



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Chair Fredrickson and Members of the Planning Commission
FROM: Wendy Lao, AICP, Associate Planner
MEETING DATE: June 21, 2018

LOCATION: Western side of public right-of-way of 600 block of Sunset Drive, adjacent to Pacific Grove High School.

SUBJECT: Use Permit (UP) Application No. 17-111 to add a new pole with an antenna and associated wireless telecommunications facility equipment for a total height of 29 feet and 6 inches. A meter pedestal of 4 feet and 6 inches height is proposed to be located next to the proposed pole.

APPLICANT: Ben Hackstedde, Sequoia Deployment Services, on behalf of Verizon Wireless, Inc.

ZONING/LAND USE: None; public right-of-way

CEQA: Categorical Exemption, Section 15303, Class 3, Construction or Conversion of Small Structures

RECOMMENDATION:

Hold a public hearing to discuss Use Permit Application No. 17-1111, consider three design options, and continue to a Special Meeting on Friday, June 29, 2018 after public noticing for new design and location has been completed.

Should the Planning Commission take an action to deny the use permit application, it needs to do so in accordance with The National Telecommunications Reform Act of 1996, Section 704, (B) (I) (iii) *“Any decision by a State or local government to deny a request to place, construct, or modify personal wireless service facilities shall be in writing and be supported by substantial evidence contained in a written record.”*

BACKGROUND:

On December 5, 2017, the applicant applied for a Use Permit to allow for the installation of wireless communication facility equipment onto an existing utility pole on the eastern side of the public right-of-way of Sunset Drive. The applicant also held a community workshop at the Pacific Grove Youth Center on April 26, 2018 to answer questions from members of the public.

Approximately 20 members of the public attended the workshop. The Planning Commission then held a public hearing on [June 7, 2018](#) to review the proposed project. The Planning Commission passed a motion to relocate the project across the street with a consideration of installing a new pole. On June 11, 2018, the applicant submitted a revised design to city staff, with the proposal now located on a new pole in the public right-of-way adjacent to Pacific Grove High School (see Attachment F). A meter pedestal is proposed to be located next to the proposed pole. The applicant also submitted renderings of three different design options.

The revised Use Permit application proposes a new pole with a cylindrical antenna and associated wireless telecommunications facility equipment for a total height of 29 feet and 6 inches. Three different design options were submitted. The first design, Option A, is a new pole and equipment painted in a gray color. The second design, Option B, is a new pole and equipment concealed as a predominantly yellow pencil sculpture. The third design, Option C, is a new pole and equipment painted in a yellow color. In all cases, the cylindrical antenna is 4 feet in height to be located 25 feet and 6 inches above ground. A pole-mounted shroud of 6 feet in height to conceal additional equipment is to be located 9 feet above ground and directly faces the street. A meter pedestal of approximately 1 foot and 9 inches wide, 1 foot deep, and 4 feet and 6 inches in height is to be located approximately 27 feet away from the proposed pole.

PGMC §23.64.060 allows wireless telecommunication facilities to be permitted in any district, except the O district, subject to first obtaining a use permit.

The public right-of-way does not have a zoning designation. However, the site is adjacent to Pacific Grove High School to the southwest, which is located in the Unclassified (U) zoning district, and is otherwise surrounded by properties in the R-1 zoning district.

DISCUSSION:

The General Plan is silent with respect to telecommunications equipment and facilities. However, the General Plan Chapter 8, Urban Structure and Design, Program K, states, “Underground all utilities in entry areas that are particularly scenic or provide important views into Pacific Grove.” As a result, staff recommends undergrounding equipment where possible, or ensuring the equipment is not visually significant from the street.

The City may not prohibit the installation of wireless facilities on utility poles along the public right-of-way, under the Federal Telecommunications Act Section 253. However, the City, State, and other local governments may regulate the placement, construction, and modification of personal wireless service facilities, except as provided, under the Telecommunications Reform Act of 1996 (Telecommunications Reform Act or Act) Section 704(a)(7)(A).

The following is a summary of applicable key provisions of the Telecommunication Reform Act:

Local Zoning Authority Preserved – Section 704(a)(7)(A) preserves the authority of State and local governments over decisions regarding the placement, construction, and modification of personal wireless service facilities, except as provided.

State and Localities May Not Take Discriminatory or Prohibiting Actions – The City shall not unreasonably discriminate among providers of functionally equivalent services and shall not prohibit or have the effect of prohibiting the provision of personal wireless services.

Procedures for Ruling on Requests to Place, Construct, or Modify Personal Wireless Service Facilities – Requires local government to act upon a request for authorization to place, construct, or modify personal wireless service facilities within a reasonable time. Any decision to deny a request must be made in writing and be supported by substantial evidence contained in a written record.

Regulations for Evaluating the Environmental Effects of Radiofrequency Radiation – The City is prohibited from denying a permit to install wireless communication equipment based on health concerns over radio frequency emissions, provided that the emissions from the facility comply with Federal Communications Commission (FCC) standards. The Act also prohibits local jurisdictions from imposing more stringent safety standards than the FCC standards.

Points to Consider:

The following points have been identified for the Planning Commission to consider regarding this proposal:

Compatibility with surrounding uses: The proposed use is located along the public right-of-way, adjacent to the Pacific Grove High School to the southwest which is in the Unclassified (U) zoning district. Otherwise, the neighboring properties are residences in the R-1 zoning district. The proposed use is considered a utility and therefore will not generate noise or odors that will adversely impact neighboring uses.

Visual impact resulting from installation of proposed equipment: The applicant has provided photo simulations that illustrate the existing and proposed site elevations. As described above, a pole with an antenna totaling 29 feet and 6 inches in height, and a pole-mounted shroud of 6 feet in height, directly faces Highway 68. Staff recommends undergrounding the shroud and all equipment where possible to reduce visual clutter.

Three different design options were submitted. The first design, Option A, is a new pole and equipment painted in a gray color, which is a traditional color for utility equipment. The second design, Option B, is a new pole and equipment concealed as a predominantly yellow pencil sculpture. This is not traditional but the Planning Commission may find that this design complements the school adjacent to the site. The third design, Option C, is a new pole and equipment painted in a yellow color. This is not a traditional utility equipment color and does not appear to match the neighborhood character. The applicant has noted that the pole and equipment may be painted another color.

This project is also scheduled to be reviewed by the Beautification and Natural Resources Commission on June 19, 2018 to gather input regarding the design.

Radio frequency emissions. There has been increased awareness and considerable debate in recent years regarding radio frequency emissions with respect to potential human health impacts. The scientific community has not reached consensus on the nature of potential human health impacts, if any, and studies are ongoing. As already noted in this staff report, Section 704 of the Act expressly preempts State and local government regulation of the placement, construction, and modification of personal wireless service facilities on the basis of the environmental effects of radio frequency emissions to the extent that such facilities comply with the FCC’s regulations concerning such emissions. The Act also prohibits local jurisdictions from imposing more stringent safety standards than the FCC standards. The radio frequency report found that the proposal will be below the FCC’s permitted maximums, and therefore will be in full compliance with FCC RF public and occupational safety exposure standard. Staff recommends a condition of approval requiring full and ongoing compliance with all applicable FCC regulations.

Service level quality. The installation of the proposed antennas and equipment will provide service coverage for some areas that currently have poor coverage and will boost service levels for areas that currently have good coverage. The proposed project will provide an enhanced level of telecommunication service for residents, businesses, and visitors.

Effect on economic development. Businesses and residences have come to rely on wireless technologies in their day-to-day operations. Enhanced service levels will support both current and future technologies within the City.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

City staff determined the project is exempt from CEQA pursuant to the CEQA Guidelines, Article 19, Section 15303, Class 3, for “construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures” because the project involves the construction of a wireless communication facility on a new pole. Furthermore, the project does not qualify for any of the exceptions to the categorical exemptions found at CEQA Guidelines Section 15300.2.

FINDINGS

Staff recommends if UP 17-1111 is approved, the permit must be subject to the recommended findings (see Attachment B, Draft Permit).

CONDITIONS

Staff recommends if UP 17-1111 is approved, the permit must be subject to the recommended conditions (see Attachment B, Draft Permit).

ATTACHMENTS

- A. Application
- B. Draft Permit
- C. Radio Frequency Report – Original

- D. CEQA Documentation
- E. Site Plans – Revised Design and Revised Location
- F. Rendering – Design Option A – Gray Paint
- G. Rendering – Design Option B – Yellow Pencil
- H. Rendering – Design Option C – Yellow Paint

RESPECTFULLY SUBMITTED:



Wendy Lao, AICP
Associate Planner



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Application # UP17-111
Date: 12/5/17
Total Fees: \$4,208.10

APPLICANT/OWNER:	Project Address: <u>Public ROW in front of 618 Sunset Drive, Pacific Grove, CA 93950</u>	APN: <u>N/A</u>									
	Project Description: <u>Telecommunications facility consists of adding a 4' antenna within a canister ('cantenna' design) mounted on the top of the existing 24'-8" high NCJPA pole. In addition, the Radio Remote Units (RRU's) and the equipment cabinet will be mounted on the existing pole between approximately 10' high for equipment cabinet and 20' high for the RRU's. The pole, cantenna and RRU's will be painted to match the existing utility pole. The meter pedestal will be located across the street on the other side of Sunset Drive in the existing parkway.</u>										
	Tree Work? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No										
	<table border="0"> <tr> <td style="text-align: center;"><u>Applicant</u></td> <td style="text-align: center;"><u>Owner</u></td> </tr> <tr> <td>Name: <u>Ben Hackstedde w/Sequoia Deployment Services on behalf of Verizon Wireless</u></td> <td>Name: <u>Public ROW</u></td> </tr> <tr> <td>Phone: <u>949-259-3344</u></td> <td>Phone: <u>N/A</u></td> </tr> <tr> <td>Email: <u>ben.hackstedde@sequoia-ds.com</u></td> <td>Email: <u>N/A</u></td> </tr> <tr> <td>Mailing Address: <u>22471 Aspan Street, Suite 290, Lake Forest, CA 92630</u></td> <td>Mailing Address: <u>N/A</u></td> </tr> </table>		<u>Applicant</u>	<u>Owner</u>	Name: <u>Ben Hackstedde w/Sequoia Deployment Services on behalf of Verizon Wireless</u>	Name: <u>Public ROW</u>	Phone: <u>949-259-3344</u>	Phone: <u>N/A</u>	Email: <u>ben.hackstedde@sequoia-ds.com</u>	Email: <u>N/A</u>	Mailing Address: <u>22471 Aspan Street, Suite 290, Lake Forest, CA 92630</u>
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PLANNING STAFF USE ONLY:	Permit Request:			
	<input type="checkbox"/> CRD: Counter Determination	<input checked="" type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> LM: Lot Merger	<input type="checkbox"/> EIR: Environmental Impact
	<input type="checkbox"/> AP: Architectural Permit	<input checked="" type="checkbox"/> UP: Use Permit	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> VAR: Variance
	<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> AUP: Administrative UP	<input type="checkbox"/> HPP: Historic Preservation	<input type="checkbox"/> MMP: Mitigation Monitoring
<input type="checkbox"/> ADC: Arch Design Change	<input type="checkbox"/> ADU: Acc. Dwelling Unit	<input type="checkbox"/> A: Appeal	<input type="checkbox"/> Stormwater Permit	
<input type="checkbox"/> ASP: Admin Sign Permit	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> TPD: Tree Permit W/ Dev't	<input type="checkbox"/> Other: _____	
CEQA Determination:		Review Authority:		
<input checked="" type="checkbox"/> Exempt	<input type="checkbox"/> Staff	<input type="checkbox"/> HRC	Active Permits:	
<input type="checkbox"/> Initial Study & Mitigated Negative Declaration	<input type="checkbox"/> ZA	<input checked="" type="checkbox"/> PC	<input type="checkbox"/> Active Planning Permit	
<input type="checkbox"/> Environmental Impact Report	<input type="checkbox"/> SPRC	<input type="checkbox"/> CC	<input type="checkbox"/> Active Building Permit	
	<input type="checkbox"/> ARB	<input type="checkbox"/> _____	<input type="checkbox"/> Active Code Violation	
			Permit #: _____	
		Overlay Zones:		
		<input type="checkbox"/> Butterfly Zone		
		<input type="checkbox"/> Coastal Zone		
		<input checked="" type="checkbox"/> Area of Special Biological Significance (ASBS)		
		<input type="checkbox"/> Environmentally Sensitive Habitat Area (ESHA)		
Property Information				
Lot: _____		Block: _____		
Tract: _____		Tract: _____		
ZC: <u>R-1</u>		GP: <u>MDR 17.4 DU/A.C.</u>		
Lot Size: _____		Lot Size: _____		
<input type="checkbox"/> Historic Resources Inventory				
<input type="checkbox"/> Archaeologically Sensitive Area				
Staff Use Only:				
Received by: <u>A. Aziz</u>				
Assigned to: <u>W. Lao</u>				
<p>DEC 05 2017 SPAID CC(108.32)</p> <p>1,500.00 + 2,816.42 = 4,316.42</p> <p>CITY OF PACIFIC GROVE 12-5-17</p> <p>COMMUNITY DEV DEPT</p>				

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge. I further acknowledge it is my responsibility to determine whether additional permits are required.

