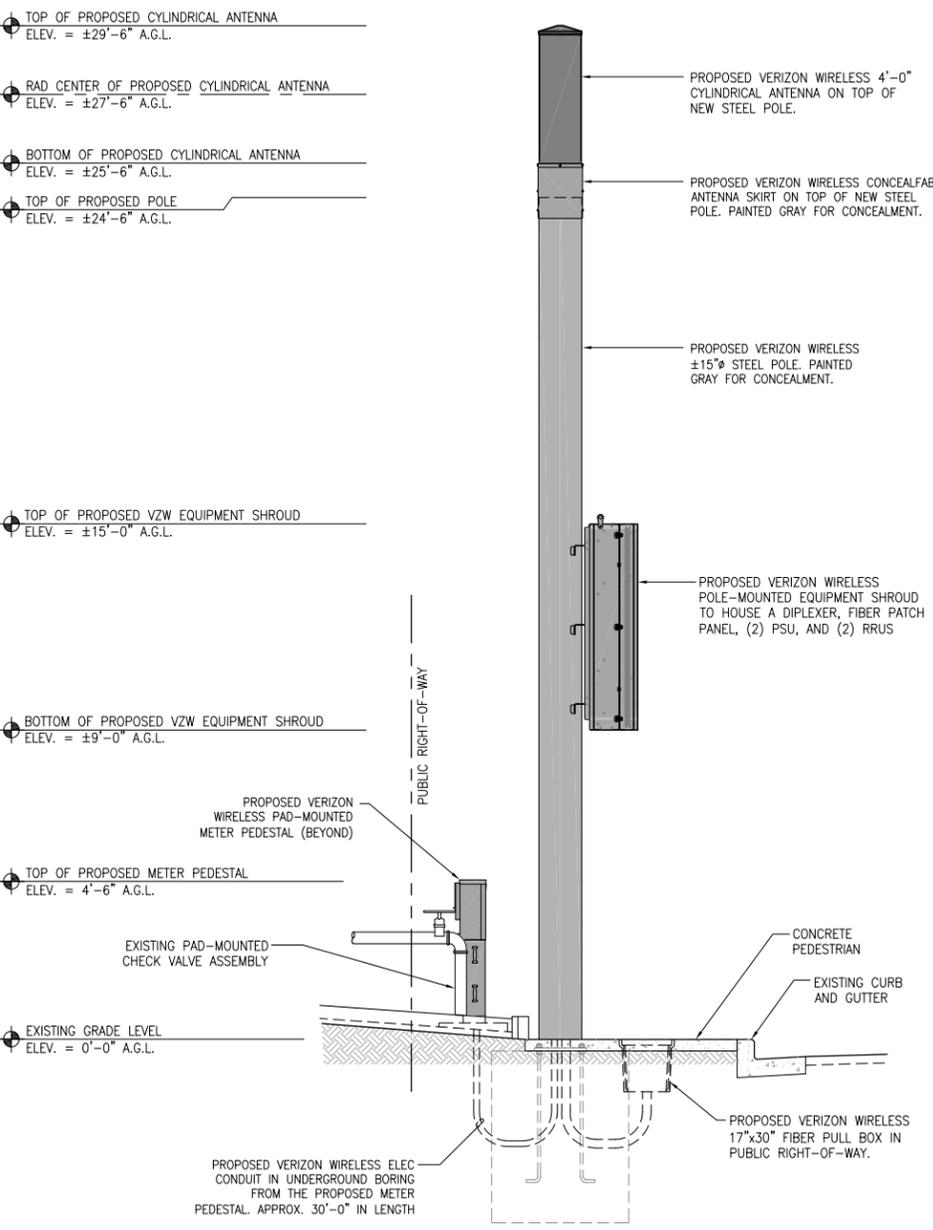
PROJECT INFORMATION:  
**PACIFIC GROVE HS SC1**  
 LOCATION CODE: 425598  
 ROW IN FRONT OF 615  
 SUNSET DRIVE  
 PACIFIC GROVE, CA 93950

DRAWN BY: MAM  
 CHECKED BY: FO

SHEET TITLE:  
**ENLARGED SITE PLAN,  
 EQUIPMENT AND  
 ANTENNA LAYOUT**

SHEET NUMBER:  
**A-2**

- NOTES:
1. THE NEW LAYOUT IS PRELIMINARY AND SUBJECT TO CHANGE PENDING FULL STRUCTURAL ANALYSIS.
  2. NEW TOWER, ANTENNAS, EQUIPMENT SHROUD, AND ALL EXPOSED HARDWARE SHOULD BE PAINTED GRAY FOR CONCEALMENT AS NECESSARY.

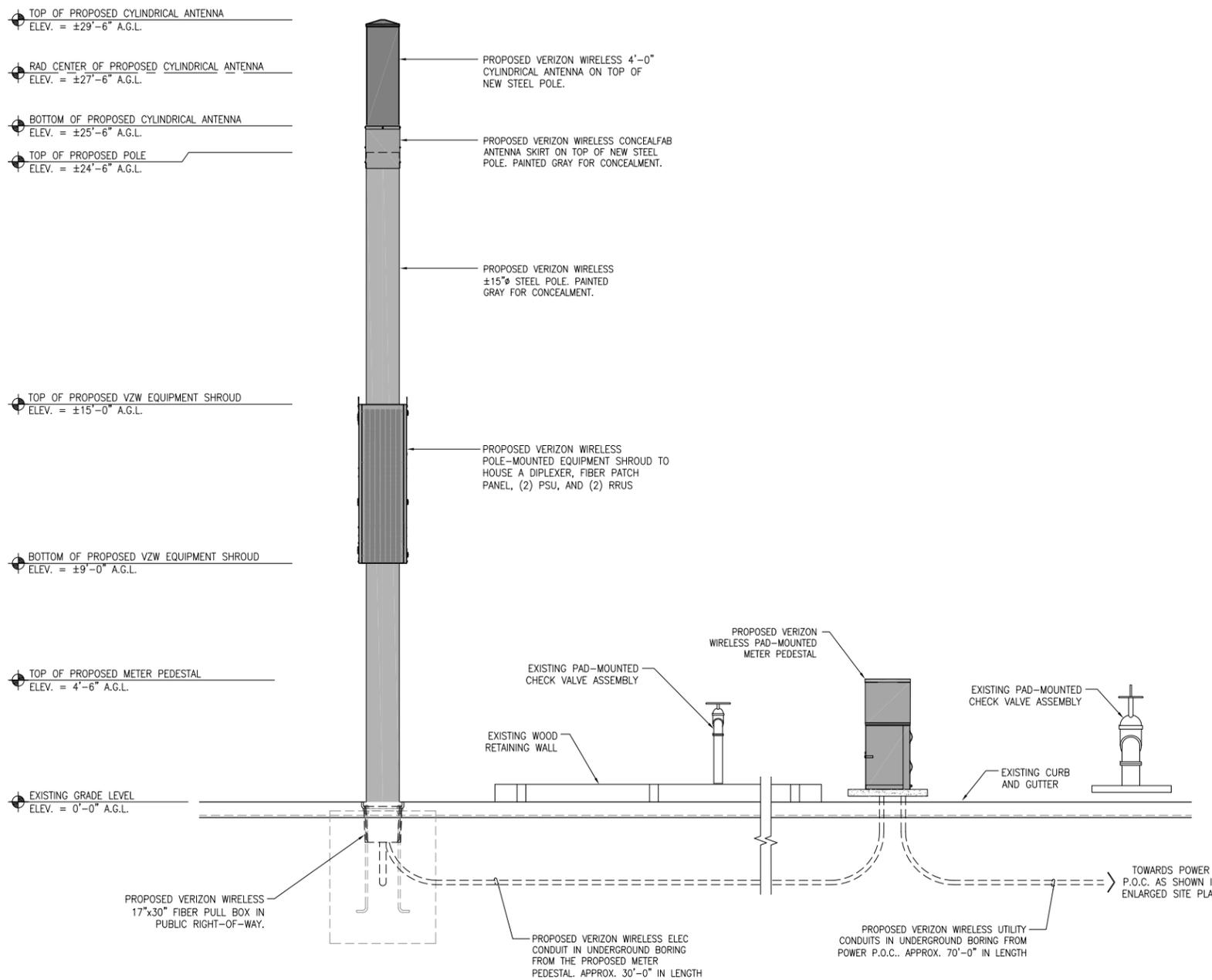


PROPOSED SOUTHEAST ELEVATION

24"x36" SCALE: 3/8" = 1'-0"  
11"x17" SCALE: 3/16" = 1'-0"

1

- NOTES:
1. THE NEW LAYOUT IS PRELIMINARY AND SUBJECT TO CHANGE PENDING FULL STRUCTURAL ANALYSIS.
  2. NEW TOWER, ANTENNAS, EQUIPMENT SHROUD, AND ALL EXPOSED HARDWARE SHOULD BE PAINTED GRAY FOR CONCEALMENT AS NECESSARY.



PROPOSED NORTHEAST ELEVATION

24"x36" SCALE: 3/8" = 1'-0"  
11"x17" SCALE: 3/16" = 1'-0"

2



| REV | DATE       | DESCRIPTION          |
|-----|------------|----------------------|
| 6   | 06/07/2018 | REDESIGN OPTION      |
| 5   | 05/31/2018 | EQUIPMENT REDESIGN   |
| 4   | 03/07/2018 | CITY COMMENTS        |
| 3   | 09/15/2017 | CITY COMMENTS        |
| 2   | 06/13/2017 | 100% ZONING DRAWINGS |
| 1   | 05/08/2017 | 90% ZONING DRAWINGS  |

ISSUED DATE:  
MAY 31, 2018

ISSUED FOR:  
PLANNING

LICENSURE:

PROJECT INFORMATION:  
PACIFIC GROVE HS SC1  
LOCATION CODE: 425598  
ROW IN FRONT OF 615  
SUNSET DRIVE  
PACIFIC GROVE, CA 93950