Applicant Signature: [Signature] **Date:** 08/28/2017

Owner Signature (Required): N/A **Date:** _____



CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.cityofpacificgrove.org

USE PERMIT (UP) NO. 17-1111

FOR A SITE LOCATED ALONG THE WESTERN SIDE OF THE PUBLIC RIGHT-OF-WAY OF THE 600 BLOCK OF SUNSET DRIVE, TO ALLOW THE INSTALLATION OF A NEW POLE AND ANTENNA WITH ASSOCIATED WIRELESS TELECOMMUNICATION FACILITY EQUIPMENT.

FACTS

1. The subject site is located along the western side of the public right-of-way of the 600 block of Sunset Drive, Pacific Grove, 93950.
2. The site does not have a zoning designation as it is located in the public right-of-way.
3. The site is adjacent to a property in the Unclassified (U) zoning district for the Pacific Grove High School to the southwest, and Highway 68, and is in proximity to properties in the R-1 zoning district.
4. The subject site is located in the Area of Special Biological Significance Watershed.
5. This project has been determined to be CEQA Exempt under CEQA Guidelines, Class 3, Section 15303(d).
6. Wireless telecommunication facilities may be permitted in any district, except the O district, provided a use permit shall first be obtained in each case, per P.G.M.C. 23.64.060.

FINDINGS

Per P.G.M.C. Section 23.70.080(a)(4):

1. The proposed use is allowed with a use permit in the public right-of-way and complies with all applicable provisions of these regulations, and;
2. The establishment, maintenance, and operation of the use will not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use, and;
3. The use, as described and conditionally approved, will not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare to the city, and;
4. The location, size, design, and operating characteristics of the proposed use are compatible with the existing and future land uses in the vicinity.

PERMIT

Use Permit (UP) No. 17-1111 per P.G.M.C. 23.64.060.

CONDITIONS OF APPROVAL

1. **Permit Expiration:** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction and Use Compliance:** All activities must occur in strict compliance with the proposal as set forth in the application for this Use Permit, subject to any special conditions of approval herein. Any

deviation from approvals must be reviewed and approved by staff, and may require Planning Commission approval.

3. **Public Works, Fire, Building, and CalTrans:** Review and approval by the Public Works, Fire and Building Departments and CalTrans are required prior to issuance of a Building Permit. Work taking place in the public right-of-way shall require an Encroachment Permit prior to issuance of the building permit.
4. **Conformance to Plans.** Development of the site shall conform to approved plans for “Pacific Grove HS SC1”, submitted to the Community and Economic Development Department on June 11, 2018, with the exception of any subsequently approved changes
5. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the Urban Forestry Standards, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the City Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
6. **During-Construction Pollution Prevention (a):** During construction, the developer shall employ storm water best management practices (BMPs) for erosion and sediment control, prevention of non-stormwater discharges, and implement good housekeeping and construction waste management practices to protect the storm drainage system and water quality as required by City Code Section 9.30.130(c), the City Phase II NPDES Permit, State Water Resources Control Board (SWRCB) Construction General Permit (CGP), and the Monterey Regional Storm Water Management Program (MRSWMP). Plans for during-construction storm water management and BMPs, such as a Storm Water Pollution Prevention Plan (SWPPP), shall be submitted to the City and subject to review and approval of the Public Works/Community Development Director and Building Official prior to issuance of a grading and/or building permit.
7. **During-Construction Pollution Prevention (b):** Construction activities subject to BMP requirements shall continuously employ measures to control waste such as discarded building materials, concrete truck washout, chemicals, litter, and sanitary waste at the construction site that may cause adverse impacts to water quality, contamination, or unauthorized discharge of pollutants.
8. **During-Construction Pollution Prevention (c):** Whenever construction activity is being done contrary to and in violation of Municipal Code Chapter 9.30, the Public Works/Community Development Director may order that construction activity to stop by posting a written notice on the premises. All persons shall immediately stop such work unless or until the public works director authorizes removing the stop work order and allows construction activity to proceed.
9. **Archaeology:** If human remains are encountered during excavations associated with this project, all work will halt, and the County Coroner will be notified. The County Coroner will determine the remains are of forensic interest. If the County Coroner, with the aid of the supervising archaeologist, determines the remains are prehistoric, he/she will contact the Native American Heritage Commission (NAHC). The NAHC will be responsible for designating the most likely descendant (MLD), who will be responsible for

the ultimate disposition of the remains, as required by Section 7050.5 of the California Health and Safety Code. The MLD will make his/her recommendations within 24 hours of their notification by the NAHC. This recommendation may include scientific removal and nondestructive analysis of human remains and items associated with Native American burials (Section 7050.5 of the Health and Safety Code). In the event that any other cultural material is encountered during construction of this telecommunications facility, work shall be halted within 50 meters of the find and a qualified archaeologist should be notified. The archaeologist will assess the find and provide mitigation recommendations.

10. **Monterey County Health Department.** Approval from the Monterey County Health Department, Environmental Health Bureau is required prior to the issuance of building permits.
11. **Signature:** The resolution for the use permit is not valid and construction shall not commence until a copy of the resolution signed by the permittee or authorized agent, acknowledging receipt of the permits and acceptance of the terms and conditions, is returned to the Community and Economic Development Department.
12. **Terms and Conditions:** These terms and conditions shall run with the land, and it is the intention of the Planning Commission and the Permittee to bind all permittees of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made, and the Planning Commission approves, any such amendments pursuant to the Zoning Code regulations.
13. **Conditions of Approval in Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.
14. **Compaction Report:** The permittee shall submit a compaction report prior to repaving, at the expense of the permittee/contractor.
15. **Traffic Control Plan:** The permittee shall submit a traffic control plan to be approved by the City Engineer and/or CalTrans.
16. **Federal Communications Commission (FCC):** The facility shall be operated in full compliance at all times with applicable Federal Communications Commission guidelines and regulations. Warning signs shall be posted in compliance with FCC guidelines and requirements.
17. **Reports:** The permittee shall submit an annual monitoring report prepared by a licensed electrical/mechanical engineer to the Community Development Department for the purpose of demonstrating that the facility is in full compliance with guidelines and regulations established by the Federal Communications Commission regarding radio frequency emissions. The first report shall be due one year from final approval of the building permit required for installation of the equipment, and any other additional reports may be required.
18. **Signage:** No logos, signs or other forms of advertising are permitted to be installed on antennas or related equipment.

19. **Equipment:** No additional antennas or related equipment may be installed without prior approval from the Community & Economic Development Department. The permittee shall remove antennas and equipment that have not been in service for a continuous period of six months.

20. **Road and Sidewalk Condition:** All affected roads and sidewalks shall be restored to original or better condition.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF PACIFIC GROVE:

1. The Commission determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Commission authorizes approval of Use Permit No. 17-1111.
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the permittee acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

PASSED AND ADOPTED AT A REGULAR MEETING OF THE PLANNING COMMISSION OF THE CITY OF PACIFIC GROVE ON THE 29TH DAY OF JUNE, 2018, BY THE FOLLOWING VOTE:

AYES: **XXX**

NOES: **XXX**

APPROVED:

WILLIAM FREDRICKSON, CHAIR

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Ben Hackstedde, Sequoia Deployment Services,
On behalf of Verizon Wireless, Permittee

Date

**Verizon Wireless • Proposed Base Station (Site No. 425598 “Pacific Grove HS SC1”)
618 Sunset Drive • Pacific Grove, California**

Statement of Hammett & Edison, Inc., Consulting Engineers

The firm of Hammett & Edison, Inc., Consulting Engineers, has been retained on behalf of Verizon Wireless, a personal wireless telecommunications carrier, to evaluate the base station (Site No. 425598 “Pacific Grove HS SC1”) proposed to be located at 618 Sunset Drive in Pacific Grove, California, for compliance with appropriate guidelines limiting human exposure to radio frequency (“RF”) electromagnetic fields.

Executive Summary

Verizon proposes to install a cylindrical antenna on top of the wood pole sited at 618 Sunset Drive in Pacific Grove. The proposed operation will comply with the FCC guidelines limiting public exposure to RF energy.

Prevailing Exposure Standards

The U.S. Congress requires that the Federal Communications Commission (“FCC”) evaluate its actions for possible significant impact on the environment. A summary of the FCC’s exposure limits is shown in Figure 1. These limits apply for continuous exposures and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health. The most restrictive FCC limit for exposures of unlimited duration to radio frequency energy for several personal wireless services are as follows:

Wireless Service	Frequency Band	Occupational Limit	Public Limit
Microwave (Point-to-Point)	5–80 GHz	5.00 mW/cm ²	1.00 mW/cm ²
WiFi (and unlicensed uses)	2–6	5.00	1.00
BRS (Broadband Radio)	2,600 MHz	5.00	1.00
WCS (Wireless Communication)	2,300	5.00	1.00
AWS (Advanced Wireless)	2,100	5.00	1.00
PCS (Personal Communication)	1,950	5.00	1.00
Cellular	870	2.90	0.58
SMR (Specialized Mobile Radio)	855	2.85	0.57
700 MHz	700	2.40	0.48
[most restrictive frequency range]	30–300	1.00	0.20

General Facility Requirements

Base stations typically consist of two distinct parts: the electronic transceivers (also called “radios” or “channels”) that are connected to the traditional wired telephone lines, and the passive antennas that send the wireless signals created by the radios out to be received by individual subscriber units. The transceivers are often located at ground level and are connected to the antennas by coaxial cables. A small antenna for reception of GPS signals is also required, mounted with a clear view of the sky.



**Verizon Wireless • Proposed Base Station (Site No. 425598 “Pacific Grove HS SC1”)
618 Sunset Drive • Pacific Grove, California**

Because of the short wavelength of the frequencies assigned by the FCC for wireless services, the antennas require line-of-sight paths for their signals to propagate well and so are installed at some height above ground. The antennas are designed to concentrate their energy toward the horizon, with very little energy wasted toward the sky or the ground. This means that it is generally not possible for exposure conditions to approach the maximum permissible exposure limits without being physically very near the antennas.

Computer Modeling Method

The FCC provides direction for determining compliance in its Office of Engineering and Technology Bulletin No. 65, “Evaluating Compliance with FCC-Specified Guidelines for Human Exposure to Radio Frequency Radiation,” dated August 1997. Figure 2 describes the calculation methodologies, reflecting the facts that a directional antenna’s radiation pattern is not fully formed at locations very close by (the “near-field” effect) and that at greater distances the power level from an energy source decreases with the square of the distance from it (the “inverse square law”). The conservative nature of this method for evaluating exposure conditions has been verified by numerous field tests.

Site and Facility Description

Based upon information provided by Verizon, including zoning drawings by Cellsius Engineering Group, dated June 13, 2017, it is proposed to install one Amphenol Model CUUT070X12F cylindrical tri-directional antenna, with one direction activated, on top of the existing 25-foot wood pole sited in the public right-of-way in front of the residence located at 618 Sunset Drive in Pacific Grove, across the street from Pacific Grove High School. The antenna would employ no downtilt, would be mounted at an effective height of about 27¾ feet above ground, and would be oriented with its active direction toward 180°T. The maximum effective radiated power in that direction would be 4,070 watts, representing simultaneous operation at 2,150 watts for AWS and 1,920 watts for PCS. There are reported no other wireless telecommunications base stations at the site or nearby.

Study Results

For a person anywhere at ground, the maximum RF exposure level due to the proposed Verizon operation is calculated to be 0.017 mW/cm², which is 1.7% of the applicable public exposure limit. The maximum calculated level at the second-floor elevation of any building on the school campus is 2.0% of the public exposure limit. The maximum calculated level at the second-floor elevation of any nearby residence is 0.38% of the public exposure limit. It should be noted that these results include several “worst-case” assumptions and therefore are expected to overstate actual power density levels from the proposed operation.

**Verizon Wireless • Proposed Base Station (Site No. 425598 “Pacific Grove HS SC1”)
618 Sunset Drive • Pacific Grove, California**

Recommended Mitigation Measures

Due to its mounting location and height, the Verizon antenna would not be accessible to unauthorized persons, and so no mitigation measures are necessary to comply with the FCC public exposure guidelines. To prevent occupational exposures in excess of the FCC guidelines, it is recommended that appropriate RF safety training, to include review of personal monitor use and lockout/tagout procedures, be provided to all authorized personnel who have access high on the pole, including employees and contractors of Verizon and of the utility companies. No access within 7 feet directly in front of the Verizon antenna itself, such as might occur during certain maintenance activities, should be allowed while the base station is in operation, unless other measures can be demonstrated to ensure that occupational protection requirements are met. It is recommended that explanatory signs* be posted at the antenna and/or on the pole below the antenna, readily visible from any angle of approach to persons who might need to work within that distance.

Conclusion

Based on the information and analysis above, it is the undersigned’s professional opinion that operation of the base station proposed by Verizon Wireless at 618 Sunset Drive in Pacific Grove, California, will comply with the prevailing standards for limiting public exposure to radio frequency energy and, therefore, will not for this reason cause a significant impact on the environment. The highest calculated level in publicly accessible areas is much less than the prevailing standards allow for exposures of unlimited duration. This finding is consistent with measurements of actual exposure conditions taken at other operating base stations. Training authorized personnel and posting explanatory signs are recommended to establish compliance with occupational exposure limits.

* Signs should comply with OET-65 color, symbol, and content recommendations. Contact information should be provided (*e.g.*, a telephone number) to arrange for access to restricted areas. The selection of language(s) is not an engineering matter, and guidance from the landlord, local zoning or health authority, or appropriate professionals may be required. Signage may also need to comply with the requirements of PUC GO95.



**Verizon Wireless • Proposed Base Station (Site No. 425598 “Pacific Grove HS SC1”)
618 Sunset Drive • Pacific Grove, California**

Authorship

The undersigned author of this statement is a qualified Professional Engineer, holding California Registration Nos. E-13026 and M-20676, which expire on June 30, 2019. This work has been carried out under his direction, and all statements are true and correct of his own knowledge except, where noted, when data has been supplied by others, which data he believes to be correct.



William F. Hammett

William F. Hammett, P.E.

707/996-5200

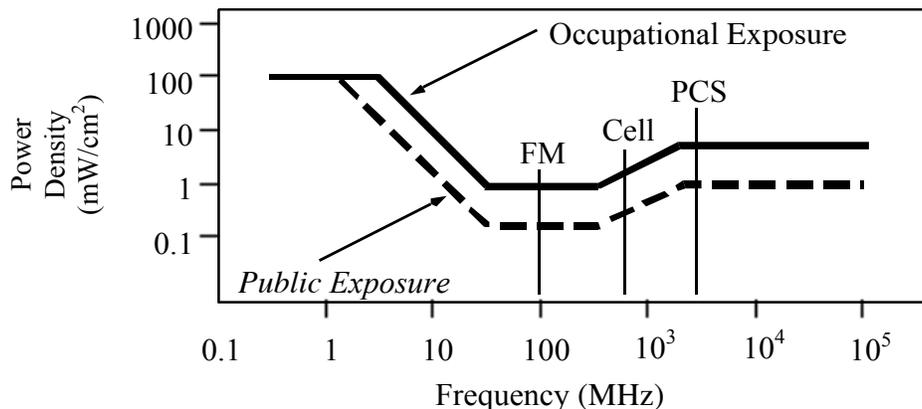
May 8, 2018

FCC Radio Frequency Protection Guide

The U.S. Congress required (1996 Telecom Act) the Federal Communications Commission (“FCC”) to adopt a nationwide human exposure standard to ensure that its licensees do not, cumulatively, have a significant impact on the environment. The FCC adopted the limits from Report No. 86, “Biological Effects and Exposure Criteria for Radiofrequency Electromagnetic Fields,” published in 1986 by the Congressionally chartered National Council on Radiation Protection and Measurements (“NCRP”). Separate limits apply for occupational and public exposure conditions, with the latter limits generally five times more restrictive. The more recent standard, developed by the Institute of Electrical and Electronics Engineers and approved as American National Standard ANSI/IEEE C95.1-2006, “Safety Levels with Respect to Human Exposure to Radio Frequency Electromagnetic Fields, 3 kHz to 300 GHz,” includes similar limits. These limits apply for continuous exposures from all sources and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health.

As shown in the table and chart below, separate limits apply for occupational and public exposure conditions, with the latter limits (in *italics* and/or dashed) up to five times more restrictive:

Frequency Applicable Range (MHz)	Electromagnetic Fields (f is frequency of emission in MHz)					
	Electric Field Strength (V/m)		Magnetic Field Strength (A/m)		Equivalent Far-Field Power Density (mW/cm ²)	
0.3 – 1.34	614	<i>614</i>	1.63	<i>1.63</i>	100	<i>100</i>
1.34 – 3.0	614	<i>823.8/f</i>	1.63	<i>2.19/f</i>	100	<i>180/f²</i>
3.0 – 30	1842/f	<i>823.8/f</i>	4.89/f	<i>2.19/f</i>	900/f ²	<i>180/f²</i>
30 – 300	61.4	<i>27.5</i>	0.163	<i>0.0729</i>	1.0	<i>0.2</i>
300 – 1,500	3.54√f	<i>1.59√f</i>	√f/106	<i>√f/238</i>	f/300	<i>f/1500</i>
1,500 – 100,000	137	<i>61.4</i>	0.364	<i>0.163</i>	5.0	<i>1.0</i>



Higher levels are allowed for short periods of time, such that total exposure levels averaged over six or thirty minutes, for occupational or public settings, respectively, do not exceed the limits, and higher levels also are allowed for exposures to small areas, such that the spatially averaged levels do not exceed the limits. However, neither of these allowances is incorporated in the conservative calculation formulas in the FCC Office of Engineering and Technology Bulletin No. 65 (August 1997) for projecting field levels. Hammett & Edison has built those formulas into a proprietary program that calculates, at each location on an arbitrary rectangular grid, the total expected power density from any number of individual radio sources. The program allows for the description of buildings and uneven terrain, if required to obtain more accurate projections.



RFR.CALC™ Calculation Methodology

Assessment by Calculation of Compliance with FCC Exposure Guidelines

The U.S. Congress required (1996 Telecom Act) the Federal Communications Commission (“FCC”) to adopt a nationwide human exposure standard to ensure that its licensees do not, cumulatively, have a significant impact on the environment. The maximum permissible exposure limits adopted by the FCC (see Figure 1) apply for continuous exposures from all sources and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health. Higher levels are allowed for short periods of time, such that total exposure levels averaged over six or thirty minutes, for occupational or public settings, respectively, do not exceed the limits.

Near Field.

Prediction methods have been developed for the near field zone of panel (directional) and whip (omnidirectional) antennas, typical at wireless telecommunications base stations, as well as dish (aperture) antennas, typically used for microwave links. The antenna patterns are not fully formed in the near field at these antennas, and the FCC Office of Engineering and Technology Bulletin No. 65 (August 1997) gives suitable formulas for calculating power density within such zones.

For a panel or whip antenna, power density $S = \frac{180}{\theta_{BW}} \times \frac{0.1 \times P_{net}}{\pi \times D \times h}$, in mW/cm²,

and for an aperture antenna, maximum power density $S_{max} = \frac{0.1 \times 16 \times \eta \times P_{net}}{\pi \times h^2}$, in mW/cm²,

where θ_{BW} = half-power beamwidth of the antenna, in degrees, and
 P_{net} = net power input to the antenna, in watts,
 D = distance from antenna, in meters,
 h = aperture height of the antenna, in meters, and
 η = aperture efficiency (unitless, typically 0.5-0.8).

The factor of 0.1 in the numerators converts to the desired units of power density.

Far Field.

OET-65 gives this formula for calculating power density in the far field of an individual RF source:

power density $S = \frac{2.56 \times 1.64 \times 100 \times RFF^2 \times ERP}{4 \times \pi \times D^2}$, in mW/cm²,

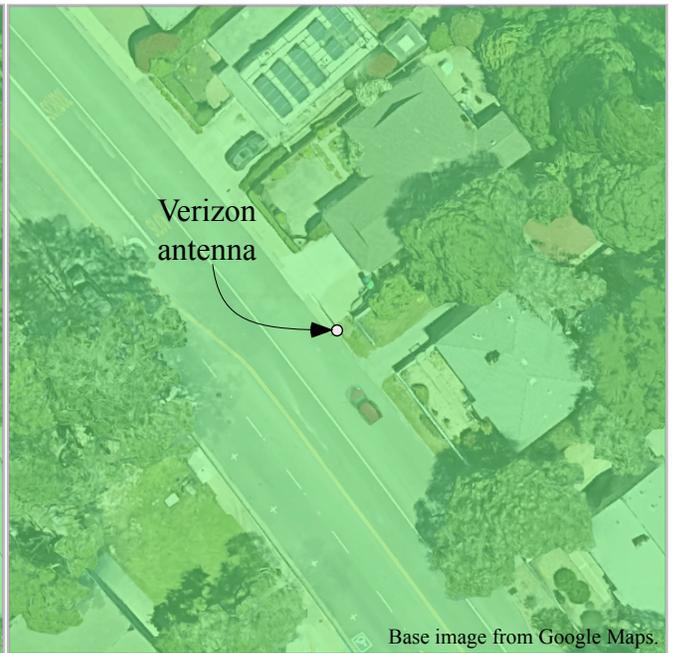
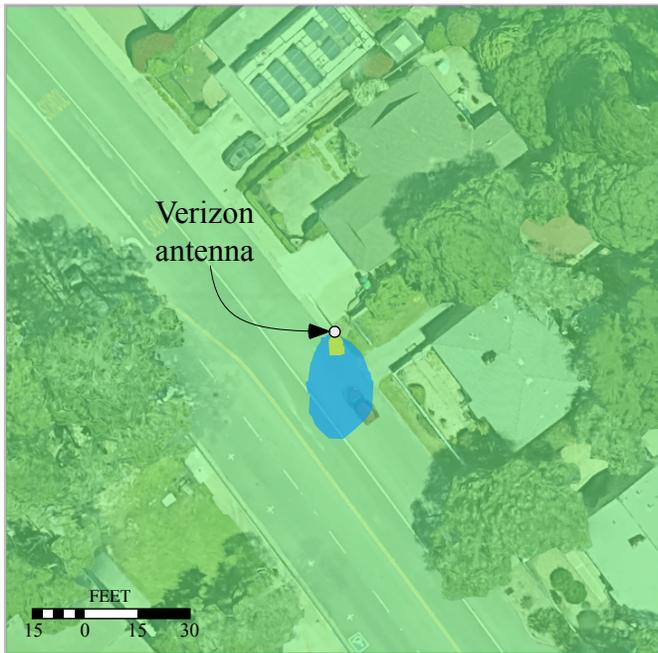
where ERP = total ERP (all polarizations), in kilowatts,
 RFF = relative field factor at the direction to the actual point of calculation, and
 D = distance from the center of radiation to the point of calculation, in meters.

The factor of 2.56 accounts for the increase in power density due to ground reflection, assuming a reflection coefficient of 1.6 (1.6 x 1.6 = 2.56). The factor of 1.64 is the gain of a half-wave dipole relative to an isotropic radiator. The factor of 100 in the numerator converts to the desired units of power density. This formula has been built into a proprietary program that calculates, at each location on an arbitrary rectangular grid, the total expected power density from any number of individual radiation sources. The program also allows for the description of uneven terrain in the vicinity, to obtain more accurate projections.