DRAWN BY: MAM  
CHECKED BY: FO

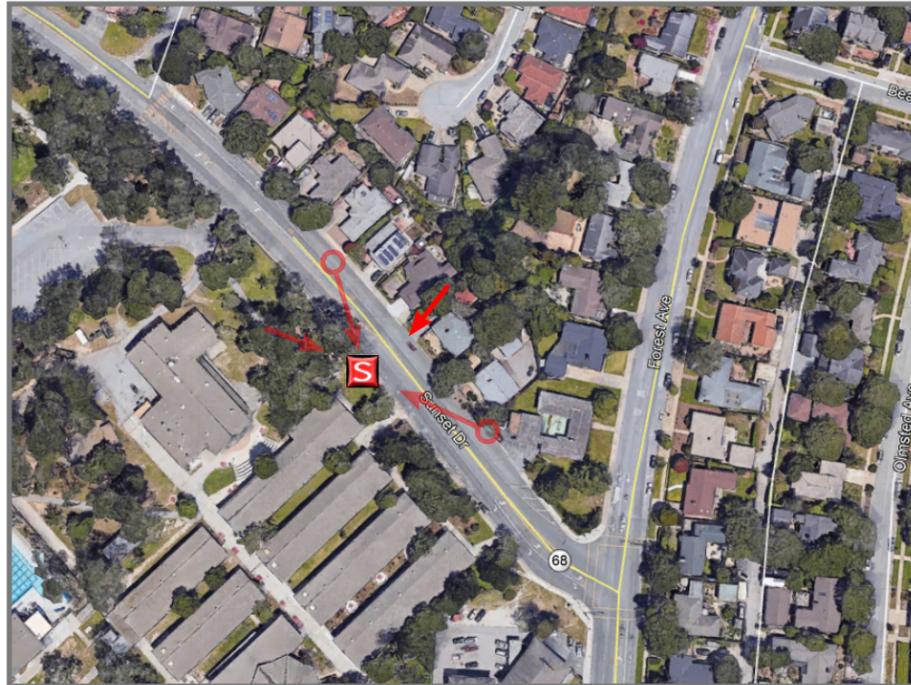
SHEET TITLE:  
ARCHITECTURAL  
ELEVATIONS

SHEET NUMBER:  
A-3



# PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950



LOCATION

©2018 Google Maps



EXISTING



PROPOSED POLE WITH ANTENNA AND  
POLE MOUNTED EQUIPMENT CABINET

PROPOSED METER PEDESTAL

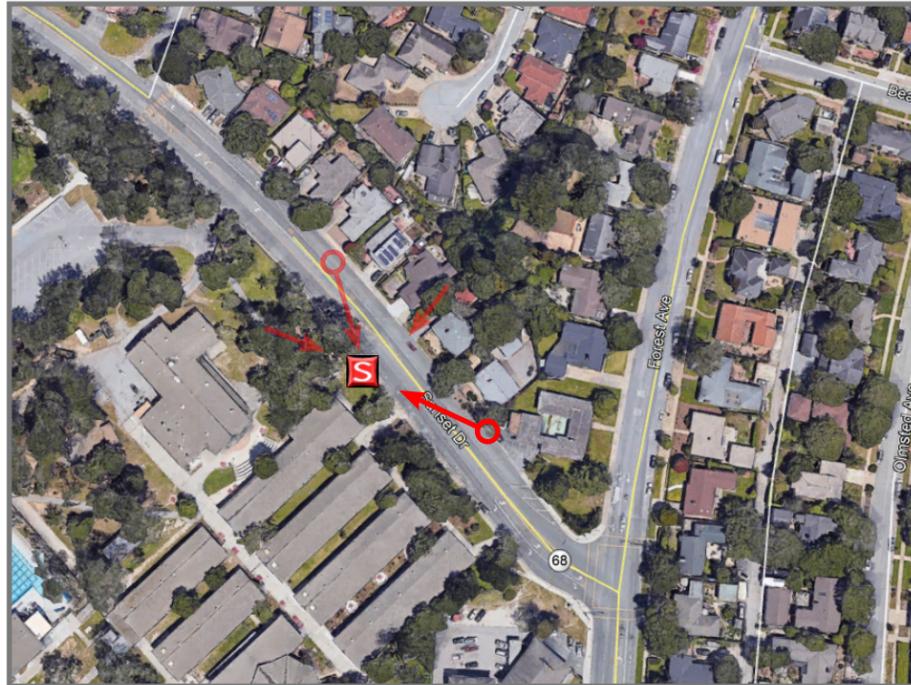
PROPOSED

LOOKING SOUTHWEST ACROSS SUNSET DRIVE



# PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950



LOCATION

©2018 Google Maps



EXISTING



PROPOSED POLE WITH ANTENNA AND  
POLE MOUNTED EQUIPMENT CABINET

PROPOSED METER PEDESTAL BEYOND

PROPOSED PULL BOX

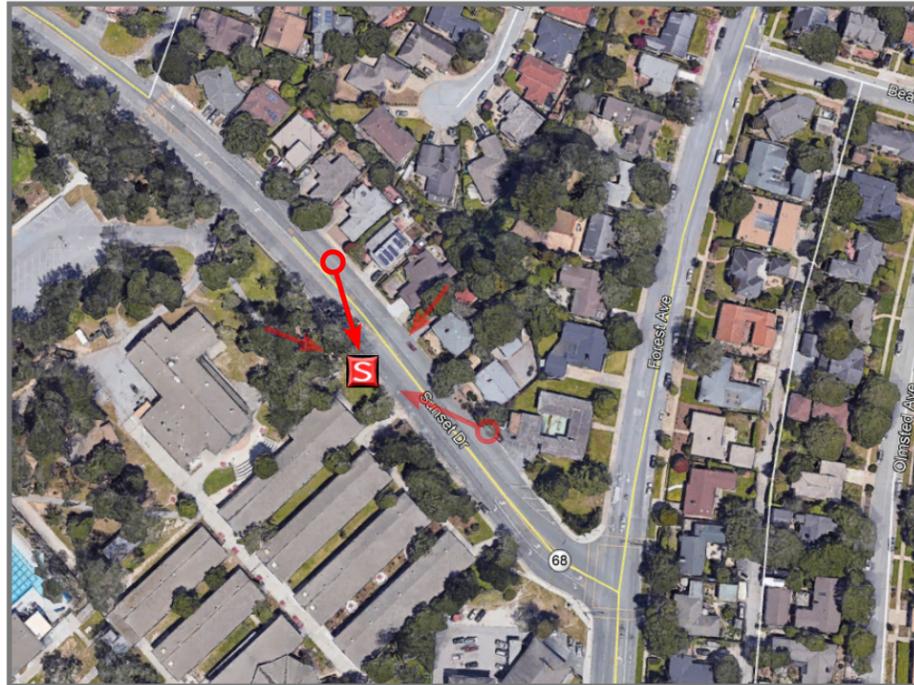
PROPOSED

LOOKING NORTHWEST ACROSS SUNSET DRIVE



# PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950



LOCATION

©2018 Google Maps



EXISTING



PROPOSED POLE WITH ANTENNA AND  
POLE MOUNTED EQUIPMENT CABINET

PROPOSED METER PEDESTAL

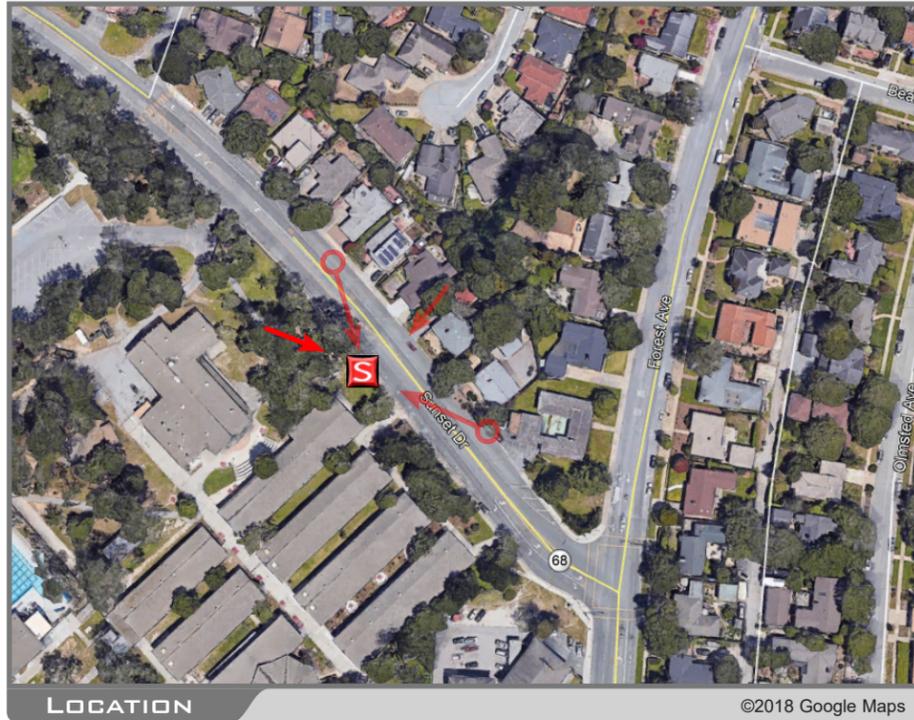
PROPOSED

LOOKING SOUTHEAST ACROSS SUNSET DRIVE



# PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950



LOCATION

©2018 Google Maps



EXISTING



PROPOSED POLE WITH ANTENNA AND  
POLE MOUNTED EQUIPMENT CABINET

PROPOSED METER PEDESTAL

PROPOSED PULL BOX

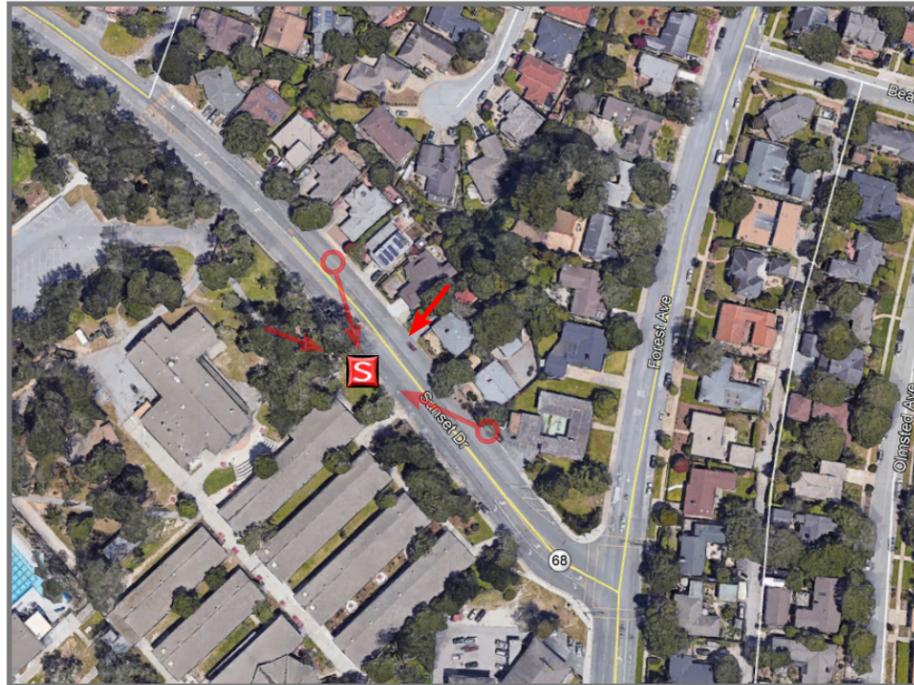
PROPOSED

LOOKING SOUTHEAST FROM SITE



# PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950



LOCATION

©2018 Google Maps



EXISTING



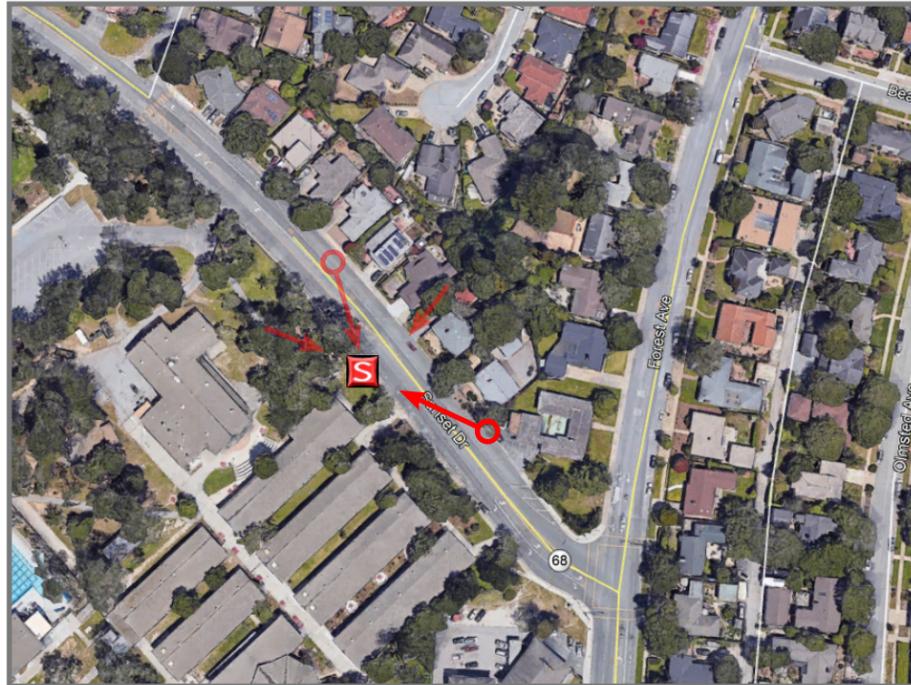
PROPOSED

LOOKING SOUTHWEST ACROSS SUNSET DRIVE



# PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950



LOCATION

©2018 Google Maps



EXISTING



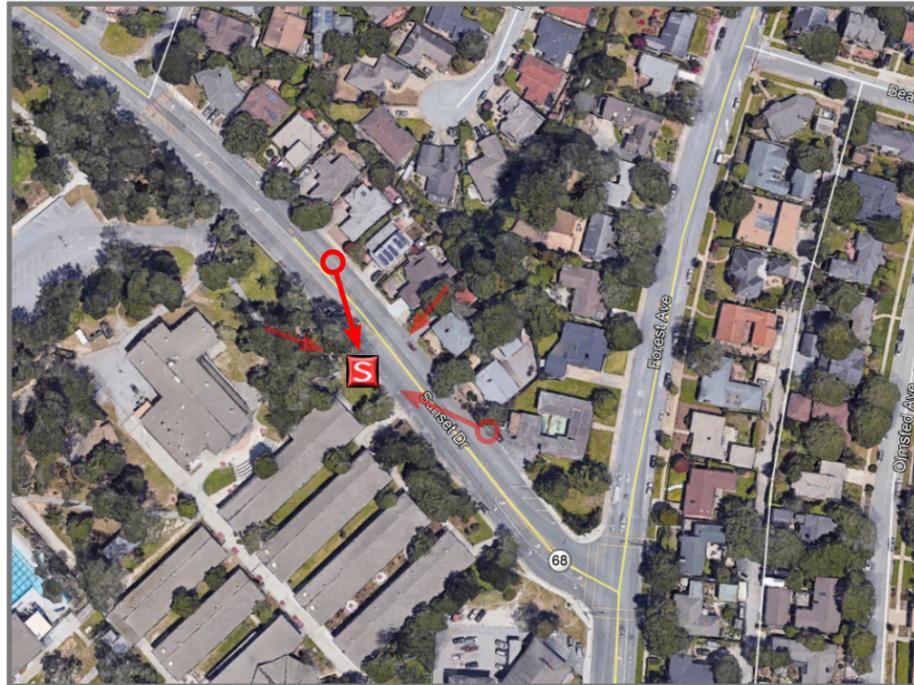
PROPOSED

LOOKING NORTHWEST ACROSS SUNSET DRIVE



# PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950



LOCATION

©2018 Google Maps



EXISTING



PROPOSED POLE WITH ANTENNA AND  
POLE MOUNTED EQUIPMENT CABINET

PROPOSED METER PEDESTAL

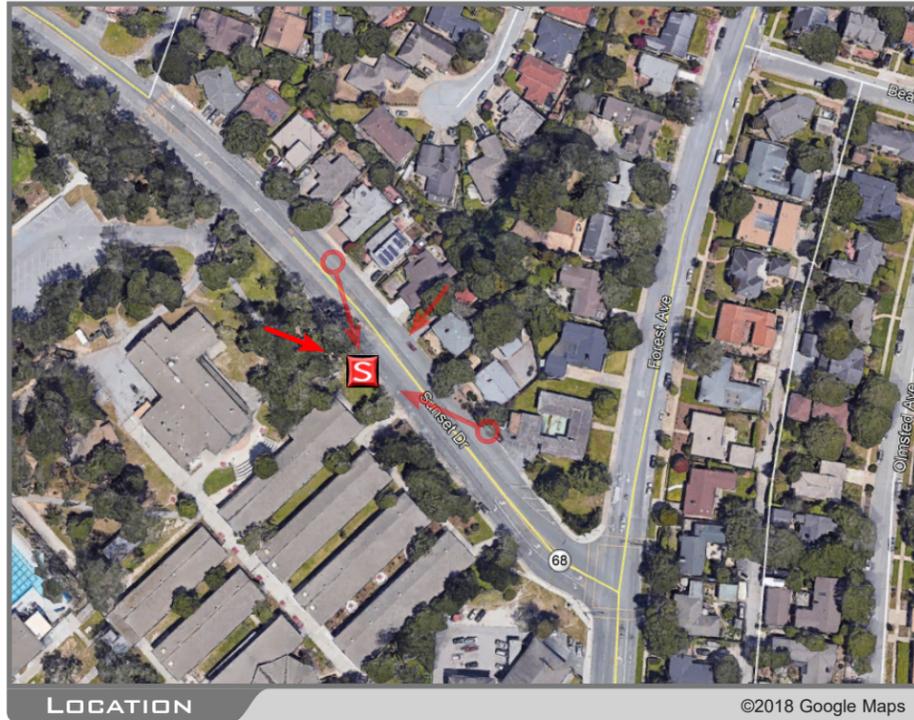
PROPOSED

LOOKING SOUTHEAST ACROSS SUNSET DRIVE



# PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950



LOCATION

©2018 Google Maps



EXISTING



PROPOSED POLE WITH ANTENNA AND  
POLE MOUNTED EQUIPMENT CABINET

PROPOSED METER PEDESTAL

PROPOSED PULL BOX

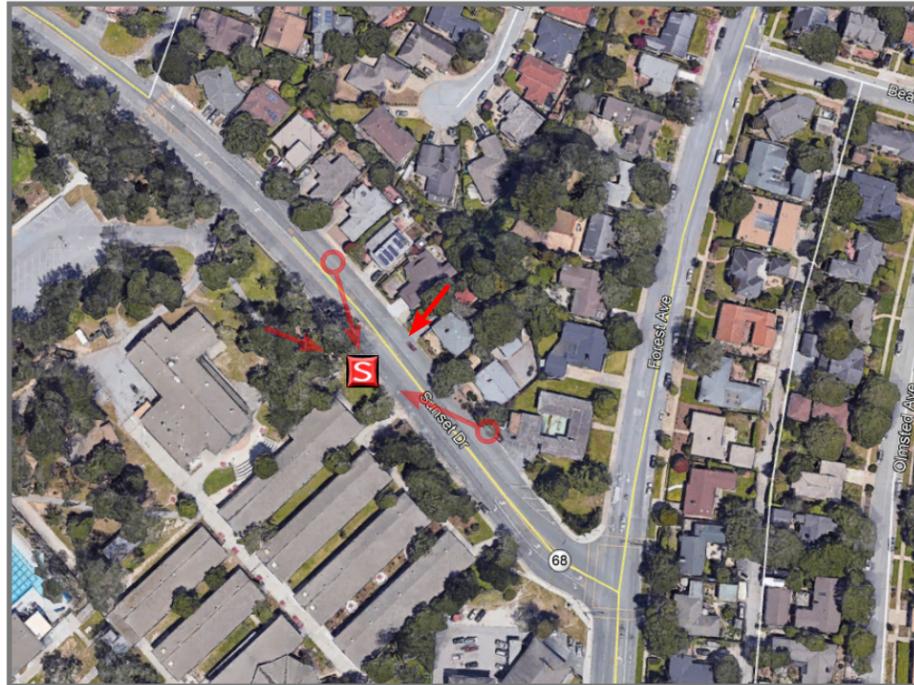
PROPOSED

LOOKING SOUTHEAST FROM SITE



# PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950



LOCATION

©2018 Google Maps



EXISTING



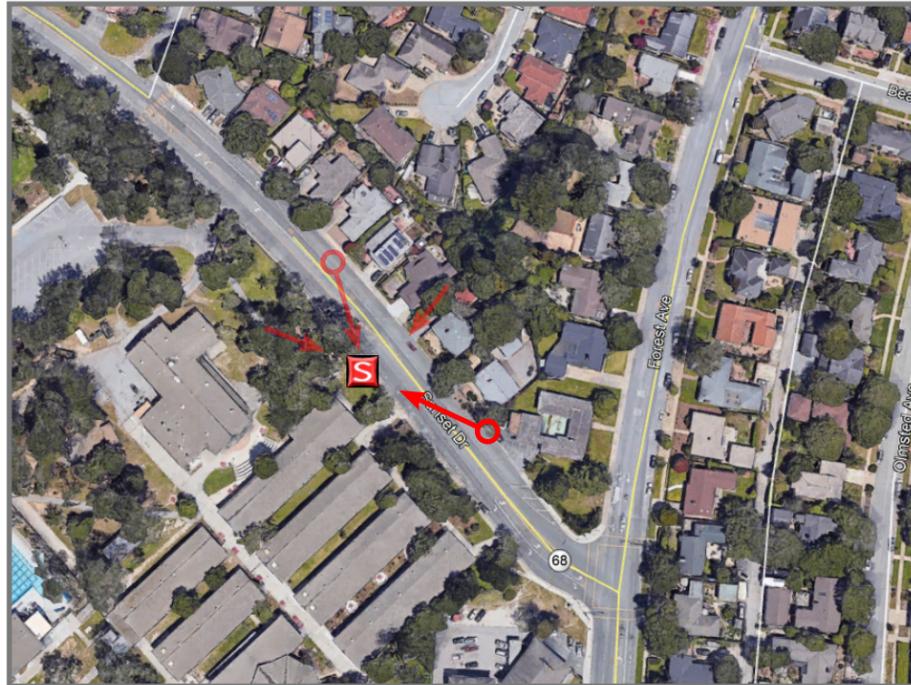
PROPOSED

LOOKING SOUTHWEST ACROSS SUNSET DRIVE



# PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950



LOCATION

©2018 Google Maps



EXISTING



PROPOSED POLE WITH ANTENNA AND  
POLE MOUNTED EQUIPMENT CABINET

PROPOSED METER PEDESTAL BEYOND

PROPOSED PULL BOX

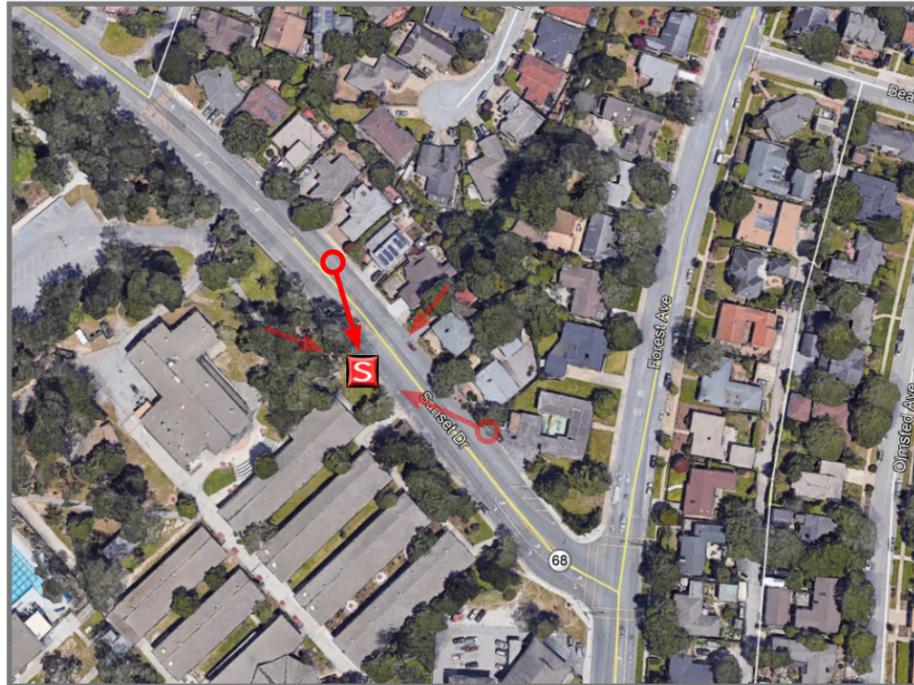
PROPOSED

LOOKING NORTHWEST ACROSS SUNSET DRIVE



# PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950



LOCATION

©2018 Google Maps



EXISTING



PROPOSED POLE WITH ANTENNA AND  
POLE MOUNTED EQUIPMENT CABINET

PROPOSED METER PEDESTAL

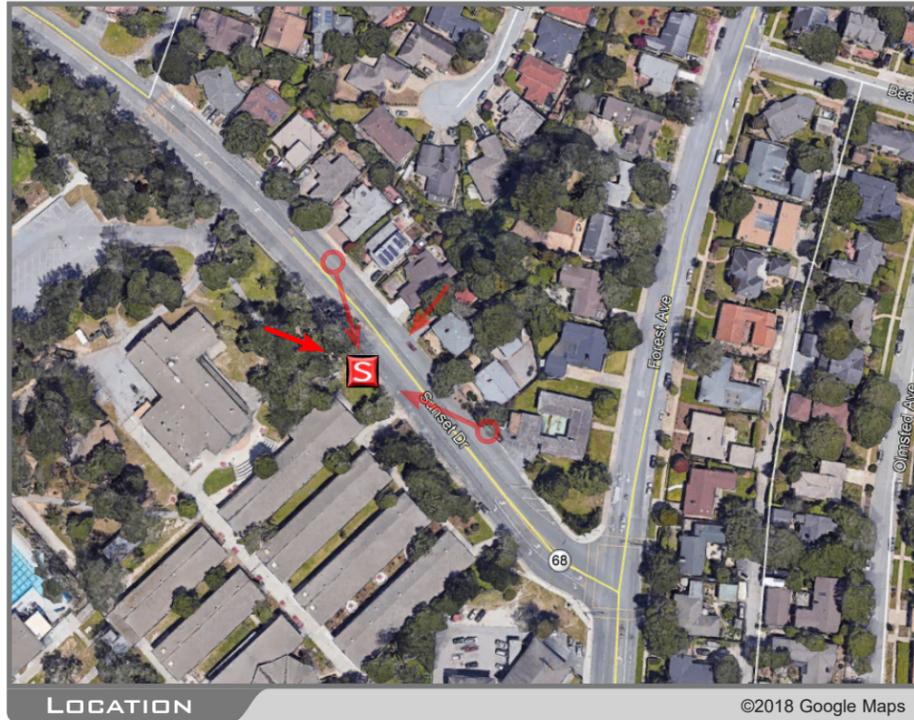
PROPOSED

LOOKING SOUTHEAST ACROSS SUNSET DRIVE



# PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950



LOCATION

©2018 Google Maps



EXISTING



PROPOSED POLE WITH ANTENNA AND  
POLE MOUNTED EQUIPMENT CABINET

PROPOSED METER PEDESTAL

PROPOSED PULL BOX

PROPOSED

LOOKING SOUTHEAST FROM SITE

**Verizon Wireless • Proposed Base Station (Site No. 425598 “Pacific Grove HS SC1”)  
740 Forest Lodge Road • Pacific Grove, California**

**Statement of Hammett & Edison, Inc., Consulting Engineers**

The firm of Hammett & Edison, Inc., Consulting Engineers, has been retained on behalf of Verizon Wireless, a personal wireless telecommunications carrier, to evaluate the base station (Site No. 425598 “Pacific Grove HS SC1”) proposed to be located near 740 Forest Lodge Road in Pacific Grove, California, for compliance with appropriate guidelines limiting human exposure to radio frequency (“RF”) electromagnetic fields.

**Executive Summary**

Verizon proposes to install a cylindrical antenna on top of a new steel pole to be sited near 740 Forest Lodge Road in Pacific Grove. The proposed operation will comply with the FCC guidelines limiting public exposure to RF energy.

**Prevailing Exposure Standards**

The U.S. Congress requires that the Federal Communications Commission (“FCC”) evaluate its actions for possible significant impact on the environment. A summary of the FCC’s exposure limits is shown in Figure 1. These limits apply for continuous exposures and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health. The most restrictive FCC limit for exposures of unlimited duration to radio frequency energy for several personal wireless services are as follows:

| Wireless Service                   | Frequency Band | Occupational Limit      | Public Limit            |
|------------------------------------|----------------|-------------------------|-------------------------|
| Microwave (Point-to-Point)         | 5–80 GHz       | 5.00 mW/cm <sup>2</sup> | 1.00 mW/cm <sup>2</sup> |
| WiFi (and unlicensed uses)         | 2–6            | 5.00                    | 1.00                    |
| BRS (Broadband Radio)              | 2,600 MHz      | 5.00                    | 1.00                    |
| WCS (Wireless Communication)       | 2,300          | 5.00                    | 1.00                    |
| AWS (Advanced Wireless)            | 2,100          | 5.00                    | 1.00                    |
| PCS (Personal Communication)       | 1,950          | 5.00                    | 1.00                    |
| Cellular                           | 870            | 2.90                    | 0.58                    |