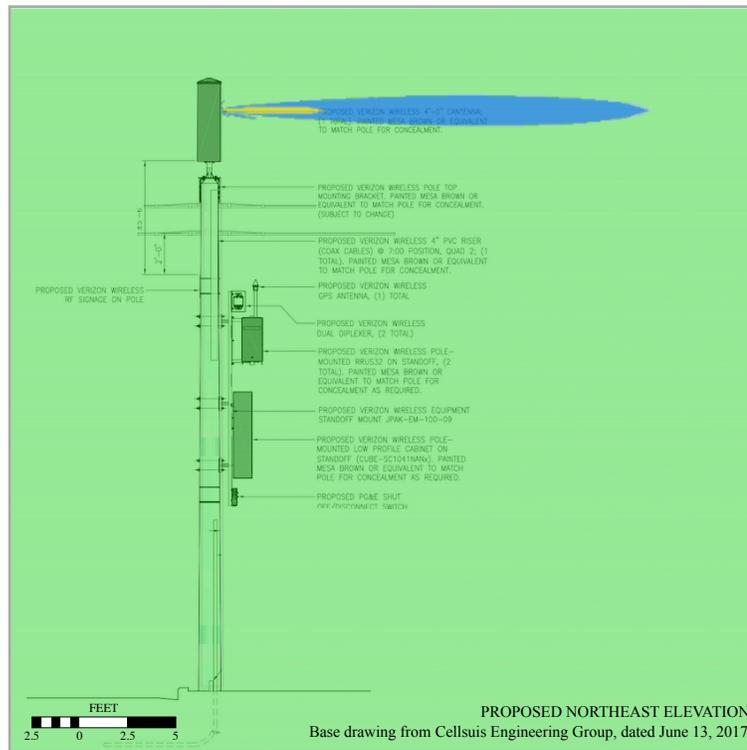
**Verizon Wireless • Proposed Base Station (Site No. 425598 “Pacific Grove HS SC1”)
618 Sunset Drive • Pacific Grove, California**

**Calculated RF Exposure Levels
in Immediate Airspace**

**Calculated RF Exposure Levels
at Ground**



Calculated RF Exposure Levels



Calculations performed according to OET Bulletin No. 65, August 1997.
Colors shown represent percent of applicable FCC public limit.

■ <100%
 ■ >100%
 ■ >500%

Note: See report dated May 8, 2018.



HAMMETT & EDISON, INC.
CONSULTING ENGINEERS
SAN FRANCISCO



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T: 831.648.3190 • F: 831.648.3184 • www.ci.pg.ca.us/cdd

NOTICE OF EXEMPTION FROM CEQA

Property Address/Location: PROW near 624 and 618 Sunset, Pacific Grove, CA 93950

Project Description: UP 171111

to add a new pole with an antenna and associated wireless telecommunications facility
Description: equipment for a total height of 29 feet and 6 inches. A meter pedestal of 4 feet and 6 inches height is proposed to be located next to the proposed pole.

APN: 006662027000

ZC: R-1

Lot Size: n/a; public right-of-way

Applicant Name:	Ben Hackstedde	Phone #:	949-259-3344
Mailing Address:	22471 Aspan Street, Suite 290, Lake Forest, CA 92630		
Email Address:	ben.hackstedde@sequoia-ds.com		

Public Agency Approving Project: City of Pacific Grove, Monterey County, California

Exempt Status (Check One):

- Ministerial (Sec. 21080(b)(1):15268))
- Declared Emergency (Sec. 21080(b)(3): 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption
Type and Section Number: Section 15303, Class 3, New Construction or Conversion of Small Structures
- Statutory Exemption
Type and Section Number:
- Other:

Exemption Findings:

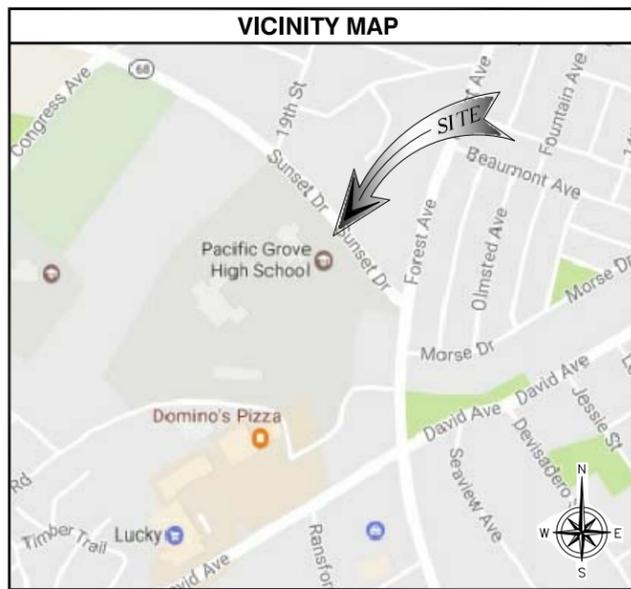
City staff determined the project is exempt from the CEQA Guidelines, Article 19, Section 15303, Class 3, for "construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures" because the project involves the construction of a wireless communication facility on a new pole. Furthermore, the project does not qualify for any of the exceptions to the categorical exemptions found at CEQA Guidelines Section 15300.2.

Contact: Wendy Lao, Planning Department, City of Pacific Grove

Contact Phone: (831) 648-3183

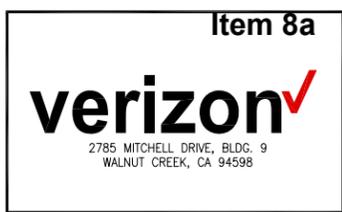
Signature: _____

Date: _____



verizon

PROJECT TYPE: SMALL CELL
PACIFIC GROVE HS SC1
ROW IN FRONT OF 615 SUNSET DRIVE
PACIFIC GROVE, CA 93950
LOCATION CODE: 425598



SITE INFORMATION	
PROPERTY OWNER: ADDRESS:	NORTHERN CA JOINT POLE ASSOCIATION 1800 SUTTER STREET CONCORD, CA 94520 CONTACT: JONATHAN VAUGHAN PH: (925) 681-0378
APPLICANT: ADDRESS:	VERIZON WIRELESS 2785 MITCHELL DRIVE, BLDG. 9 WALNUT CREEK, CA 94598
LATITUDE (NAD 83):	36°36'39.53" N
LONGITUDE (NAD 83):	121°55'24.58" W
GROUND ELEVATION:	272.14' AMSL
ZONING JURISDICTION:	COUNTY OF MONTEREY
PROPOSED USE:	UNMANNED TELECOMMUNICATIONS FACILITY

PROJECT TEAM	
APPLICANT: VERIZON WIRELESS 2785 MITCHELL DRIVE, BLDG. 9 WALNUT CREEK, CA 94598 CONTACT: JORDAN THOMPSON PHONE: (925) 895-1668 EMAIL: jordan.thompson@verizonwireless.com	SITE ACQUISITION: SEQUOIA DEPLOYMENT SERVICES, INC. 22471 ASPAN, SUITE #290 LAKE FOREST, CA 92630 CONTACT: ROBERT BALLMAIER PHONE: (949) 278-7747 EMAIL: bob.ballmaier@sequoia-ds.com
RF ENGINEER: VERIZON WIRELESS 2785 MITCHELL DRIVE, BLDG. 9 WALNUT CREEK, CA 94598 CONTACT: STEFANO IACHELLA PHONE: (510) 381-2904 EMAIL: stefano.iachella@verizonwireless.com	ZONING: SEQUOIA DEPLOYMENT SERVICES, INC. 22471 ASPAN, SUITE #290 LAKE FOREST, CA 92630 CONTACT: BEN HACKSTEDDE PHONE: (949) 259-3344 EMAIL: ben.hackstedde@sequoia-ds.com
ARCHITECT/ENGINEERING: CELSIUS ENGINEERING GROUP 10650 SCRIPPS RANCH BLVD., SUITE 224 SAN DIEGO, CA 92131 CONTACT: REGGIE GABRIEL PHONE: (619) 200-7190 EMAIL: reggie.gabriel@ceLSIUS.net	CONSTRUCTION: SEQUOIA DEPLOYMENT SERVICES, INC. 22471 ASPAN, SUITE #290 LAKE FOREST, CA 92630 CONTACT: ESI LIEGE PHONE: (714) 697-6600 EMAIL: esi.liege@sequoia-ds.com

APPROVALS	
THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT & MAY IMPOSE CHANGES OR MODIFICATIONS.	
VZW PROJECT MANAGER:	_____
VZW RF ENGINEER:	_____
VZW EQUIPMENT ENGINEER:	_____
VZW CONSTRUCTION MANAGER:	_____
PLANNING MANAGER:	_____
SITE ACQUISITION MANAGER:	_____
A/E MANAGER:	_____

DRAWING INDEX	
SHEET NO:	SHEET TITLE
T-1	TITLE SHEET
LS-1	TOPOGRAPHIC SURVEY
A-1	SITE PLAN
A-2	ENLARGED SITE PLAN, EQUIPMENT AND ANTENNA LAYOUT
A-3	ARCHITECTURAL ELEVATIONS

PROJECT DESCRIPTION	
THE PROJECT CONSISTS OF INSTALLATIONS OF TELECOMMUNICATIONS EQUIPMENT FOR VERIZON WIRELESS. THE INSTALLATIONS ENTAILS:	
<ul style="list-style-type: none"> INSTALL (1) PROPOSED VERIZON WIRELESS 4'-0" HIGH CYLINDRICAL ANTENNA ON POLE INSTALL (1) PROPOSED VERIZON WIRELESS ANTENNA POLE TOP MOUNTING SKIRT INSTALL (1) PROPOSED VERIZON WIRELESS 24'-6" STEEL POLE INSTALL (1) PROPOSED VERIZON WIRELESS EQUIPMENT SHROUD ON POLE INSTALL (2) PROPOSED VERIZON WIRELESS REMOTE RADIO UNITS (RRUS) IN EQUIPMENT SHROUD INSTALL (2) PROPOSED VERIZON WIRELESS PSU UNITS IN EQUIPMENT SHROUD INSTALL (1) PROPOSED VERIZON WIRELESS DUAL DIPLEXER IN EQUIPMENT SHROUD INSTALL (1) PROPOSED VERIZON WIRELESS FIBER PATCH PANEL IN EQUIPMENT SHROUD INSTALL (1) PROPOSED VERIZON WIRELESS METER PEDESTAL 	

APPLICABLE CODES	
ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES.	
<ul style="list-style-type: none"> CALIFORNIA ADMINISTRATIVE CODE (INCL TITLE 24 & 25) 2016 CALIFORNIA BUILDING CODE LOCAL BUILDING CODE CITY/COUNTY ORDINANCES ANSI/EIA-222-G LIFE SAFETY CODE NFPA-101 2016 CALIFORNIA ELECTRICAL CODE CA PUBLIC UTILITIES COMMISSION GENERAL ORDER 95 (GO 95) 	

DO NOT SCALE DRAWINGS

SUBCONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS & FIELD CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME. IF USING 11"x17" PLOT, DRAWINGS WILL BE HALF SCALE.



GENERAL NOTES		
1. LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. NEITHER THE OWNER NOR THE ENGINEER ASSUMES ANY RESPONSIBILITY FOR UTILITIES OR STRUCTURES NOT SHOWN OR NOT IN THE LOCATION SHOWN ON THE DRAWINGS.	10. CONTRACTOR SHALL NOTIFY THE JURISDICTION, A MINIMUM OF 46 HOURS PRIOR TO COMMENCING WORK WITHIN 10 FEET OF ALL SEWER, WATER, AND STORM DRAIN MAIN INCLUDING ALL CROSSINGS.	21. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS EQUIPMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
2. THE CONTRACTORS SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.	11. "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT-ISSUING AUTHORITY.	22. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE FROM EXISTING RECORDS AND CORROBORATED, WHERE POSSIBLE WITH FIELD TIES. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LOCATIONS SHOWN, BOTH HORIZONTALLY AND VERTICALLY PRIOR TO CONSTRUCTION. IF EXISTING LOCATIONS VARY SUBSTANTIALLY FROM THE PLANS, THE ENGINEER SHOULD BE NOTIFIED TO MAKE ANY CONSTRUCTION CHANGES REQUIRED.
3. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.	12. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY FIELD ENGINEERING DIVISION PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING.	23. THE CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUITS, AND LANE STRIPPING DAMAGED DURING CONSTRUCTION.
4. UPON ISSUANCE OF A PERMIT, NO WORK WILL BE PERMITTED ON WEEKENDS OR HOLIDAYS WITHOUT PERMISSION FROM THE ENGINEERING DEPARTMENT.	13. MANHOLES OR COVERS SHALL BE LABELLED "NAME OF COMPANY".	24. CONTRACTOR SHALL BE RESPONSIBLE FOR THE POTHOLE AND LOCATING OF ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE AND MUST MAINTAIN ONE FOOT MINIMUM VERTICAL CLEARANCE
5. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT FROM DAMAGING EXISTING IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE. CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR, REPLACE OR RECONSTRUCT ALL SUCH IMPROVEMENTS OR OTHER STRUCTURES DAMAGED BY HIS WORK, TO THE ENGINEER'S SATISFACTION.	14. CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET THE APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD.	25. AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE CITY ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FILE LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, SUCH MONUMENTS SHALL BE REPLACED WITH APPROPRIATE MONUMENTS BY A LAND SURVEYOR. A CORNER RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FIELD AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE JURISDICTION'S FIELD SURVEY DIVISION MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS FROM OCCURRENCE. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.	15. THE CONTRACTOR SHALL HAVE EMERGENCY MATERIALS AND EQUIPMENT ON HAND FOR UNFORESEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHEREBY FLOWS MAY GENERATE EROSION AND SEDIMENT POLLUTION.	26. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE POTHOLE AND LOCATING OF ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE AND MUST MAINTAIN 1 FOOT MINIMUM VERTICAL CLEARANCE.	16. THE CONTRACTOR SHALL VERIFY LOCATION ALL EXISTING UNDERGROUND UTILITIES INCLUDING SEWER LATERALS & WATER SERVICES TO INDIVIDUAL LOTS OF BOTH VERTICAL AND HORIZONTAL PRIOR TO COMMENCING IMPROVEMENTS OPERATIONS.	27. ANY DRAIN AND/OR FIELD TILE ENCOUNTERED/DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK, SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON "AS-BUILT" DRAWINGS BY GENERAL CONTRACTOR, AND ISSUED TO THE ARCHITECT OR ENGINEER AT COMPLETION OF PROJECT.
8. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.	17. LOCATION AND ELEVATIONS OF IMPROVEMENTS, TO BE MET BY WORK, SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK.	28. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAD BACK OR BRACED IN ACCORDANCE WITH THE CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
9. CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUIT, AND LANE STRIPPING DAMAGED DURING CONSTRUCTION.	18. GRADES SHOWN ARE FINISH GRADES. CONTRACTOR SHALL DETERMINE NECESSARY SUB GRADE ELEVATIONS AND SHALL CONSTRUCT SMOOTH TRANSITION BETWEEN FINISH GRADES SHOWN.	
	19. THE CONTRACTOR SHALL SUBMIT WORK PLANS FOR ALL BORE OPERATIONS TWO WEEKS PRIOR TO COMMENCING WORK.	
	20. THE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR COMPLIANCE WITH THE PROVISIONS OF THE STATE OF CALIFORNIA SAFETY ORDERS.	

ACCESSIBILITY NOTE

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2016 CALIFORNIA BUILDING CODE. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS NEW.

THE TELECOMMUNICATIONS EQUIPMENT SPACE SHOWN ON THESE PLANS IS NOT CUSTOMARILY OCCUPIED WORK TO BE PERFORMED IN THIS FACILITY CANNOT REASONABLY BE PERFORMED BY PERSONS WITH A SEVERE IMPAIRMENT: MOBILITY, SIGHT, AND/OR HEARING. THEREFORE, PER 2016 CALIFORNIA BUILDING CODE SECTION 1105B.3.4, AND/OR 11B-203.5 OF 2016 CALIFORNIA BUILDING CODE, EXCEPTION 1, THIS FACILITY SHALL BE EXEMPTED FROM ALL TITLE 24 ACCESS REQUIREMENTS.

TRAFFIC CONTROL NOTE

THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN (11"x17") FOR APPROVAL PRIOR TO STARTING WORK. THE PLAN SHOULD BE SUBMITTED TO THE TRAFFIC CONTROL PERMIT COUNTER. CONTRACTOR SHALL OBTAIN A TRAFFIC CONTROL PERMIT A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO STARTING WORK, AND A MINIMUM OF FIVE (5) DAYS IF WORK WILL AFFECT A BUS STOP OR AN EXISTING TRAFFIC SIGNAL, OR IF WORK WILL REQUIRE A ROAD OR ALLEY CLOSURE.

REV	DATE	DESCRIPTION
6	06/07/2018	REDESIGN OPTION
5	05/31/2018	EQUIPMENT REDESIGN
4	03/07/2018	CITY COMMENTS
3	09/15/2017	CITY COMMENTS
2	06/13/2017	100% ZONING DRAWINGS
1	05/08/2017	90% ZONING DRAWINGS

ISSUED DATE: **MAY 31, 2018**

ISSUED FOR: **PLANNING**

LICENSURE:

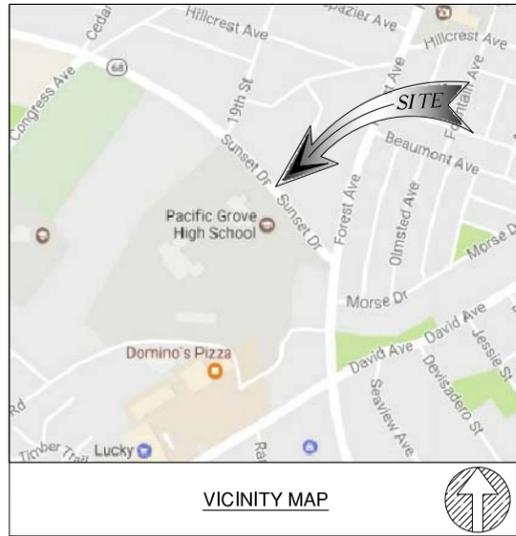
PROJECT INFORMATION:
PACIFIC GROVE HS SC1
 LOCATION CODE: 425598
 ROW IN FRONT OF 615
 SUNSET DRIVE
 PACIFIC GROVE, CA 93950

DRAWN BY: MAM

CHECKED BY: FO

SHEET TITLE: **TITLE SHEET**

SHEET NUMBER: **T-1**



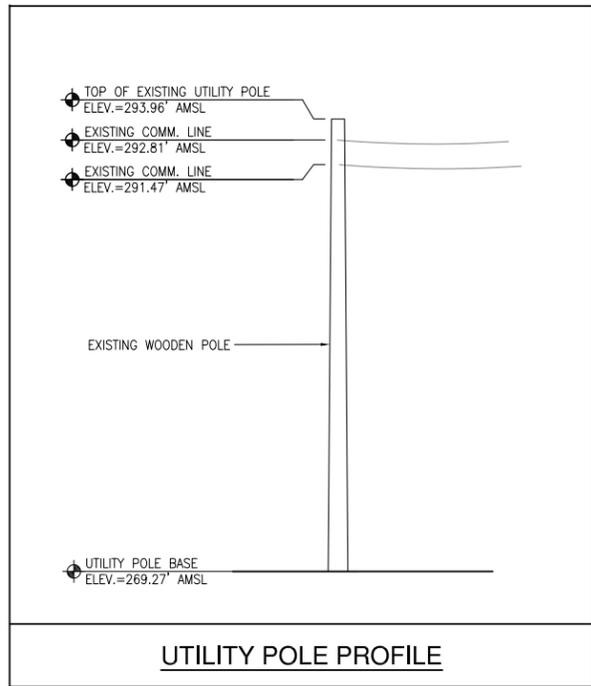
BASIS OF BEARING
THE STATE PLANE COORDINATE SYSTEM 1983 (NAD 83), CALIFORNIA ZONE 4.

BENCH MARK
THE CALIFORNIA SPATIAL REFERENCE CENTER CRTN "P171"

FLOOD ZONE
SITE IS LOCATED IN FLOOD ZONE "X" AS PER F.I.R.M. MAP NO. 06053C0306G EFFECTIVE DATE 04/02/2009

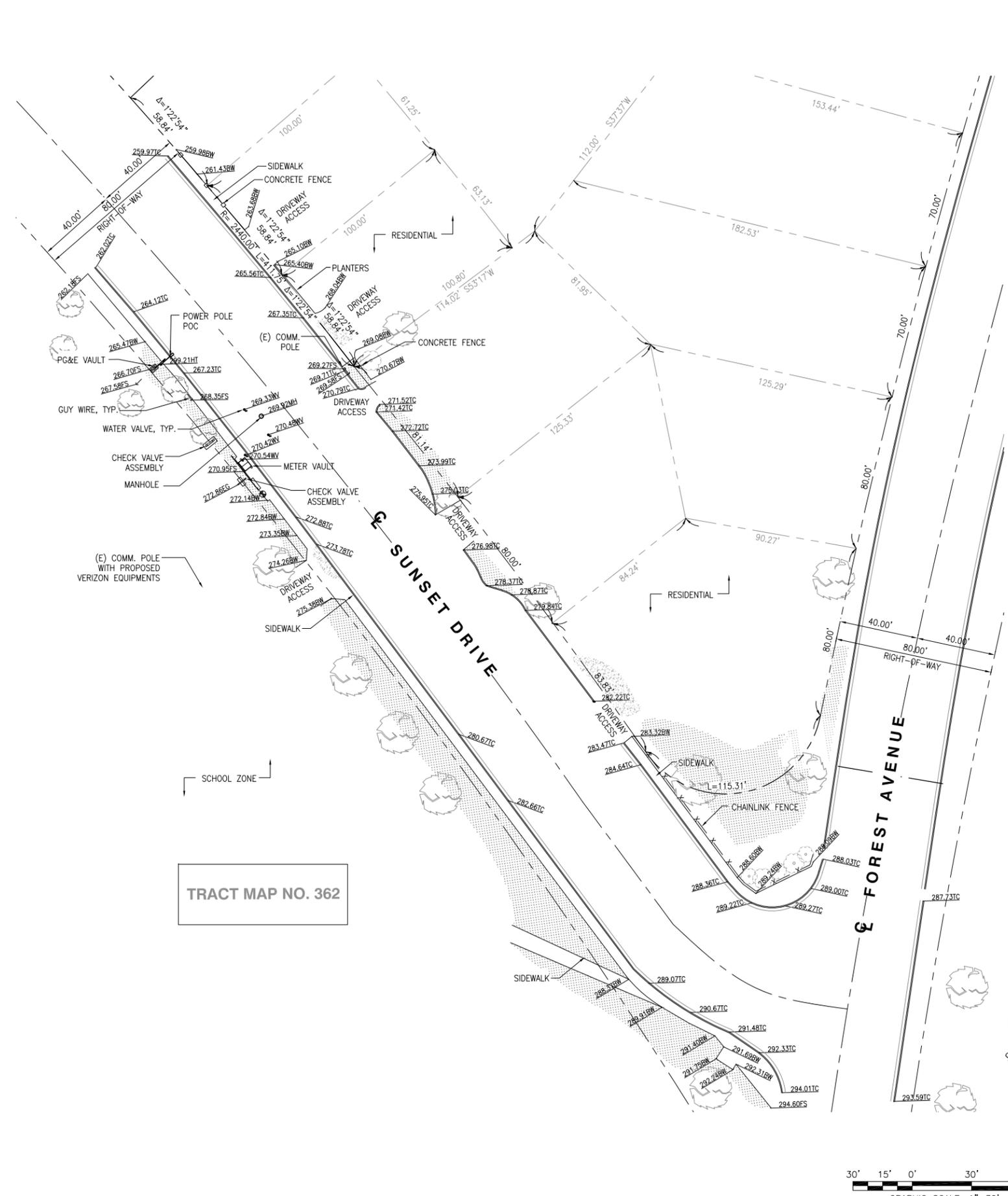
NOTES:

- THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP. THE PROPERTY LINES AND EASEMENTS SHOWN HEREON ARE FROM RECORD INFORMATION AS NOTED HEREON. CELLSIUS ENGINEERING GROUP TRANSLATED THE TOPOGRAPHIC SURVEY TO RECORD INFORMATION USING FOUND MONUMENTS SHOWN HEREON.
- THE HEIGHTS AND ELEVATIONS FOR THE TREES, BUSHES AND OTHER LIVING PLANTS SHOWN HEREON, SHOULD BE CONSIDERED APPROXIMATE (+/-) AND ONLY FOR THE DATE OF THIS SURVEY. THEY ARE PROVIDED AS A GENERAL REFERENCE AND SHOULD NOT BE USED FOR DESIGN PURPOSES.
- FIELD SURVEY COMPLETED ON FEBRUARY 25, 2017.