| SMR (Specialized Mobile Radio)     | 855            | 2.85                    | 0.57                    |
| 700 MHz                            | 700            | 2.40                    | 0.48                    |
| [most restrictive frequency range] | 30–300         | 1.00                    | 0.20                    |

**General Facility Requirements**

Base stations typically consist of two distinct parts: the electronic transceivers (also called “radios” or “channels”) that are connected to the traditional wired telephone lines, and the passive antennas that send the wireless signals created by the radios out to be received by individual subscriber units. The transceivers are often located at ground level and are connected to the antennas by coaxial cables. A small antenna for reception of GPS signals is also required, mounted with a clear view of the sky.

**Verizon Wireless • Proposed Base Station (Site No. 425598 “Pacific Grove HS SC1”)  
740 Forest Lodge Road • Pacific Grove, California**

Because of the short wavelength of the frequencies assigned by the FCC for wireless services, the antennas require line-of-sight paths for their signals to propagate well and so are installed at some height above ground. The antennas are designed to concentrate their energy toward the horizon, with very little energy wasted toward the sky or the ground. This means that it is generally not possible for exposure conditions to approach the maximum permissible exposure limits without being physically very near the antennas.

**Computer Modeling Method**

The FCC provides direction for determining compliance in its Office of Engineering and Technology Bulletin No. 65, “Evaluating Compliance with FCC-Specified Guidelines for Human Exposure to Radio Frequency Radiation,” dated August 1997. Figure 2 describes the calculation methodologies, reflecting the facts that a directional antenna’s radiation pattern is not fully formed at locations very close by (the “near-field” effect) and that at greater distances the power level from an energy source decreases with the square of the distance from it (the “inverse square law”). The conservative nature of this method for evaluating exposure conditions has been verified by numerous field tests.

**Site and Facility Description**

Based upon information provided by Verizon, including zoning drawings by CELLSITE Concepts, dated July 9, 2018, it is proposed to install one JMA Wireless Model CX06OMI436-0C/8C cylindrical omnidirectional antenna on top of a new 25-foot steel pole to be sited in the public right-of-way on the north side of Forest Lodge Road in Pacific Grove, just south of Pacific Grove High School. The antenna would employ 2° downtilt and would be mounted at an effective height of about 27½ feet above ground. The maximum effective radiated power in any direction would be 2,990 watts, representing simultaneous operation at 1,550 watts for AWS and 1,440 watts for PCS service. There are reported no other wireless telecommunications base stations at the site or nearby.

**Study Results**

For a person anywhere at ground, the maximum RF exposure level due to the proposed Verizon operation is calculated to be 0.057 mW/cm<sup>2</sup>, which is 5.7% of the applicable public exposure limit. The maximum calculated level at any nearby building\* is 17% of the public exposure limit. The maximum calculated level at the second-floor elevation of any building on the school campus† is 1.9% of the public exposure limit. The maximum calculated level at the second-floor elevation of any nearby residence‡ is 0.42% of the public exposure limit. It should be noted that these results include

---

\* Located at least 65 feet away, based on review of photographs from Google Maps.

† Located at least 95 feet away, based on review of photographs from Google Maps.

‡ Located at least 390 feet away, based on review of photographs from Google Maps.



**Verizon Wireless • Proposed Base Station (Site No. 425598 “Pacific Grove HS SC1”)  
740 Forest Lodge Road • Pacific Grove, California**

several “worst-case” assumptions and therefore are expected to overstate actual power density levels from the proposed operation.

**No Recommended Mitigation Measures**

Due to its mounting location and height, the Verizon antenna would not be accessible to unauthorized persons, and so no mitigation measures are necessary to comply with the FCC public exposure guidelines. It is presumed that Verizon will, as an FCC licensee, take adequate steps to ensure that its employees or contractors receive appropriate training and comply with FCC occupational exposure guidelines whenever work is required near the antenna itself.

**Conclusion**

Based on the information and analysis above, it is the undersigned’s professional opinion that operation of the base station proposed by Verizon Wireless near 740 Forest Lodge Road in Pacific Grove, California, will comply with the prevailing standards for limiting public exposure to radio frequency energy and, therefore, will not for this reason cause a significant impact on the environment. The highest calculated level in publicly accessible areas is much less than the prevailing standards allow for exposures of unlimited duration. This finding is consistent with measurements of actual exposure conditions taken at other operating base stations.

**Authorship**

The undersigned author of this statement is a qualified Professional Engineer, holding California Registration Nos. E-13026 and M-20676, which expire on June 30, 2019. This work has been carried out under his direction, and all statements are true and correct of his own knowledge except, where noted, when data has been supplied by others, which data he believes to be correct.