- LEGEND**
- CENTER LINE
 - - - - - PROPERTY LINE
 - x-x-x- CHAIN-LINK FENCE
 - o-o-o- CONCRETE FENCE
 - w-w-w- WOOD FENCE
 - - - - - RETAINING WALL
 - ===== EDGE OF PAVEMENT
-
- HT HEIGHT
 - TC TOP OF CURB
 - TW TOP OF WALL
 - EG EXISTING GRADE
 - FS FINISH SURFACE
 - HH HAND HOLE
 - JB JUNCTION BOX
 - TR TRANSFORMER
 - WM WATER METER
 - CT CABINET
 - VT VAULT
 - PB PULL BOX
 - MP METER PEDESTAL
 - BW BACK WALK
 - SS SANITARY SEWER MANHOLE
 - SD STORMWATER DRAIN MANHOLE
 - GV GAS VALVE
 - WV WATER VALVE
 - TM TELECOM MANHOLE
 - _w WATER VALVE MANHOLE
 - _f FIRE HYDRANT
 - _v VAULT
 - ⊙_p PEDESTRIAN SIGNAL LIGHT
 - ⊙_s EXISTING STREET LIGHT
 - ⊙_t EXISTING TRAFFIC SIGNAL
 - ⊙_p POWER POLE
 - ⊙_s EXISTING SIGN
 - ⊙_a GUY WIRE ANCHOR
 - ⊙_? POLE IN QUESTION
 - _t TREE
 - _p PINE TREE
 - _b BUSH
 - _{pt} PALM TREE
 - ▨ EXISTING CONCRETE
 - ▨ EXISTING GRASS/TURF

- MONUMENTS**
- MONUMENT FD.
 - ⊕ LATITUDE: 36°36'39.53"N
LONGITUDE: 121°55'24.58"W



TRACT MAP NO. 362



Item 8a

verizon
2785 MITCHELL DRIVE, BLDG. 9
WALNUT CREEK, CA 94598

SEQUOIA
DEPLOYMENT SERVICES, INC.
22471 ASPAN STREET, STE 290
LAKE FOREST, CA 92630

celsius
ENGINEERING GROUP
10650 SCRIPPS RANCH BLVD., SUITE 224
SAN DIEGO, CA 92131
tel. (858) 433-7173 | fax. (888) 505-2977

REV	DATE	DESCRIPTION
0	03/06/2017	FINAL SURVEY

ISSUED DATE:
MAR. 06, 2017

ISSUED FOR:
FINAL SURVEY

LICENSURE:

PROJECT INFORMATION:
PACIFIC GROVE HS SC1
LOCATION CODE: 425598

ROW IN FRONT OF
618 SUNSET DRIVE
PACIFIC GROVE, CA 93950

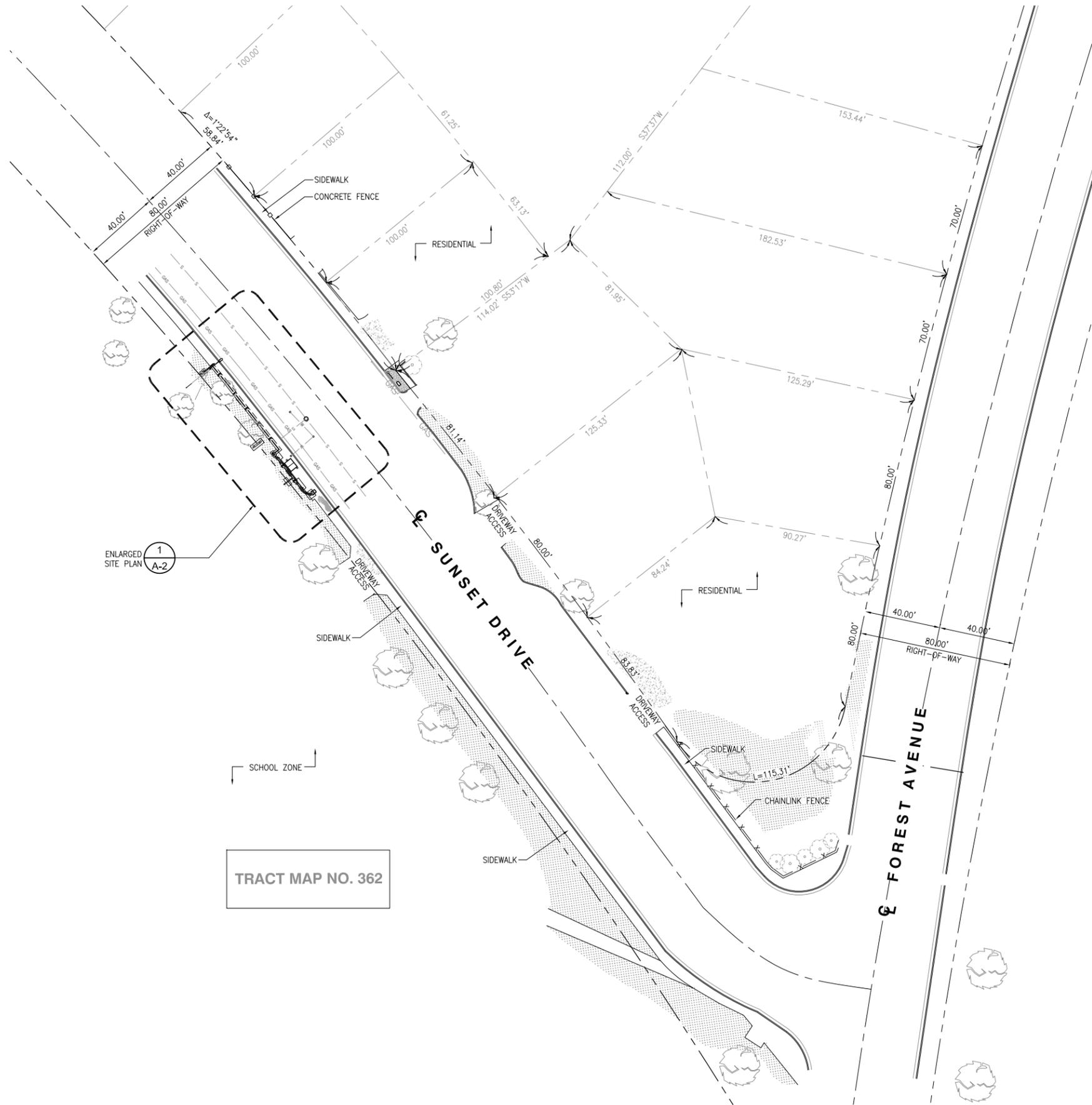
DRAWN BY: ABR
CHECKED BY: AJK

SHEET TITLE:
TOPOGRAPHIC SURVEY

SHEET NUMBER:
LS-1

SITE NOTES:

1. REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWINGS SHALL NOT BE USED TO IDENTIFY OR ESTABLISH BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE CIVIL SURVEY. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT/ ENGINEER.
2. CONTRACTOR TO VERIFY LOCAL UTILITY REQUIREMENTS FOR DEPTH, SIZES, AND SEPARATION OF CONDUITS PRIOR TO INSTALLATION. NOTIFY CONSTRUCTION MANAGER IMMEDIATELY OF ANY DISCREPANCIES.
3. PROPOSED UTILITY SERVICES SHOWN NEED TO BE VERIFIED AND APPROVED BY UTILITY COMPANIES BEFORE START OF CONSTRUCTION. CONTRACTOR TO VERIFY WITH CLIENT PROJECT MANAGER TO OBTAIN FINAL APPROVAL.
4. VERIFY, LOCATE, AND PROTECT ALL EXISTING SUBSTRUCTURES AS REQUIRED. CALL DIG ALERT @ (800) 227-2600 48 HOURS BEFORE ANY EXCAVATION. CONTRACTOR IS RESPONSIBLE TO HAVE ALL NON-PUBLIC UTILITIES LOCATED AT THEIR OWN EXPENSE.
5. LINES SHOWN DOES NOT REPRESENT THE EXACT LOCATION OF THE CONDUIT ROUTES. CONTRACTOR TO VERIFY SERVICE LOCATIONS W/ ACTUAL FIELD CONDITIONS.
6. CONTRACTOR SHALL IMMEDIATELY INFORM CLIENT OF ANY ACCIDENTAL DAMAGE TO EXISTING UTILITIES VIA PHONE OR EMAIL REGARDLESS OF ABILITY TO REPAIR OR MITIGATE. A FOLLOW-UP EMAIL REPORT WITH DIGITAL PHOTOS WILL BE REQUIRED DAILY UNTIL RESOLUTION HAS BEEN ACCEPTED BY CLIENT, AFFECTED SERVICE PROVIDERS, AND RECIPIENTS. AT THEIR OWN EXPENSE, CONTRACTOR WILL EXERCISE ALL EFFORTS TO HAVE REPAIRS MADE BY QUALIFIED TECHNICIANS AS APPROVED BY SERVICE PROVIDER.
7. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, BOTH HORIZONTAL AND VERTICALLY, PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE REFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE.
8. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
9. ANY DRAIN AND /OR FIELD TILE ENCOUNTERED/DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO IT'S ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON "AS-BUILT" DRAWINGS BY GENERAL CONTRACTOR, AND ISSUED TO THE ARCHITECT OR ENGINEER AT COMPLETION OF PROJECT.
10. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH THE CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
11. NEW CONDUITS SHALL BE INSTALLED IN TRENCH SUCH THAT THE TOP OF CONDUIT SHALL HAVE A MINIMUM COVER OF 24-INCHES BELOW ADJACENT EDGE OF PAVEMENT OR ORIGINAL GROUND, WHICHEVER IS LOWER IN ELEVATION.
12. ALL PULL BOXES SHALL BE PRECAST REINFORCED CONCRETE AND HAVE NON CONDUCTIVE LIDS. EXISTING PULL BOX COVERS THAT ARE MARKED INCORRECTLY SHALL BE REPLACED.
13. REGRADE LANDSCAPING AS NEEDED AND REPLACE DAMAGED IRRIGATION LINES WITHIN 24 HOURS.



REV	DATE	DESCRIPTION
6	06/07/2018	REDESIGN OPTION
5	05/31/2018	EQUIPMENT REDESIGN
4	03/07/2018	CITY COMMENTS
3	09/15/2017	CITY COMMENTS
2	06/13/2017	100% ZONING DRAWINGS
1	05/08/2017	90% ZONING DRAWINGS

ISSUED DATE: **MAY 31, 2018**

ISSUED FOR: **PLANNING**

LICENSURE:

PROJECT INFORMATION:
PACIFIC GROVE HS SC1
 LOCATION CODE: 425598
 ROW IN FRONT OF 615
 SUNSET DRIVE
 PACIFIC GROVE, CA 93950

DRAWN BY: MAM
 CHECKED BY: FO

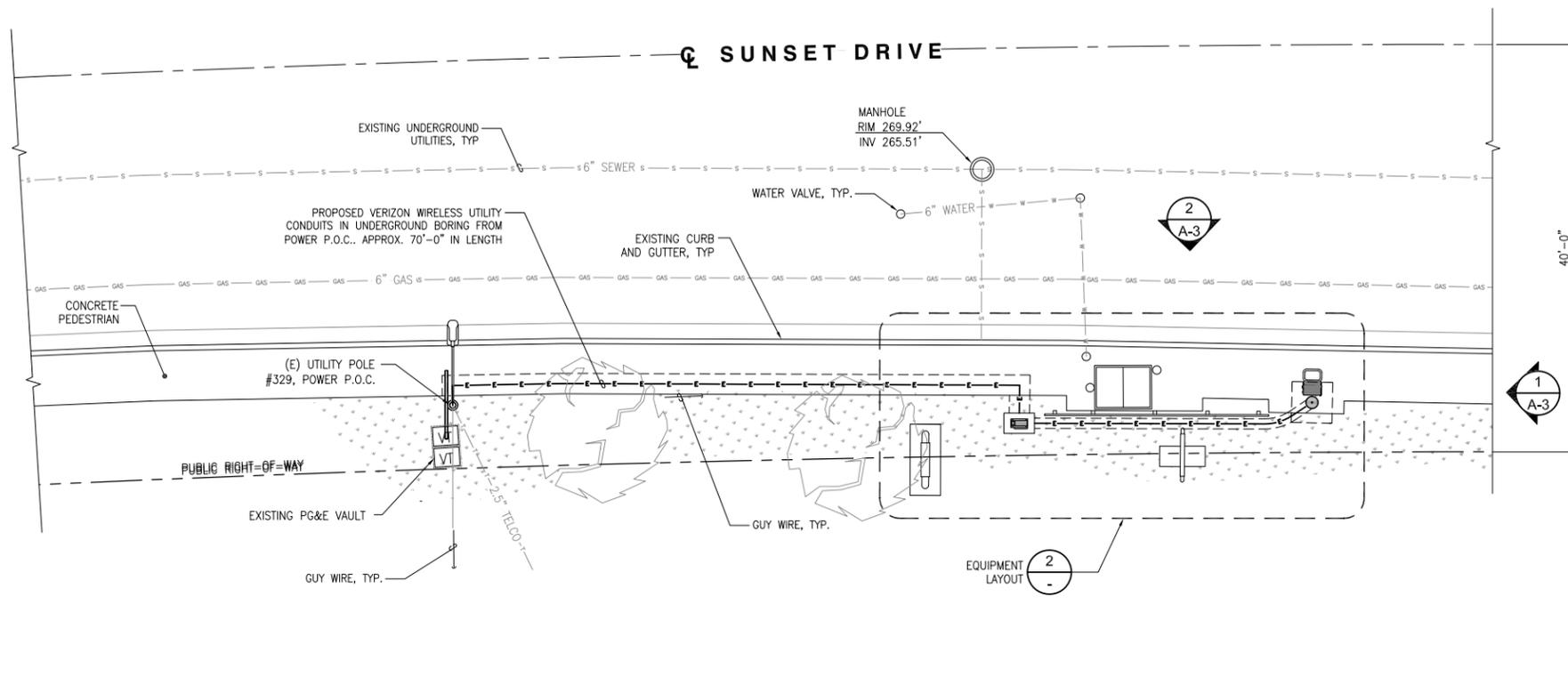
SHEET TITLE: **SITE PLAN**

SHEET NUMBER: **A-1**

CONSTRUCTION NOTES:

- METER SHALL NOT FACE THE STREET, ALLEY, OR PROPERTY SIDE OF THE POLE.
- METER BASE AND DISCONNECT SHALL BE BONDED TO A SEPARATE GROUND FROM THE POLE GROUND WITH CONDUCTOR HAVING A CURRENT CAPACITY THAN NO LESS THAN #6 SOLID COPPER CONDUCTOR.
- VERIFY AND RECORD ALL TIES AND FOOTAGES IN FIELD PER FINAL AS-BUILT CONDITIONS.
- PROVIDE ADEQUATE WORKMAN PROTECTION ON WINDING NARROW ROADS OR HEAVY TRAFFIC.
- GROUNDINGS ARE TO BE TESTED-REQUIRES 5 OHMS OR LESS RESISTANCE.
- ALL LANDSCAPING TO BE RESTORED TO ORIGINAL CONDITION.
- NOTIFY PROPERTY OWNER BEFORE WORKING ON OR AROUND PRIVATE PROPERTY.
- OBTAIN SPECIAL PERMITS AND PAY FEES AS REQUIRED WORKING ON COUNTY HIGHWAY.
- MAINTAIN 36" MINIMUM COVER IN PARKWAY
- MAINTAIN 30" MINIMUM COVER BELOW GUTTER GRADE ON SURFACE STREETS.
- CONDUIT REQUIREMENTS:
 - UNDERGROUND - SCHEDULE 40 PVC OR BETTER
 - RISERS - SCHEDULE 80 PVC
 - ALL CONDUITS WILL BE MANDELED AND EQUIPPED WITH 3/8" PULL ROPE.
 - 2" GALVANIZED STEEL CONDUIT FOR ANY CONDUIT UNDER 3', STUB UP 10" THEN CONVERT TO SCHEDULE 80.
 NOTE: WHERE MINIMUM COVER OF 36" CANNOT BE OBTAINED, REPLACED PVC WITH 2" GALVANIZED STEEL CONDUIT, GALVANIZED STEEL CONDUIT MUST BE MINIMUM OF 10'-0" IN LENGTH BEFORE CONVERTING BACK TO PVC.
- GROUND REQUIREMENTS:
 - 5/8" ROD-10' LENGTH
 - GROUND TESTED AT 5 OHMS OR LESS
 - #2 GROUND WIRE
 - GROUND RODS MUST BE 24" FROM POLE AND THE TOP OF ROD MUST BE BELOW GRADE LEVEL.

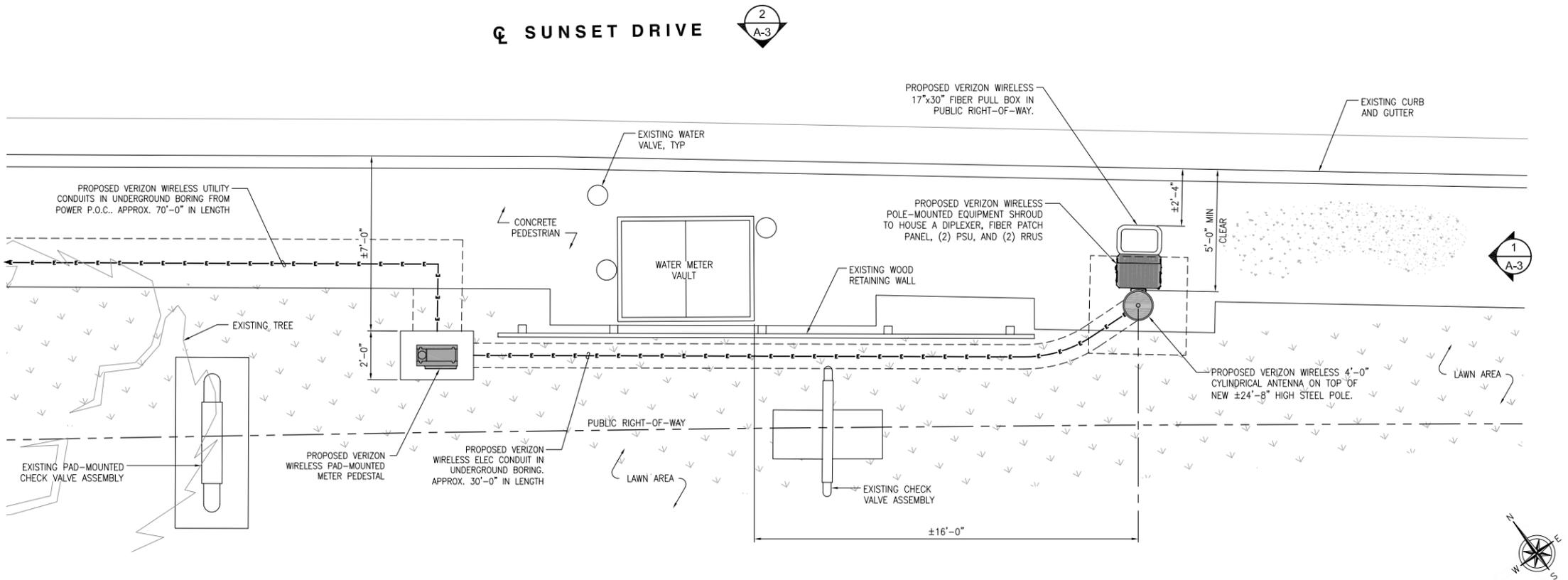
UNDERGROUND UTILITIES NOTE:
 ALL EXISTING SUB-SURFACE UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON THE PLAN HAVE BEEN PLOTTED FROM FIELD SURVEY AND/OR AVAILABLE RECORDS, THE ARCHITECT/ ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR THE ACCURACY OF THE INFORMATION SHOWN ON THE PLANS, OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTORS SHALL BE RESPONSIBLE FOR THE DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTORS SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING UTILITIES. THERE MAY BE EXISTING UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINE SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.



ENLARGED SITE PLAN

24"x36" SCALE: 1/8" = 1'-0"
 11"x17" SCALE: 1/16" = 1'-0"

- NOTES:
- CONTRACTOR TO PLACE SANDBAGS AROUND ANY/ALL STORM DRAIN INLETS TO PREVENT CONTAMINATED WATER.
 - SPOILS PILE WILL BE COVERED AND CONTAINED AND STREET WILL BE SWEEPED AND CLEANED AS NEEDED.
 - CONTRACTOR TO REPAIR DAMAGED PUBLIC IMPROVEMENTS TO THE SATISFACTION OF THE CITY ENGINEER.
 - CURB & GUTTER TO BE PROTECTED IN PLACE. SIDEWALK TO BE REPLACED TO THE SATISFACTION OF THE CITY ENGINEER.
 - THE CONTRACTOR SHALL RESTORE THE ROADWAY BACK TO ITS ORIGINAL CONDITION SATISFACTORY TO THE CITY ENGINEER INCLUDING, BUT NOT LIMITED TO PAVING, STRIPING, BIKE LANES, PAVEMENT, LEGENDS, SIGNS, AND TRAFFIC LOOP DETECTORS.



EQUIPMENT LAYOUT

24"x36" SCALE: 3/8" = 1'-0"
 11"x17" SCALE: 3/16" = 1'-0"

Item 8a
verizon
 2785 MITCHELL DRIVE, BLDG. 9
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ISSUED DATE:
MAY 31, 2018

ISSUED FOR:
PLANNING

LICENSURE:
 PROJECT INFORMATION:
PACIFIC GROVE HS SC1
 LOCATION CODE: 425598
 ROW IN FRONT OF 615
 SUNSET DRIVE
 PACIFIC GROVE, CA 93950

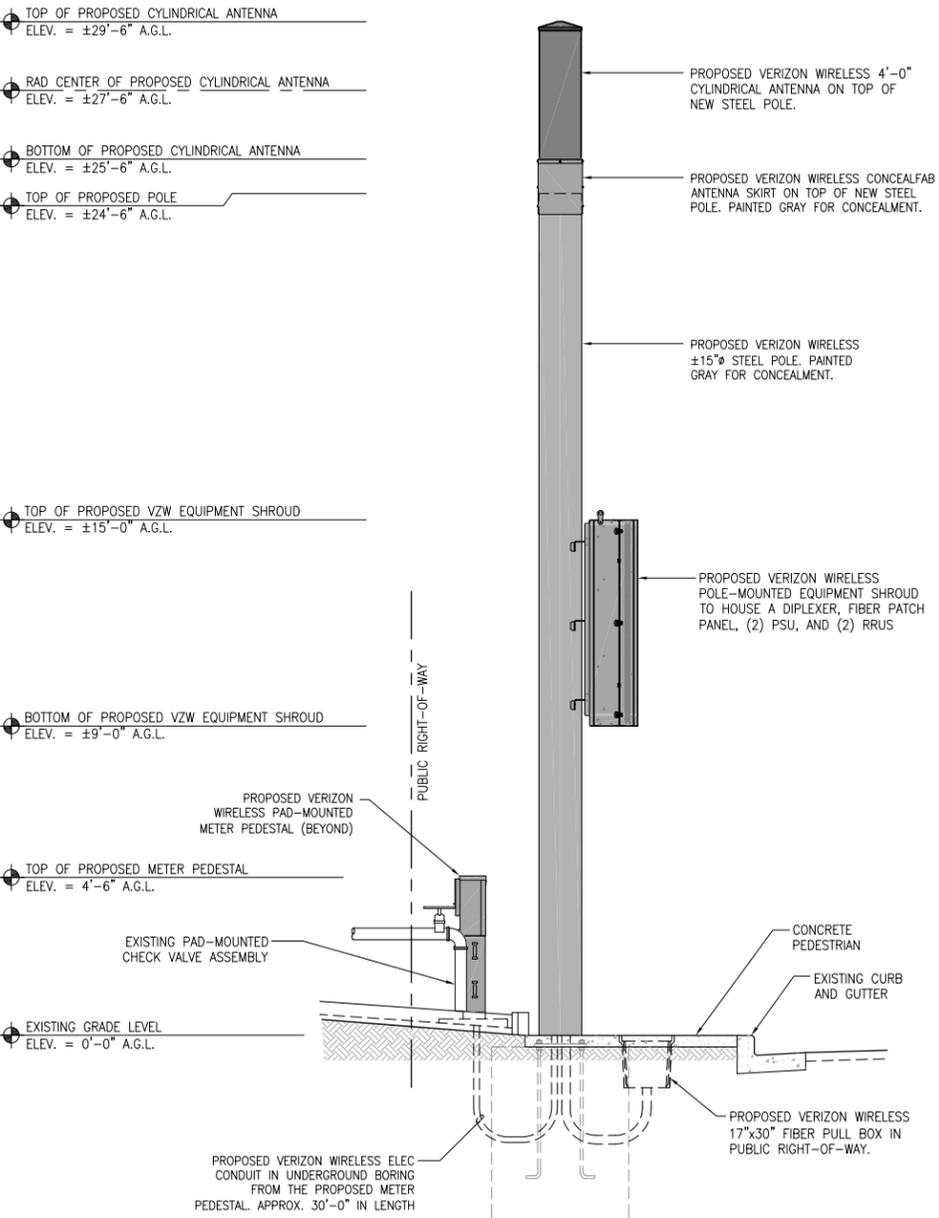
DRAWN BY: MAM
 CHECKED BY: FO

SHEET TITLE:
**ENLARGED SITE PLAN,
 EQUIPMENT AND
 ANTENNA LAYOUT**

SHEET NUMBER:
A-2

ATTACHMENT E: - Site Plans – Revised Design and Revised Location

- NOTES:
 1. THE NEW LAYOUT IS PRELIMINARY AND SUBJECT TO CHANGE PENDING FULL STRUCTURAL ANALYSIS.
 2. NEW TOWER, ANTENNAS, EQUIPMENT SHROUD, AND ALL EXPOSED HARDWARE SHOULD BE PAINTED GRAY FOR CONCEALMENT AS NECESSARY.