*William F. Hammett*  
\_\_\_\_\_  
William F. Hammett, P.E.  
707/996-5200

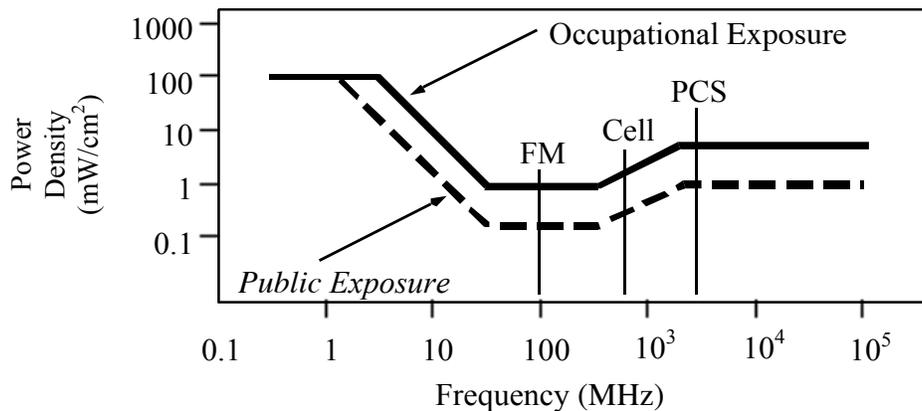
July 13, 2018

## FCC Radio Frequency Protection Guide

The U.S. Congress required (1996 Telecom Act) the Federal Communications Commission (“FCC”) to adopt a nationwide human exposure standard to ensure that its licensees do not, cumulatively, have a significant impact on the environment. The FCC adopted the limits from Report No. 86, “Biological Effects and Exposure Criteria for Radiofrequency Electromagnetic Fields,” published in 1986 by the Congressionally chartered National Council on Radiation Protection and Measurements (“NCRP”). Separate limits apply for occupational and public exposure conditions, with the latter limits generally five times more restrictive. The more recent standard, developed by the Institute of Electrical and Electronics Engineers and approved as American National Standard ANSI/IEEE C95.1-2006, “Safety Levels with Respect to Human Exposure to Radio Frequency Electromagnetic Fields, 3 kHz to 300 GHz,” includes similar limits. These limits apply for continuous exposures from all sources and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health.

As shown in the table and chart below, separate limits apply for occupational and public exposure conditions, with the latter limits (in *italics* and/or dashed) up to five times more restrictive:

| Frequency<br>Applicable<br>Range<br>(MHz) | Electromagnetic Fields (f is frequency of emission in MHz) |                |                                     |               |  |                          |
|---|--|----------------|-------------------------------------|---------------|--|--------------------------|
|   | Electric<br>Field Strength<br>(V/m)                        |                | Magnetic<br>Field Strength<br>(A/m) |               | Equivalent Far-Field<br>Power Density<br>(mW/cm <sup>2</sup> ) |                          |
| 0.3 – 1.34                                | 614  | <i>614</i>     | 1.63                                | <i>1.63</i>   | 100  | <i>100</i>               |
| 1.34 – 3.0                                | 614  | <i>823.8/f</i> | 1.63                                | <i>2.19/f</i> | 100  | <i>180/f<sup>2</sup></i> |
| 3.0 – 30                                  | 1842/f   | <i>823.8/f</i> | 4.89/f                              | <i>2.19/f</i> | 900/f <sup>2</sup>   | <i>180/f<sup>2</sup></i> |
| 30 – 300                                  | 61.4   | <i>27.5</i>    | 0.163                               | <i>0.0729</i> | 1.0  | <i>0.2</i>               |
| 300 – 1,500                               | 3.54√f   | <i>1.59√f</i>  | √f/106                              | <i>√f/238</i> | f/300  | <i>f/1500</i>            |
| 1,500 – 100,000                           | 137  | <i>61.4</i>    | 0.364                               | <i>0.163</i>  | 5.0  | <i>1.0</i>               |



Higher levels are allowed for short periods of time, such that total exposure levels averaged over six or thirty minutes, for occupational or public settings, respectively, do not exceed the limits, and higher levels also are allowed for exposures to small areas, such that the spatially averaged levels do not exceed the limits. However, neither of these allowances is incorporated in the conservative calculation formulas in the FCC Office of Engineering and Technology Bulletin No. 65 (August 1997) for projecting field levels. Hammett & Edison has built those formulas into a proprietary program that calculates, at each location on an arbitrary rectangular grid, the total expected power density from any number of individual radio sources. The program allows for the description of buildings and uneven terrain, if required to obtain more accurate projections.



## RFR.CALC™ Calculation Methodology

## Assessment by Calculation of Compliance with FCC Exposure Guidelines

The U.S. Congress required (1996 Telecom Act) the Federal Communications Commission (“FCC”) to adopt a nationwide human exposure standard to ensure that its licensees do not, cumulatively, have a significant impact on the environment. The maximum permissible exposure limits adopted by the FCC (see Figure 1) apply for continuous exposures from all sources and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health. Higher levels are allowed for short periods of time, such that total exposure levels averaged over six or thirty minutes, for occupational or public settings, respectively, do not exceed the limits.

**Near Field.**

Prediction methods have been developed for the near field zone of panel (directional) and whip (omnidirectional) antennas, typical at wireless telecommunications base stations, as well as dish (aperture) antennas, typically used for microwave links. The antenna patterns are not fully formed in the near field at these antennas, and the FCC Office of Engineering and Technology Bulletin No. 65 (August 1997) gives suitable formulas for calculating power density within such zones.

For a panel or whip antenna, power density  $S = \frac{180}{\theta_{BW}} \times \frac{0.1 \times P_{net}}{\pi \times D \times h}$ , in mW/cm<sup>2</sup>,

and for an aperture antenna, maximum power density  $S_{max} = \frac{0.1 \times 16 \times \eta \times P_{net}}{\pi \times h^2}$ , in mW/cm<sup>2</sup>,

where  $\theta_{BW}$  = half-power beamwidth of the antenna, in degrees, and  
 $P_{net}$  = net power input to the antenna, in watts,  
 $D$  = distance from antenna, in meters,  
 $h$  = aperture height of the antenna, in meters, and  
 $\eta$  = aperture efficiency (unitless, typically 0.5-0.8).

The factor of 0.1 in the numerators converts to the desired units of power density.

**Far Field.**

OET-65 gives this formula for calculating power density in the far field of an individual RF source:

power density  $S = \frac{2.56 \times 1.64 \times 100 \times RFF^2 \times ERP}{4 \times \pi \times D^2}$ , in mW/cm<sup>2</sup>,

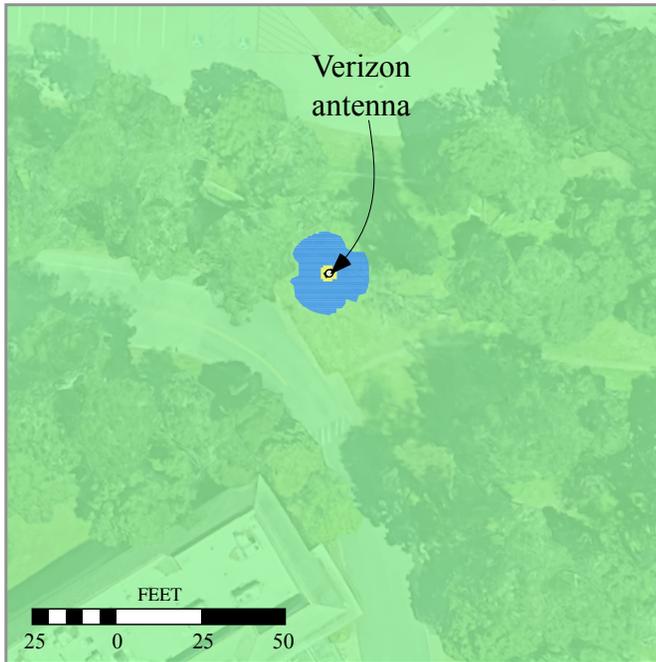
where ERP = total ERP (all polarizations), in kilowatts,  
RFF = relative field factor at the direction to the actual point of calculation, and  
 $D$  = distance from the center of radiation to the point of calculation, in meters.

The factor of 2.56 accounts for the increase in power density due to ground reflection, assuming a reflection coefficient of 1.6 (1.6 x 1.6 = 2.56). The factor of 1.64 is the gain of a half-wave dipole relative to an isotropic radiator. The factor of 100 in the numerator converts to the desired units of power density. This formula has been built into a proprietary program that calculates, at each location on an arbitrary rectangular grid, the total expected power density from any number of individual radiation sources. The program also allows for the description of uneven terrain in the vicinity, to obtain more accurate projections.

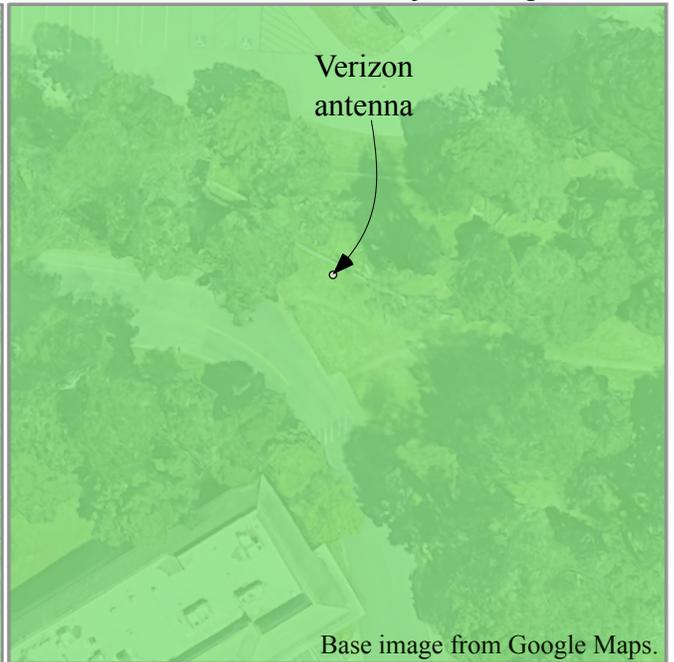
Verizon Wireless • Proposed Base Station (Site No. 425598 “Pacific Grove HS SC1”) 740 Forest Lodge Road • Pacific Grove, California

Calculated RF Exposure Levels

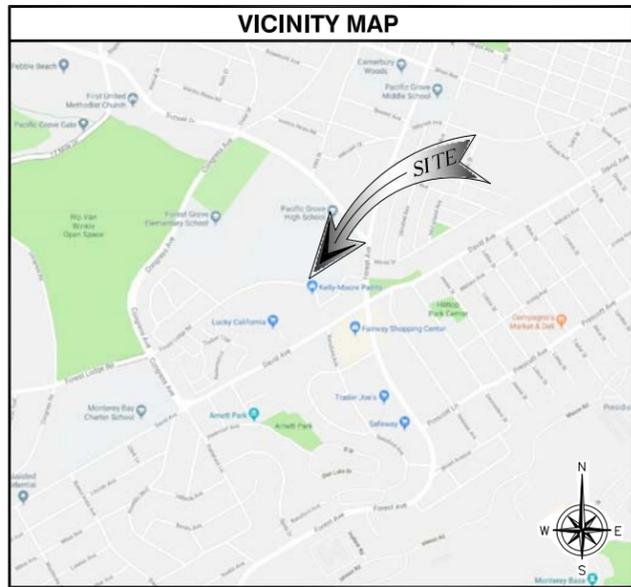
in Immediate Airspace (26–29 feet above ground)



at Ground and at Nearby Buildings



|  |   |
|--|---|
| <p><b>Legend:</b></p> <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 15px; background-color: #90EE90; border: 1px solid black; margin-right: 5px;"></span> less than FCC Public Limit</li> <li><span style="display: inline-block; width: 15px; height: 15px; background-color: #ADD8E6; border: 1px solid black; margin-right: 5px;"></span> greater than FCC Public Limit<br/>less than FCC Occupational Limit</li> <li><span style="display: inline-block; width: 15px; height: 15px; background-color: #FFFF00; border: 1px solid black; margin-right: 5px;"></span> greater than FCC Occupational Limit</li> </ul> | <p>Notes: See report dated July 13, 2018.</p> <p>Calculations performed according to OET Bulletin No. 65, August 1997.</p> <p>Base drawings from CELLSITE Concepts, dated July 9, 2018.</p> |
|--|---|



| SITE INFORMATION     |  |
|----------------------|--|
| POLE OWNER:          | VERIZON WIRELESS                                       |
| ADDRESS:             | 2785 MITCHELL DRIVE, BLDG. 9<br>WALNUT CREEK, CA 94598 |
| APPLICANT:           | VERIZON WIRELESS                                       |
| ADDRESS:             | 2785 MITCHELL DRIVE, BLDG. 9<br>WALNUT CREEK, CA 94598 |
| LATITUDE (NAD 83):   | 36°36'32.42" N   |
| LONGITUDE (NAD 83):  | 121°55'27.73" W  |
| GROUND ELEVATION:    | 285.00' AMSL   |
| ZONING JURISDICTION: | COUNTY OF MONTEREY                                     |
| PROPOSED USE:        | UNMANNED TELECOMMUNICATIONS FACILITY                   |

| PROJECT TEAM  |  |
|---|--|
| <b>APPLICANT:</b><br>VERIZON WIRELESS<br>2785 MITCHELL DRIVE, BLDG. 9<br>WALNUT CREEK, CA 94598<br>CONTACT: JORDAN THOMPSON<br>PHONE: (925) 895-1668<br>EMAIL: jordan.thompson@verizonwireless.com          | <b>SITE ACQUISITION:</b><br>SEQUOIA DEPLOYMENT SERVICES, INC.<br>22471 ASPAN, SUITE #290<br>LAKE FOREST, CA 92630<br>CONTACT: ROBERT BALLMAIER<br>PHONE: (949) 278-7747<br>EMAIL: bob.ballmaier@sequoia-ds.com |
| <b>RF ENGINEER:</b><br>VERIZON WIRELESS<br>2785 MITCHELL DRIVE, BLDG. 9<br>WALNUT CREEK, CA 94598<br>CONTACT: STEFANO IACHELLA<br>PHONE: (510) 381-2904<br>EMAIL: stefano.iachella@verizonwireless.com      | <b>ZONING:</b><br>SEQUOIA DEPLOYMENT SERVICES, INC.<br>22471 ASPAN, SUITE #290<br>LAKE FOREST, CA 92630<br>CONTACT: BEN HACKSTEDDE<br>PHONE: (949) 259-3344<br>EMAIL: ben.hackstedde@sequoia-ds.com            |
| <b>ARCHITECT/ENGINEERING:</b><br>CELLSITE CONCEPTS<br>10650 SCRIPPS RANCH BLVD., SUITE 224<br>SAN DIEGO, CA 92131<br>CONTACT: REGGIE GABRIEL<br>PHONE: (619) 200-7190<br>EMAIL: reggie.gabriel@cellsite.net | <b>CONSTRUCTION:</b><br>SEQUOIA DEPLOYMENT SERVICES, INC.<br>22471 ASPAN, SUITE #290<br>LAKE FOREST, CA 92630<br>CONTACT: ESI LIEGE<br>PHONE: (714) 697-6600<br>EMAIL: esi.liege@sequoia-ds.com                |

| APPROVALS  |       |
|--|-------|
| THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT & MAY IMPOSE CHANGES OR MODIFICATIONS. |       |
| VZW PROJECT MANAGER:   | _____ |
| VZW RF ENGINEER:   | _____ |
| VZW EQUIPMENT ENGINEER:  | _____ |
| VZW CONSTRUCTION MANAGER:  | _____ |
| PLANNING MANAGER:  | _____ |
| SITE ACQUISITION MANAGER:  | _____ |
| A/E MANAGER:   | _____ |

| DRAWING INDEX |  |
|---------------|--|
| SHEET NO:     | SHEET TITLE                                      |
| T-1           | TITLE SHEET                                      |
| LS-1          | TOPOGRAPHIC SURVEY                               |
| LS-2          | TOPOGRAPHIC SURVEY                               |
| A-1           | SITE PLAN  |
| A-2           | ENLARGED SITE PLAN, EQUIPMENT AND ANTENNA LAYOUT |
| A-3           | ARCHITECTURAL ELEVATIONS                         |

| PROJECT DESCRIPTION  |  |
|--|--|
| THE PROJECT CONSISTS OF INSTALLATIONS OF TELECOMMUNICATIONS EQUIPMENT FOR VERIZON WIRELESS TO COLLOCATE IN PUBLIC RIGHT-OF-WAY THE INSTALLATIONS ENTAILS:  |  |
| <ul style="list-style-type: none"> <li>INSTALL (1) PROPOSED VERIZON WIRELESS 4'-0" HIGH CYLINDRICAL ANTENNA ON POLE</li> <li>INSTALL (1) PROPOSED VERIZON WIRELESS ANTENNA POLE TOP MOUNTING SKIRT</li> <li>INSTALL (1) PROPOSED VERIZON WIRELESS 24'-6" STEEL POLE</li> <li>INSTALL (1) PROPOSED VERIZON WIRELESS EQUIPMENT SHROUD ON POLE</li> <li>INSTALL (2) PROPOSED VERIZON WIRELESS REMOTE RADIO UNITS (RRUS) IN EQUIPMENT SHROUD</li> <li>INSTALL (2) PROPOSED VERIZON WIRELESS PSU UNITS IN EQUIPMENT SHROUD</li> <li>INSTALL (1) PROPOSED VERIZON WIRELESS DUAL DIPLEXER IN EQUIPMENT SHROUD</li> <li>INSTALL (1) PROPOSED VERIZON WIRELESS FIBER PATCH PANEL IN EQUIPMENT SHROUD</li> <li>INSTALL (1) PROPOSED VERIZON WIRELESS METER PEDESTAL</li> </ul> |  |

| APPLICABLE CODES  |  |
|---|--|
| ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES.   |  |
| <ul style="list-style-type: none"> <li>CALIFORNIA ADMINISTRATIVE CODE (INCL TITLE 24 &amp; 25)</li> <li>2016 CALIFORNIA BUILDING CODE</li> <li>LOCAL BUILDING CODE</li> <li>CITY/COUNTY ORDINANCES</li> <li>ANSI/EIA-222-G LIFE SAFETY CODE NFPA-101</li> <li>2016 CALIFORNIA ELECTRICAL CODE</li> <li>CA PUBLIC UTILITIES COMMISSION GENERAL ORDER 95 (GO 95)</li> </ul> |  |

**DO NOT SCALE DRAWINGS**

SUBCONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS & FIELD CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME. IF USING 11"X17" PLOT, DRAWINGS WILL BE HALF SCALE.



**PROJECT TYPE: SMALL CELL**  
**PACIFIC GROVE HS SC1**  
**ROW NEAR 740 FOREST LODGE RD.**  
**PACIFIC GROVE, CA 93950**  
**LOCATION CODE: 425598**

| GENERAL NOTES  |   |   |
|--|---|---|
| 1. LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. NEITHER THE OWNER NOR THE ENGINEER ASSUMES ANY RESPONSIBILITY FOR UTILITIES OR STRUCTURES NOT SHOWN OR NOT IN THE LOCATION SHOWN ON THE DRAWINGS.  | 10. CONTRACTOR SHALL NOTIFY THE JURISDICTION. A MINIMUM OF 46 HOURS PRIOR TO COMMENCING WORK WITHIN 10 FEET OF ALL SEWER, WATER, AND STORM DRAIN MAIN INCLUDING ALL CROSSINGS.  | 21. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS EQUIPMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER. |
| 2. THE CONTRACTORS SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.   | 11. "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT-ISSUING AUTHORITY. | 22. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE FROM EXISTING RECORDS AND CORROBORATED, WHERE POSSIBLE WITH FIELD TIES. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LOCATIONS SHOWN, BOTH HORIZONTALLY AND VERTICALLY PRIOR TO CONSTRUCTION. IF EXISTING LOCATIONS VARY SUBSTANTIALLY FROM THE PLANS, THE ENGINEER SHOULD BE NOTIFIED TO MAKE ANY CONSTRUCTION CHANGES REQUIRED.  |
| 3. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.  | 12. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY FIELD ENGINEERING DIVISION PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING.   | 23. THE CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUITS, AND LANE STRIPPING DAMAGED DURING CONSTRUCTION.  |
| 4. UPON ISSUANCE OF A PERMIT, NO WORK WILL BE PERMITTED ON WEEKENDS OR HOLIDAYS WITHOUT PERMISSION FROM THE ENGINEERING DEPARTMENT.  | 13. MANHOLES OR COVERS SHALL BE LABELLED "NAME OF COMPANY".   | 24. CONTRACTOR SHALL BE RESPONSIBLE FOR THE POTHOLE AND LOCATING OF ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE AND MUST MAINTAIN ONE FOOT MINIMUM VERTICAL CLEARANCE  |
| 5. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT FROM DAMAGING EXISTING IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE. CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR, REPLACE OR RECONSTRUCT ALL SUCH IMPROVEMENTS OR OTHER STRUCTURES DAMAGED BY HIS WORK, TO THE ENGINEER'S SATISFACTION.   | 14. CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET THE APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD.                                      | 25. AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE CITY ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT.   |
| 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FILE LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, SUCH MONUMENTS SHALL BE REPLACED WITH APPROPRIATE MONUMENTS BY A LAND SURVEYOR. A CORNER RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE JURISDICTION'S FIELD SURVEY DIVISION MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS FROM OCCURRENCE, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION. | 15. THE CONTRACTOR SHALL HAVE EMERGENCY MATERIALS AND EQUIPMENT ON HAND FOR UNFORESEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHEREBY FLOWS MAY GENERATE EROSION AND SEDIMENT POLLUTION.                  | 26. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.  |
| 7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE POTHOLE AND LOCATING OF ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE AND MUST MAINTAIN 1 FOOT MINIMUM VERTICAL CLEARANCE.   | 16. THE CONTRACTOR SHALL VERIFY LOCATION ALL EXISTING UNDERGROUND UTILITIES INCLUDING SEWER LATERALS & WATER SERVICES TO INDIVIDUAL LOTS OF BOTH VERTICAL AND HORIZONTAL PRIOR TO COMMENCING IMPROVEMENTS OPERATIONS.                                 | 27. ANY DRAIN AND/OR FIELD TILE ENCOUNTERED/DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK, SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON "AS-BUILT" DRAWINGS BY GENERAL CONTRACTOR, AND ISSUED TO THE ARCHITECT OR ENGINEER AT COMPLETION OF PROJECT.  |
| 8. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.  | 17. LOCATION AND ELEVATIONS OF IMPROVEMENTS, TO BE MET BY WORK, SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK.   | 28. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAD BACK OR BRACED IN ACCORDANCE WITH THE CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.  |
| 9. CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUIT, AND LANE STRIPPING DAMAGED DURING CONSTRUCTION.   | 18. GRADES SHOWN ARE FINISH GRADES. CONTRACTOR SHALL DETERMINE NECESSARY SUB GRADE ELEVATIONS AND SHALL CONSTRUCT SMOOTH TRANSITION BETWEEN FINISH GRADES SHOWN.  |   |
|  | 19. THE CONTRACTOR SHALL SUBMIT WORK PLANS FOR ALL BORE OPERATIONS TWO WEEKS PRIOR TO COMMENCING WORK.  |   |
|  | 20. THE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR COMPLIANCE WITH THE PROVISIONS OF THE STATE OF CALIFORNIA SAFETY ORDERS.  |   |

**ACCESSIBILITY NOTE**

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2016 CALIFORNIA BUILDING CODE. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS NEW.

THE TELECOMMUNICATIONS EQUIPMENT SPACE SHOWN ON THESE PLANS IS NOT CUSTOMARILY OCCUPIED. WORK TO BE PERFORMED IN THIS FACILITY CANNOT REASONABLY BE PERFORMED BY PERSONS WITH A SEVERE IMPAIRMENT: MOBILITY, SIGHT, AND/OR HEARING. THEREFORE, PER 2016 CALIFORNIA BUILDING CODE SECTION 1105B.3.4, AND/OR 11B-203.5 OF 2016 CALIFORNIA BUILDING CODE, EXCEPTION 1, THIS FACILITY SHALL BE EXEMPTED FROM ALL TITLE 24 ACCESS REQUIREMENTS.

**TRAFFIC CONTROL NOTE**

THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN (11"X17") FOR APPROVAL PRIOR TO STARTING WORK. THE PLAN SHOULD BE SUBMITTED TO THE TRAFFIC CONTROL PERMIT COUNTER. CONTRACTOR SHALL OBTAIN A TRAFFIC CONTROL PERMIT A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO STARTING WORK, AND A MINIMUM OF FIVE (5) DAYS IF WORK WILL AFFECT A BUS STOP OR AN EXISTING TRAFFIC SIGNAL, OR IF WORK WILL REQUIRE A ROAD OR ALLEY CLOSURE.



| REV | DATE       | DESCRIPTION         |
|-----|------------|---------------------|
| 1   | 07/09/2017 | 90% ZONING DRAWINGS |

ISSUED DATE:  
**JULY 09, 2018**

ISSUED FOR:  
**90% ZD SET**

LICENSURE:

PROJECT INFORMATION:  
**PACIFIC GROVE HS SC1**  
**LOCATION CODE: 425598**  
**ROW NEAR 740 FOREST LODGE RD.**  
**PACIFIC GROVE, CA 93950**

DRAWN BY: MAM

CHECKED BY: FO

SHEET TITLE:  
**TITLE SHEET**

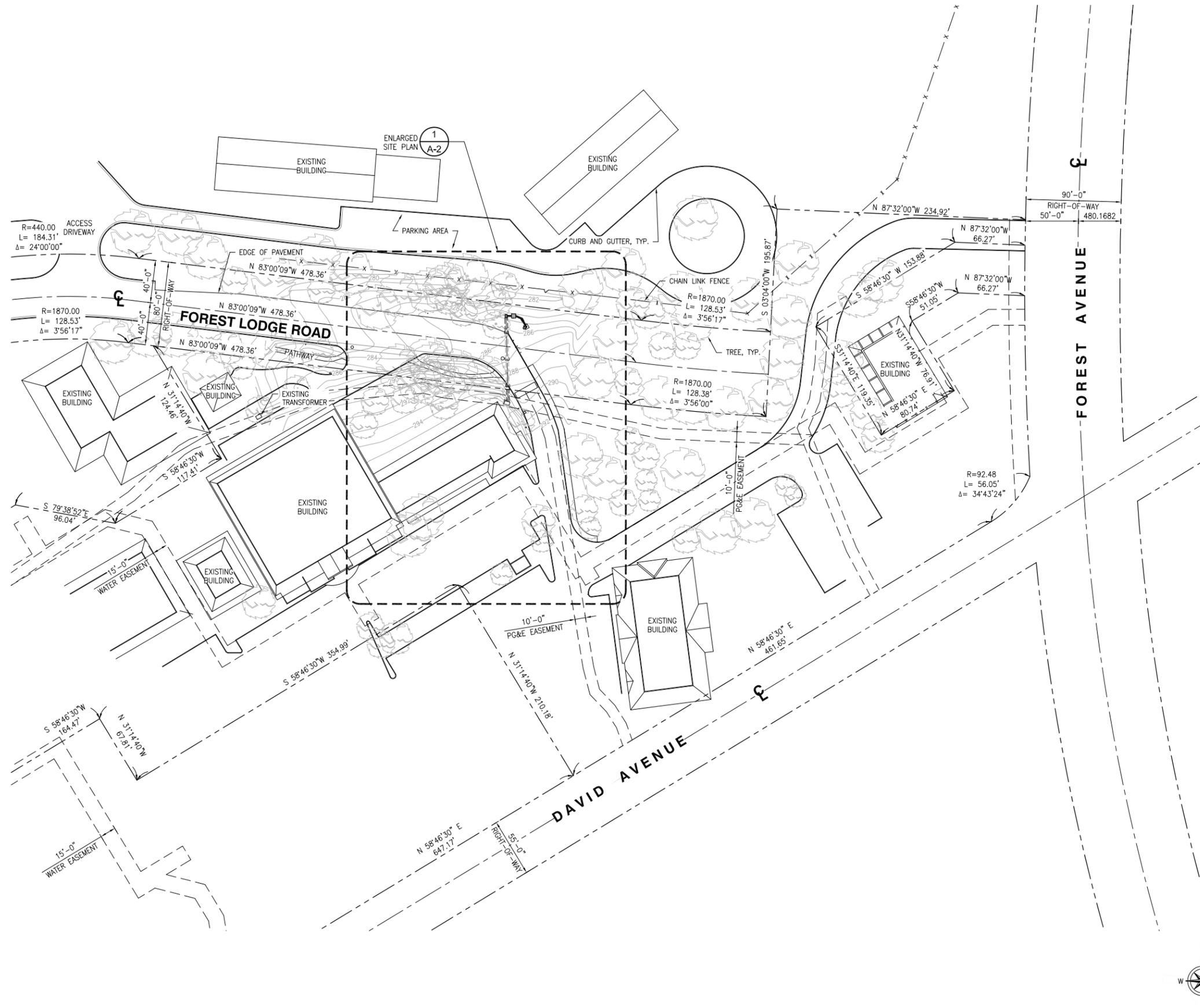
SHEET NUMBER:  
**T-1**





**SITE NOTES:**

1. REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWINGS SHALL NOT BE USED TO IDENTIFY OR ESTABLISH BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE CIVIL SURVEY. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT/ENGINEER.
2. CONTRACTOR TO VERIFY LOCAL UTILITY REQUIREMENTS FOR DEPTH, SIZES, AND SEPARATION OF CONDUITS PRIOR TO INSTALLATION. NOTIFY CONSTRUCTION MANAGER IMMEDIATELY OF ANY DISCREPANCIES.
3. PROPOSED UTILITY SERVICES SHOWN NEED TO BE VERIFIED AND APPROVED BY UTILITY COMPANIES BEFORE START OF CONSTRUCTION. CONTRACTOR TO VERIFY WITH CLIENT PROJECT MANAGER TO OBTAIN FINAL APPROVAL.
4. VERIFY, LOCATE, AND PROTECT ALL EXISTING SUBSTRUCTURES AS REQUIRED. CALL DIG ALERT @ (800) 227-2600 48 HOURS BEFORE ANY EXCAVATION. CONTRACTOR IS RESPONSIBLE TO HAVE ALL NON-PUBLIC UTILITIES LOCATED AT THEIR OWN EXPENSE.
5. LINES SHOWN DOES NOT REPRESENT THE EXACT LOCATION OF THE CONDUIT ROUTES. CONTRACTOR TO VERIFY SERVICE LOCATIONS W/ ACTUAL FIELD CONDITIONS.
6. CONTRACTOR SHALL IMMEDIATELY INFORM CLIENT OF ANY ACCIDENTAL DAMAGE TO EXISTING UTILITIES VIA PHONE OR EMAIL REGARDLESS OF ABILITY TO REPAIR OR MITIGATE. A FOLLOW-UP EMAIL REPORT WITH DIGITAL PHOTOS WILL BE REQUIRED DAILY UNTIL RESOLUTION HAS BEEN ACCEPTED BY CLIENT, AFFECTED SERVICE PROVIDERS, AND RECIPIENTS. AT THEIR OWN EXPENSE. CONTRACTOR WILL EXERCISE ALL EFFORTS TO HAVE REPAIRS MADE BY QUALIFIED TECHNICIANS AS APPROVED BY SERVICE PROVIDER.
7. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, BOTH HORIZONTAL AND VERTICALLY, PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE REFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER, FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE.
8. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
9. ANY DRAIN AND /OR FIELD TILE ENCOUNTERED/DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO IT'S ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK, SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON "AS-BUILT" DRAWINGS BY GENERAL CONTRACTOR, AND ISSUED TO THE ARCHITECT OR ENGINEER AT COMPLETION OF PROJECT.
10. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH THE CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
11. NEW CONDUITS SHALL BE INSTALLED IN TRENCH SUCH THAT THE TOP OF CONDUIT SHALL HAVE A MINIMUM COVER OF 24-INCHES BELOW ADJACENT EDGE OF PAVEMENT OR ORIGINAL GROUND, WHICHEVER IS LOWER IN ELEVATION.
12. ALL PULL BOXES SHALL BE PRECAST REINFORCED CONCRETE AND HAVE NON CONDUCTIVE LIDS. EXISTING PULL BOX COVERS THAT ARE MARKED INCORRECTLY SHALL BE REPLACED.
13. REGRADE LANDSCAPING AS NEEDED AND REPLACE DAMAGED IRRIGATION LINES WITHIN 24 HOURS.



| REV | DATE       | DESCRIPTION         |
|-----|------------|---------------------|
| 1   | 07/09/2017 | 90% ZONING DRAWINGS |

ISSUED DATE:  
**JULY 09, 2018**

ISSUED FOR:  
**90% ZD SET**

LICENSURE:

PROJECT INFORMATION:  
PACIFIC GROVE HS SC1  
LOCATION CODE: 425598  
ROW NEAR 740 FOREST  
LODGE RD.  
PACIFIC GROVE, CA 93950

DRAWN BY: MAM

CHECKED BY: FO

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

**A-1**

**CONSTRUCTION NOTES:**

- METER SHALL NOT FACE THE STREET, ALLEY, OR PROPERTY SIDE OF THE POLE.
- METER BASE AND DISCONNECT SHALL BE BONDED TO A SEPARATE GROUND FROM THE POLE GROUND WITH CONDUCTOR HAVING A CURRENT CAPACITY THAN NO LESS THAN #6 SOLID COPPER CONDUCTOR.
- VERIFY AND RECORD ALL TIES AND FOOTAGES IN FIELD PER FINAL AS-BUILT CONDITIONS.
- PROVIDE ADEQUATE WORKMAN PROTECTION ON WINDING NARROW ROADS OR HEAVY TRAFFIC.
- GROUNDS ARE TO BE TESTED-REQUIRES 5 OHMS OR LESS RESISTANCE.
- ALL LANDSCAPING TO BE RESTORED TO ORIGINAL CONDITION.
- NOTIFY PROPERTY OWNER BEFORE WORKING ON OR AROUND PRIVATE PROPERTY.
- OBTAIN SPECIAL PERMITS AND PAY FEES AS REQUIRED WORKING ON COUNTY HIGHWAY.
- MAINTAIN 36" MINIMUM COVER IN PARKWAY
- MAINTAIN 30" MINIMUM COVER BELOW GUTTER GRADE ON SURFACE STREETS.

**CONDUIT REQUIREMENTS:**

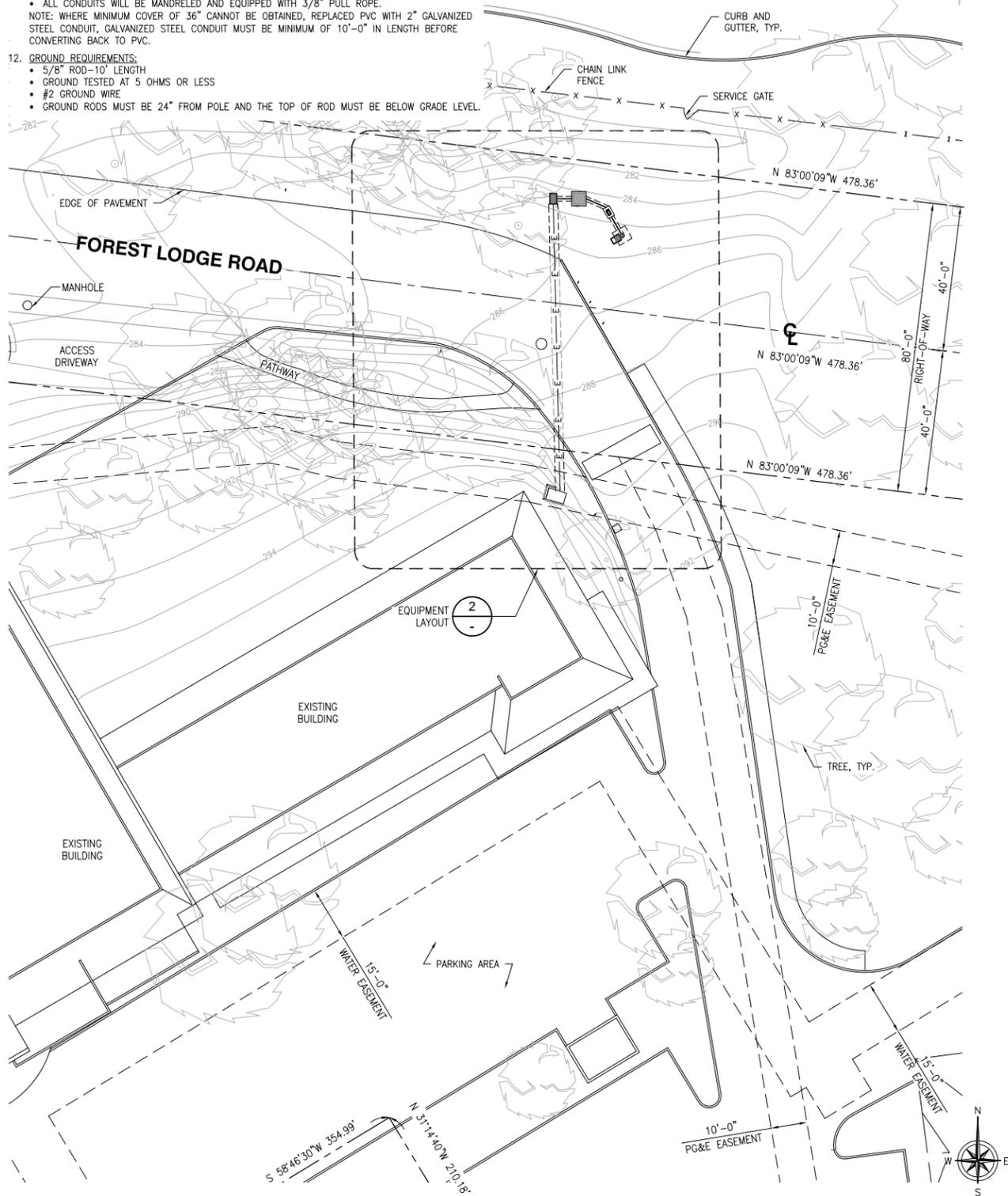
- UNDERGROUND - SCHEDULE 40 PVC OR BETTER
  - RISERS - SCHEDULE 80 PVC
  - ALL CONDUITS WILL BE MANDRELED AND EQUIPPED WITH 3/8" PULL ROPE.
- NOTE: WHERE MINIMUM COVER OF 36" CANNOT BE OBTAINED, REPLACED PVC WITH 2" GALVANIZED STEEL CONDUIT, GALVANIZED STEEL CONDUIT MUST BE MINIMUM OF 10'-0" IN LENGTH BEFORE CONVERTING BACK TO PVC.

**GROUND REQUIREMENTS:**

- 5/8" ROD-10' LENGTH
- GROUND TESTED AT 5 OHMS OR LESS
- #2 GROUND WIRE
- GROUND RODS MUST BE 24" FROM POLE AND THE TOP OF ROD MUST BE BELOW GRADE LEVEL.

**UNDERGROUND UTILITIES NOTE:**

ALL EXISTING SUB-SURFACE UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON THE PLAN HAVE BEEN PLOTTED FROM FIELD SURVEY AND/OR AVAILABLE RECORDS, THE ARCHITECT/ ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR THE ACCURACY OF THE INFORMATION SHOWN ON THE PLANS, OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTORS SHALL BE RESPONSIBLE FOR THE DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTORS SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING UTILITIES. THERE MAY BE EXISTING UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINE SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.

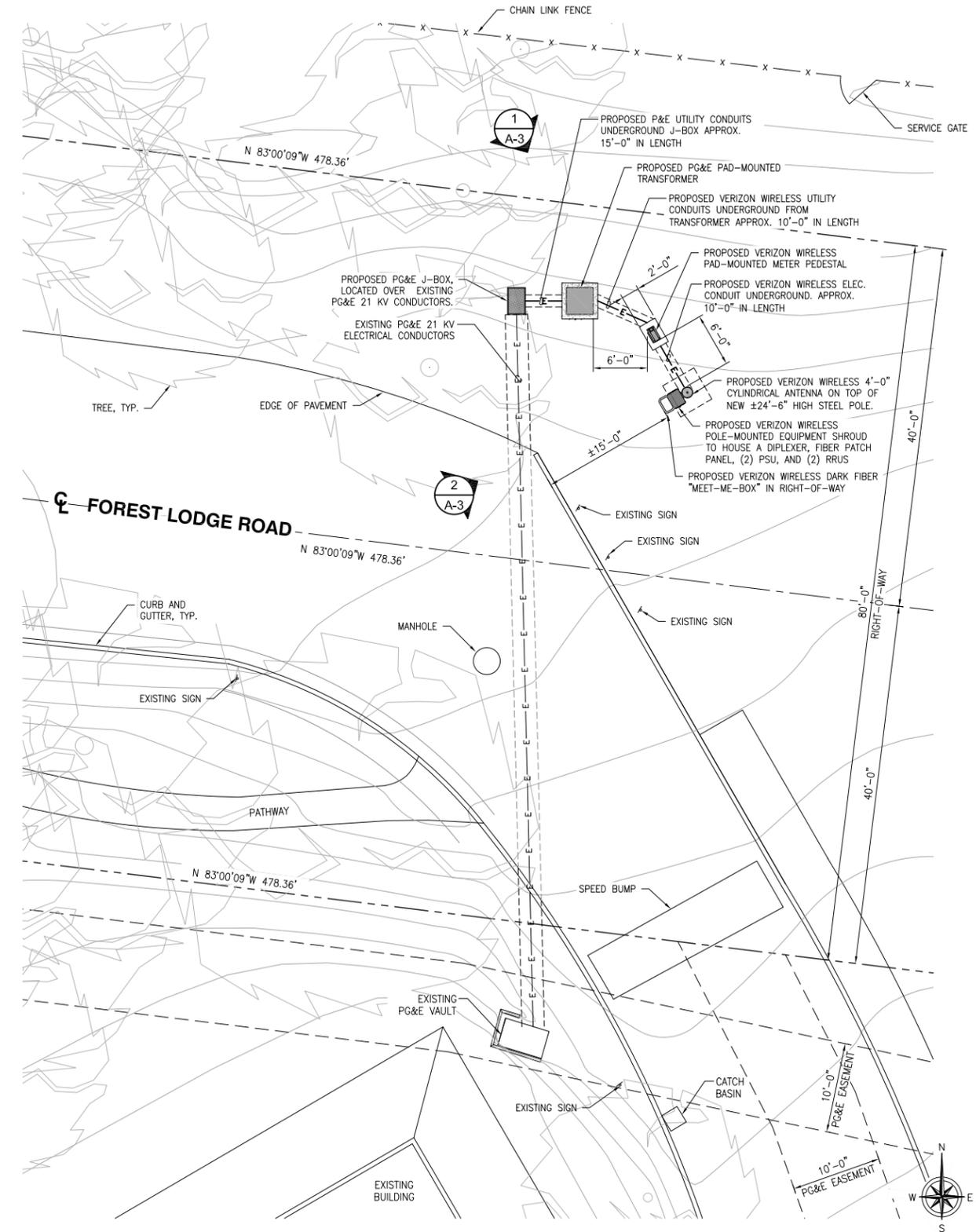


ENLARGED SITE PLAN

24"x36" SCALE: 1" = 20'-0"  
 11"x17" SCALE: 1" = 40'-0"  
 20' 10' 0' 20'

**NOTES:**

- CONTRACTOR TO PLACE SANDBAGS AROUND ANY/ALL STORM DRAIN INLETS TO PREVENT CONTAMINATED WATER.
- SPOILS PILE WILL BE COVERED AND CONTAINED AND STREET WILL BE SWEEPED AND CLEANED AS NEEDED.
- CONTRACTOR TO REPAIR DAMAGED PUBLIC IMPROVEMENTS TO THE SATISFACTION OF THE CITY ENGINEER.
- CURB & GUTTER TO BE PROTECTED IN PLACE. SIDEWALK TO BE REPLACED TO THE SATISFACTION OF THE CITY ENGINEER.
- THE CONTRACTOR SHALL RESTORE THE ROADWAY BACK TO ITS ORIGINAL CONDITION SATISFACTORY TO THE CITY ENGINEER INCLUDING, BUT NOT LIMITED TO PAVING, STRIPING, BIKE LANES, PAVEMENT, LEGENDS, SIGNS, AND TRAFFIC LOOP DETECTORS.



EQUIPMENT LAYOUT

24"x36" SCALE: 1/8" = 1'-0"  
 11"x17" SCALE: 1/16" = 1'-0"  
 8' 6' 4' 2' 0' 8'



| REV | DATE       | DESCRIPTION         |
|-----|------------|---------------------|
| 1   | 07/09/2017 | 90% ZONING DRAWINGS |

ISSUED DATE:  
 JULY 09, 2018

ISSUED FOR:  
 90% ZD SET

LICENSURE:

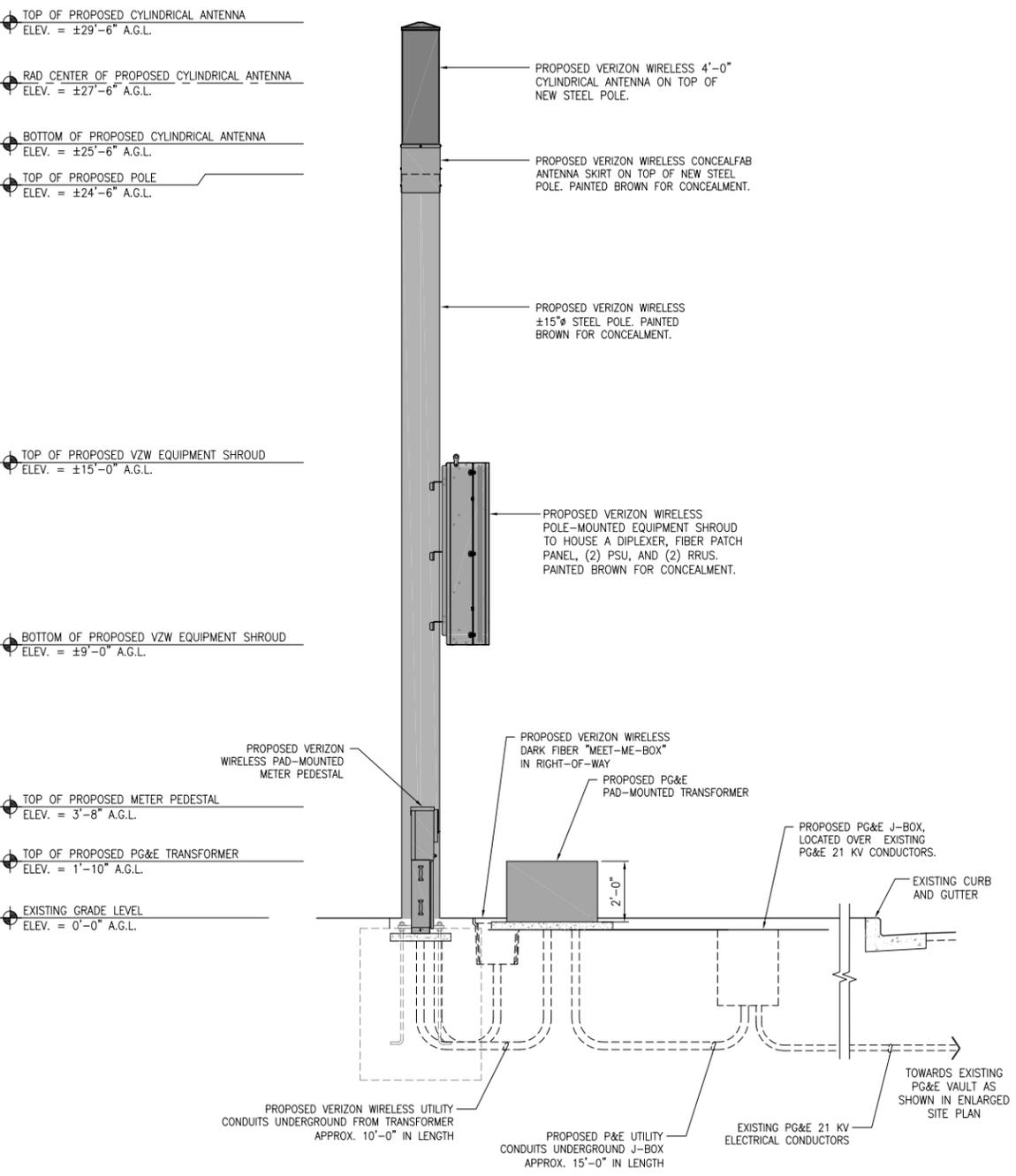
PROJECT INFORMATION:  
 PACIFIC GROVE HS SC1  
 LOCATION CODE: 425598  
 ROW NEAR 740 FOREST LODGE RD.  
 PACIFIC GROVE, CA 93950

DRAWN BY: MAM  
 CHECKED BY: FO

SHEET TITLE:  
 ENLARGED SITE PLAN,  
 EQUIPMENT AND  
 ANTENNA LAYOUT

SHEET NUMBER:

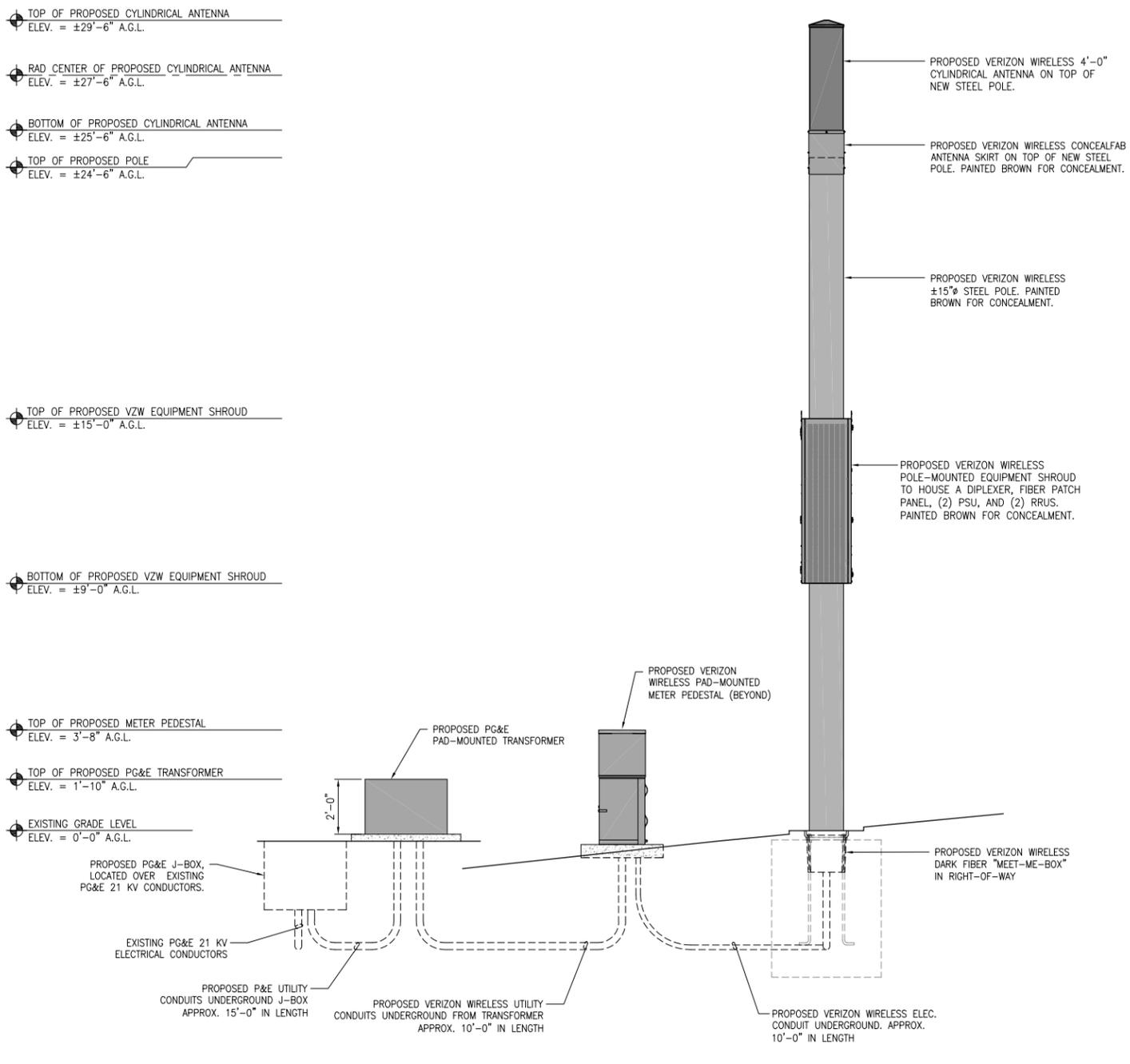
NOTES:  
 1. THE NEW LAYOUT IS PRELIMINARY AND SUBJECT TO CHANGE PENDING FULL STRUCTURAL ANALYSIS.  
 2. NEW TOWER, ANTENNAS, EQUIPMENT SHROUD, AND ALL EXPOSED HARDWARE SHOULD BE PAINTED BROWN FOR CONCEALMENT AS NECESSARY.



NORTHWEST ELEVATION

24"x36" SCALE: 3/8" = 1'-0"  
 11"x17" SCALE: 3/16" = 1'-0"

NOTES:  
 1. THE NEW LAYOUT IS PRELIMINARY AND SUBJECT TO CHANGE PENDING FULL STRUCTURAL ANALYSIS.  
 2. NEW TOWER, ANTENNAS, EQUIPMENT SHROUD, AND ALL EXPOSED HARDWARE SHOULD BE PAINTED BROWN FOR CONCEALMENT AS NECESSARY.



SOUTHWEST ELEVATION

24"x36" SCALE: 3/8" = 1'-0"  
 11"x17" SCALE: 3/16" = 1'-0"

ATTACHMENT H  
 OPTION 3



| REV | DATE       | DESCRIPTION         |
|-----|------------|---------------------|
| 1   | 07/09/2017 | 90% ZONING DRAWINGS |

ISSUED DATE:  
 JULY 09, 2018

ISSUED FOR:  
 90% ZD SET

LICENSURE:

PROJECT INFORMATION:  
 PACIFIC GROVE HS SC1  
 LOCATION CODE: 425598  
 ROW NEAR 740 FOREST LODGE RD.  
 PACIFIC GROVE, CA 93950

DRAWN BY: MAM  
 CHECKED BY: FO

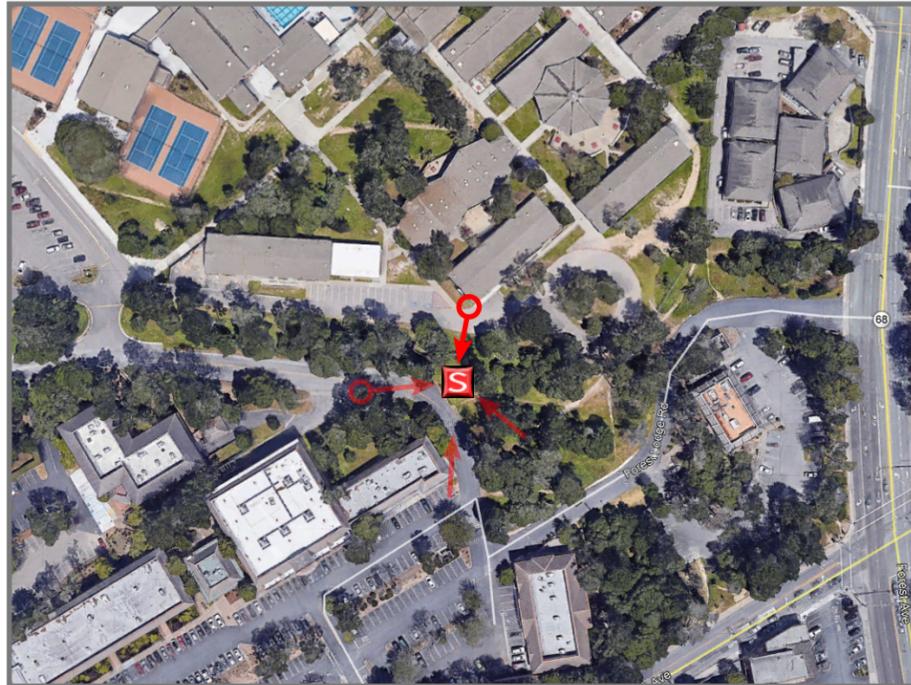
SHEET TITLE:  
 ARCHITECTURAL ELEVATIONS

SHEET NUMBER:  
 A-3



# PACIFIC GROVE HS SC 1

740 FOREST LODGE ROAD PACIFIC GROVE CA 93950



LOCATION

©2017 Google Maps



EXISTING



PROPOSED

LOOKING SOUTH FROM CAMPUS



# PACIFIC GROVE HS SC 1

740 FOREST LODGE ROAD PACIFIC GROVE CA 93950





# PACIFIC GROVE HS

740 FOREST LODGE ROAD PACIFIC GROVE CA 93950





# PACIFIC GROVE HS

740 FOREST LODGE ROAD PACIFIC GROVE CA 93950



**NOTICE OF EXEMPTION FROM CEQA**  
**Use Permit Application #17-1111**

**ENVIRONMENTAL DETERMINATION:**

The City of Pacific Grove Planning Division determined the project is exempt from the California Environmental Quality Act (CEQA) Guidelines (Article 19, Section 15303, Class 3, for “construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures,”) because the project involves the construction of one new pole with wireless communication facility equipment, or the installation of wireless communication facility equipment to be attached onto an existing utility pole, in addition to associated equipment such as a meter pedestal and a transformer.

Furthermore, the project does not qualify for any of the exceptions to the categorical exemptions found at CEQA Guidelines Section 15300.2:

Exception A – “Location. Classes 3, 4, 5, 6, and 11 are qualified by consideration of where the project is to be located – a project that is ordinarily insignificant in its impact on the environment may in a particularly sensitive environment be significant. Therefore, these classes are considered to apply all instances, except where the project may impact on an environment resource of hazardous or critical concern where designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies.”

*Staff comment: The project site is located within an established urban environment and there are no potential issues related to an environmental resource of hazardous or critical concern. Furthermore, the project is not located within or near an environmental resource of hazardous or critical concern that has been designated, precisely mapped, or officially adopted pursuant to law by federal, state, or local agencies. The project site is not located adjacent to any historical properties.*

Exception B – “Cumulative Impact. All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.”

*Staff comment: The project site is located within an established urban environment. The applicant is proposing only one wireless communication facility. Furthermore, a permit condition of approval states, “Subsequent changes shall require city approval and may require further CEQA review.” The project does not pose a foreseeable environmental impact. No future addition is imminent or can be considered reasonably foreseeable. Therefore, no cumulative effect is anticipated.*

Exception C – “Significant Effect. A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.”

*Staff comment: The project site is located within an established urban environment where utility poles with small wireless telecommunication facility equipment attached onto the pole or nearby are a commonplace feature. The City of Pacific Grove’s Fire Chief is not aware of any data classifying wireless telecommunication facility equipment*

*as causing or contributing to a fire hazard. Therefore, there are no unusual environmental circumstances.*

Exception D – “Scenic Highways. A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway. This does not apply to improvements which are required as mitigation by an adopted negative declaration or certified EIR.”

*Staff comment: The project site is not located on, nor is it visible from, a designated state scenic highway. Highway 68 includes a portion of Sunset Drive. However, according to Caltrans, only the 14 mile portion of Highway 68 from State Route 1 in Monterey to the Salinas River is designated by Caltrans as a scenic highway and included in the State Scenic Highway System.*

Exception E – “Hazardous Waste Sites. A categorical exemption shall not be used for a project located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code.”

*Staff comment: The project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5.*

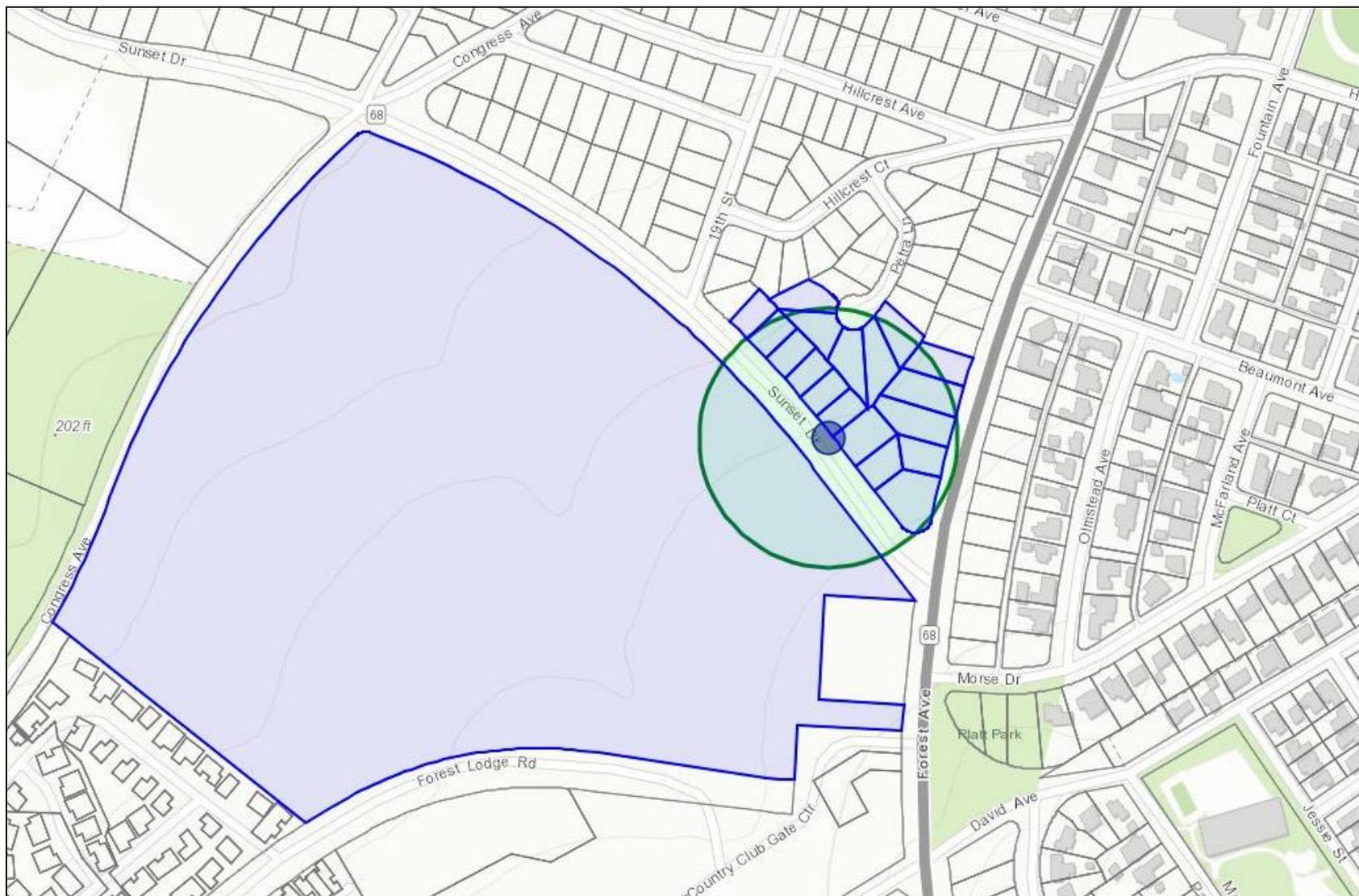
Exception F – “Historical Resources. A categorical exemption shall not be used for a project which may cause a substantially adverse change in the significance of a historical resource.”

*Staff comment: As the project site does not contain any historical resource, and is not located adjacent to any historical resources, there will not be any substantial adverse change in the significance of a historical resource.*

## **CONCLUSION**

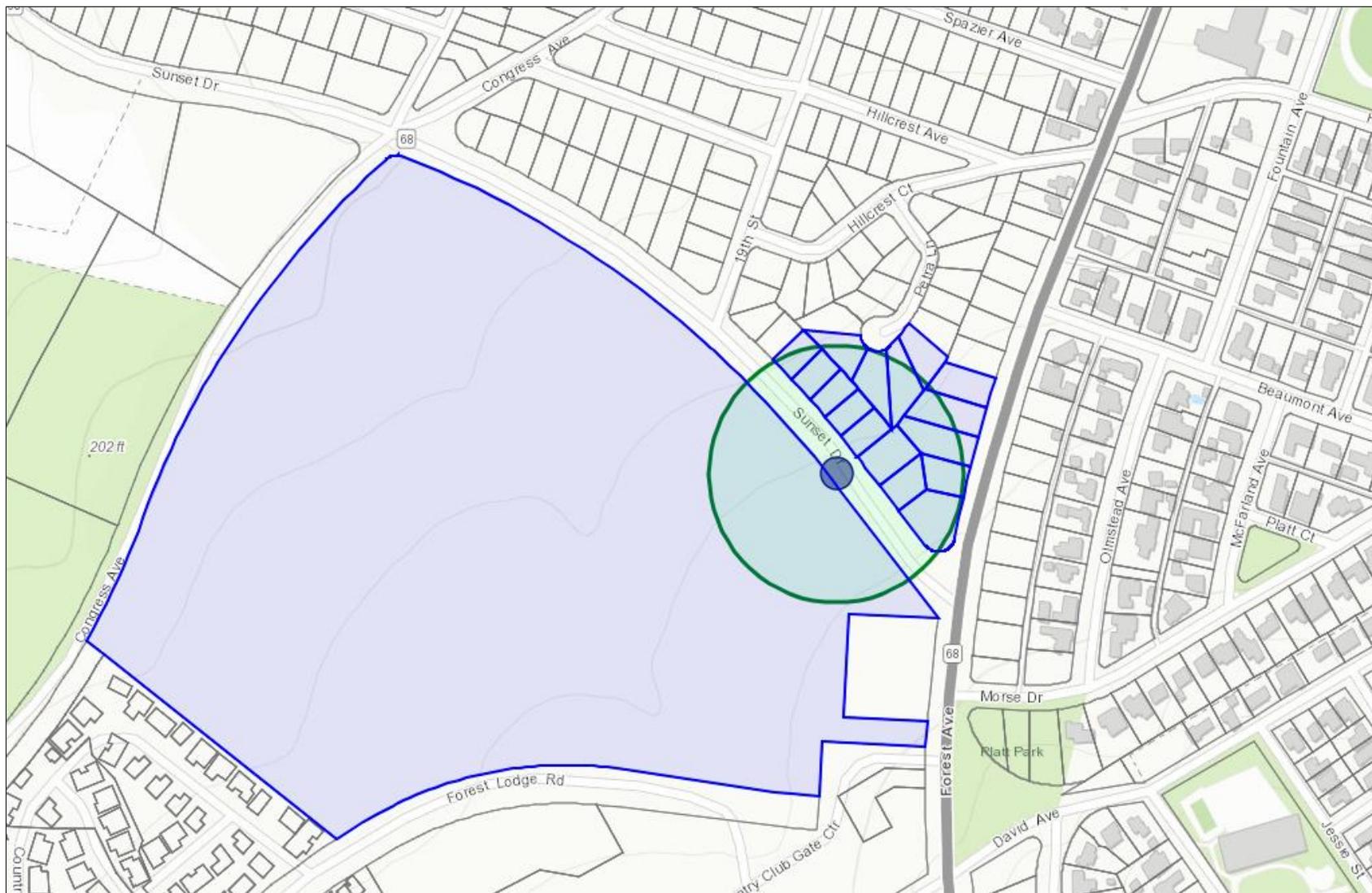
For the reasons described above, the proposed project qualifies for a categorical exemption under Class 3, and no further environmental analysis is required.

Properties within 300 feet of Project Site Noticed for Use Permit Application #17-1111\*



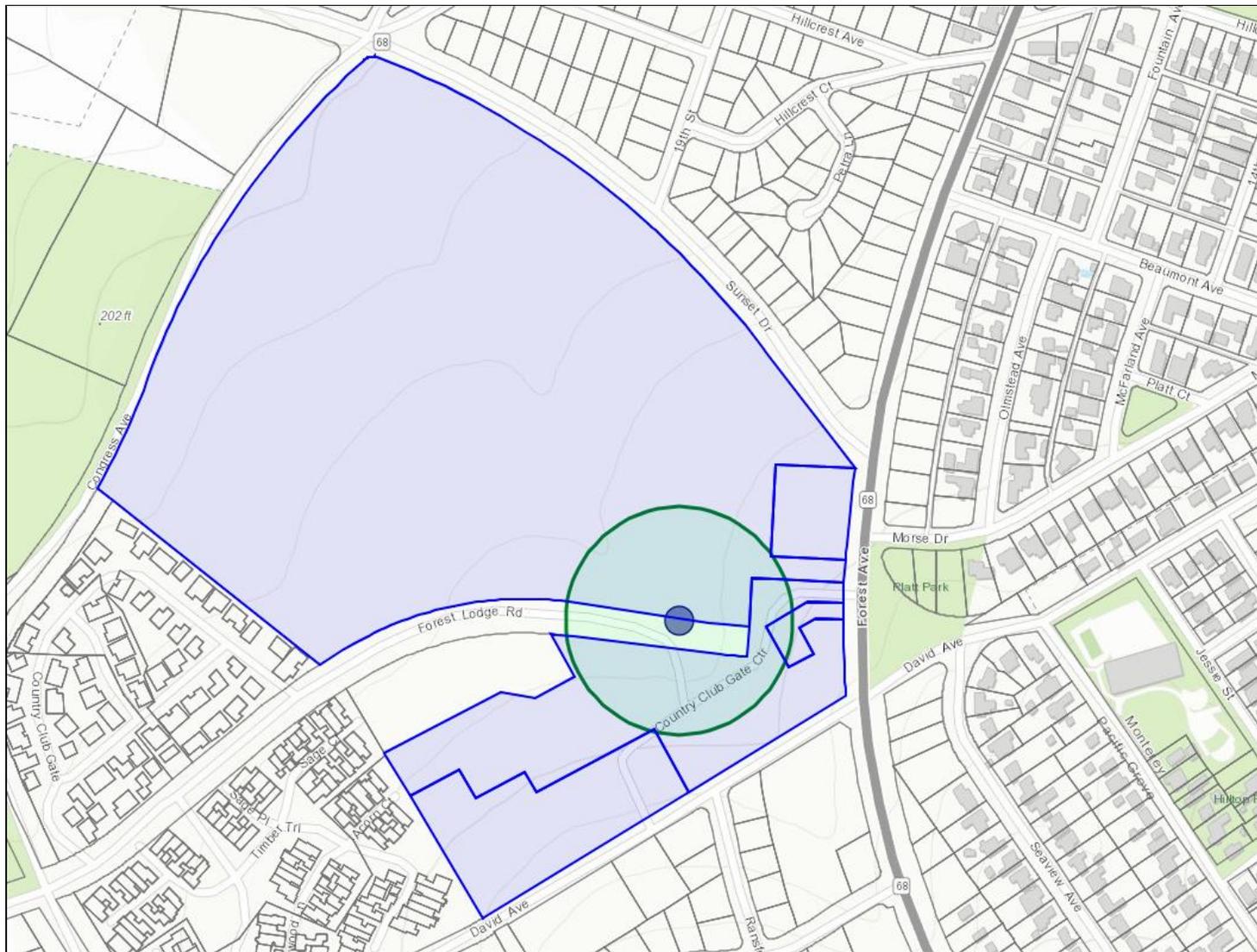
\*Note: Staff has noticed additional properties beyond the 300 feet minimum requirement

Properties within 300 feet of Project Site Noticed for Use Permit Application #17-1111\*



\*Note: Staff has noticed additional properties beyond the 300 feet minimum requirement

Properties within 300 feet of Project Site Noticed for Use Permit Application #17-1111\*



\*Note: Staff has noticed additional properties beyond the 300 feet minimum requirement



## AFFIDAVIT

Project Location: Public right-of-way of 600 block of Sunset Drive or public right-of-way of 700 block of Forest Lodge Road, Pacific Grove, CA 93950

Application #: Use Permit (UP) #17-1111

## DECLARATION

I, Wendy Lao/Haroon Noori, declare as follows:

1. The Notice of Public Hearing was posted on the subject lot in a location that can be viewed from the nearest street. If the subject lot is a through lot, a notice was conspicuously posted adjacent to each street frontage in a location that can be viewed from the street. w.l.
2. The Notice of Public Hearing was mailed to owners of all properties 300 feet from the subject lot. The names and addresses used for such notice were those appearing on the equalized county assessment roll, as updated from time to time. HN
3. The Notice of Public Hearing was posted in a newspaper at least 10 days prior to the Public Hearing. w.l.

I declare under penalty of perjury under laws of the State of California that the foregoing is true and correct.

Print Name: wendy lao Signature: [Handwritten Signature]

Date: 7/16/18

Print Name: Haroon Noori Signature: [Handwritten Signature]

Date: 7/16/18