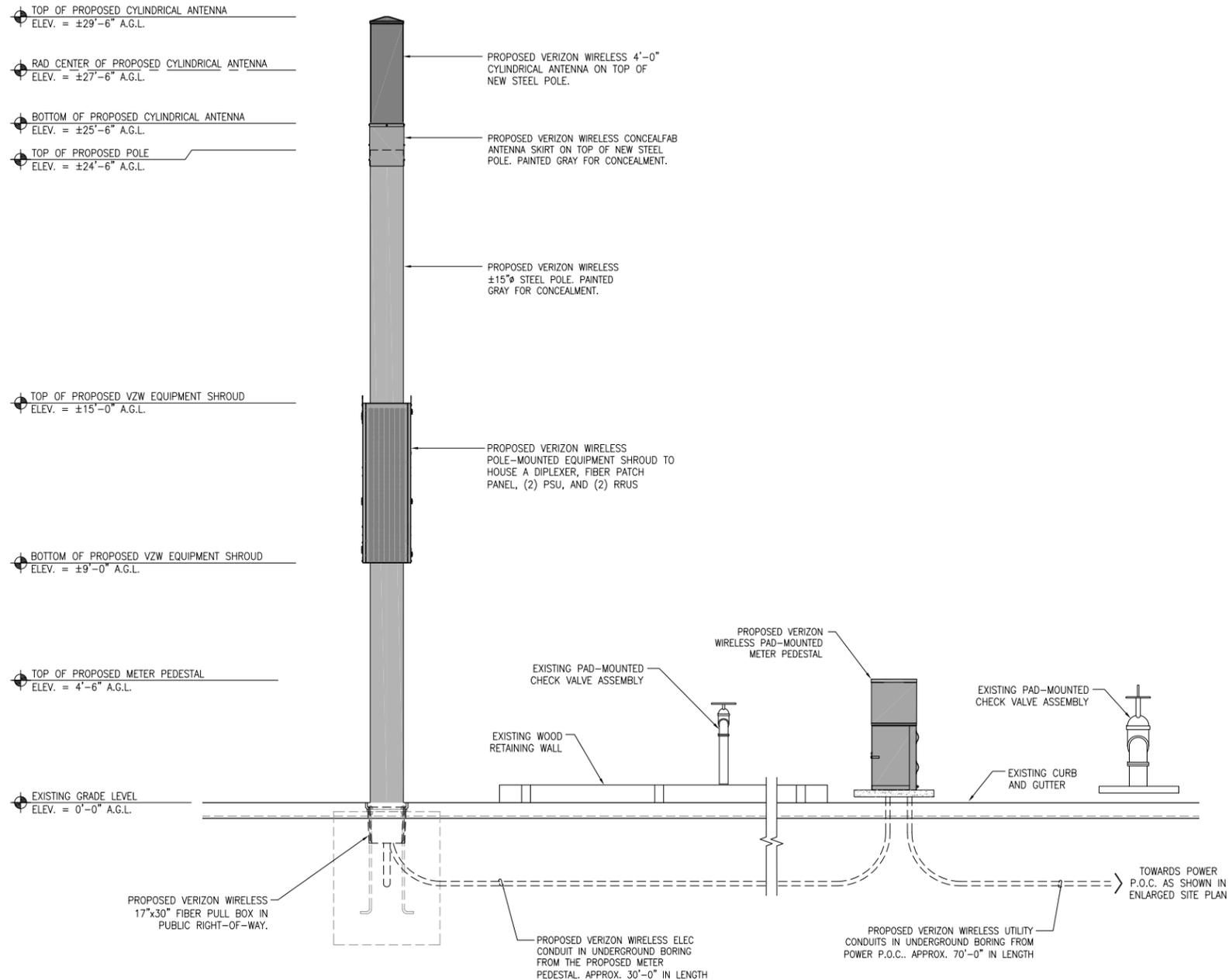
PROPOSED SOUTHEAST ELEVATION

24"x36" SCALE: 3/8" = 1'-0"
 11"x17" SCALE: 3/16" = 1'-0"



1

- NOTES:
 1. THE NEW LAYOUT IS PRELIMINARY AND SUBJECT TO CHANGE PENDING FULL STRUCTURAL ANALYSIS.
 2. NEW TOWER, ANTENNAS, EQUIPMENT SHROUD, AND ALL EXPOSED HARDWARE SHOULD BE PAINTED GRAY FOR CONCEALMENT AS NECESSARY.



PROPOSED NORTHEAST ELEVATION

24"x36" SCALE: 3/8" = 1'-0"
 11"x17" SCALE: 3/16" = 1'-0"



2

Item 8a



REV	DATE	DESCRIPTION
6	06/07/2018	REDESIGN OPTION
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ISSUED DATE:
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PLANNING

LICENSURE:

PROJECT INFORMATION:
PACIFIC GROVE HS SC1
 LOCATION CODE: 425598
 ROW IN FRONT OF 615
 SUNSET DRIVE
 PACIFIC GROVE, CA 93950

DRAWN BY: MAM
 CHECKED BY: FO

SHEET TITLE:
ARCHITECTURAL ELEVATIONS

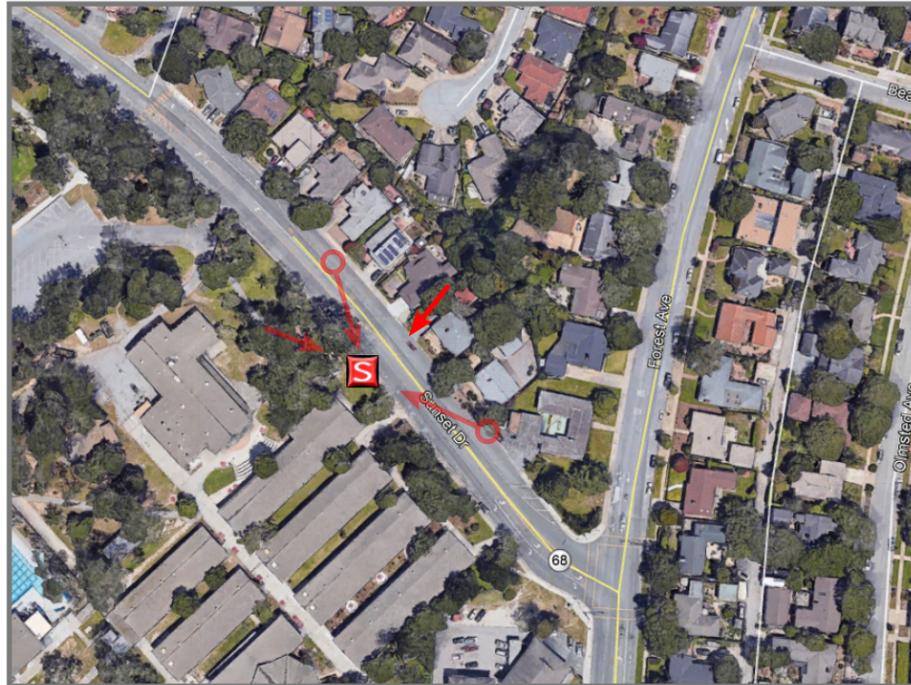
SHEET NUMBER:
A-3



PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950

VIEW 1



LOCATION

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EXISTING



PROPOSED POLE WITH ANTENNA AND
POLE MOUNTED EQUIPMENT CABINET

PROPOSED METER PEDESTAL

PROPOSED

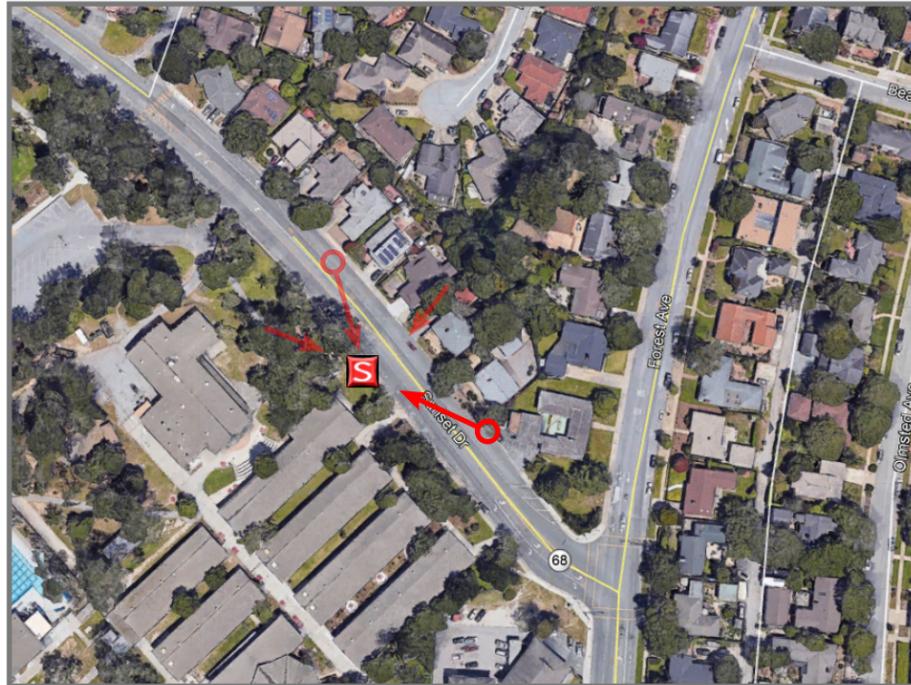
LOOKING SOUTHWEST ACROSS SUNSET DRIVE



PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950

VIEW 2



LOCATION

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EXISTING



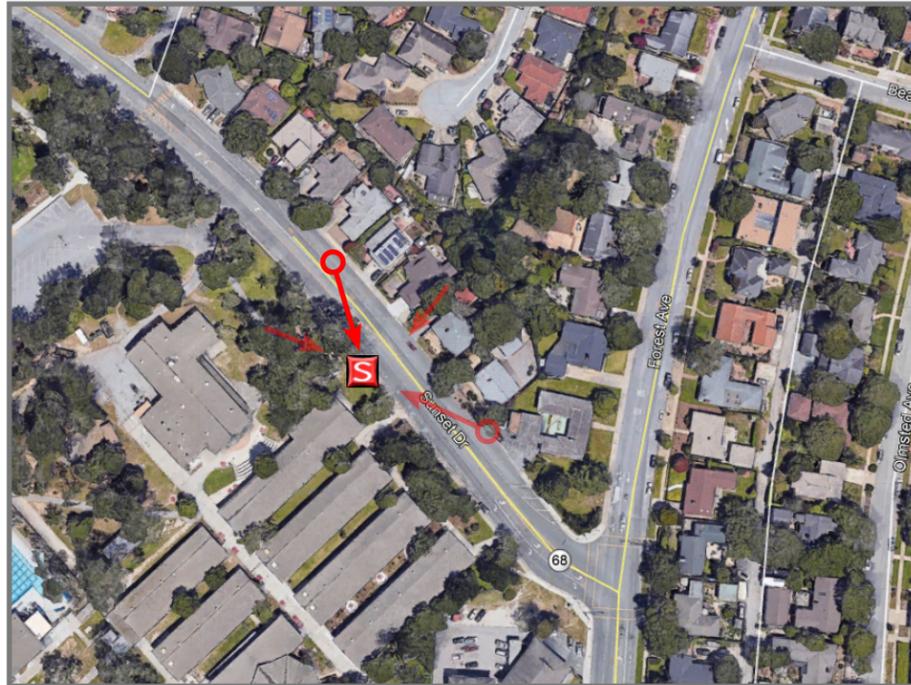
PROPOSED

LOOKING NORTHWEST ACROSS SUNSET DRIVE



PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950



LOCATION

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EXISTING



PROPOSED POLE WITH ANTENNA AND
POLE MOUNTED EQUIPMENT CABINET

PROPOSED METER PEDESTAL

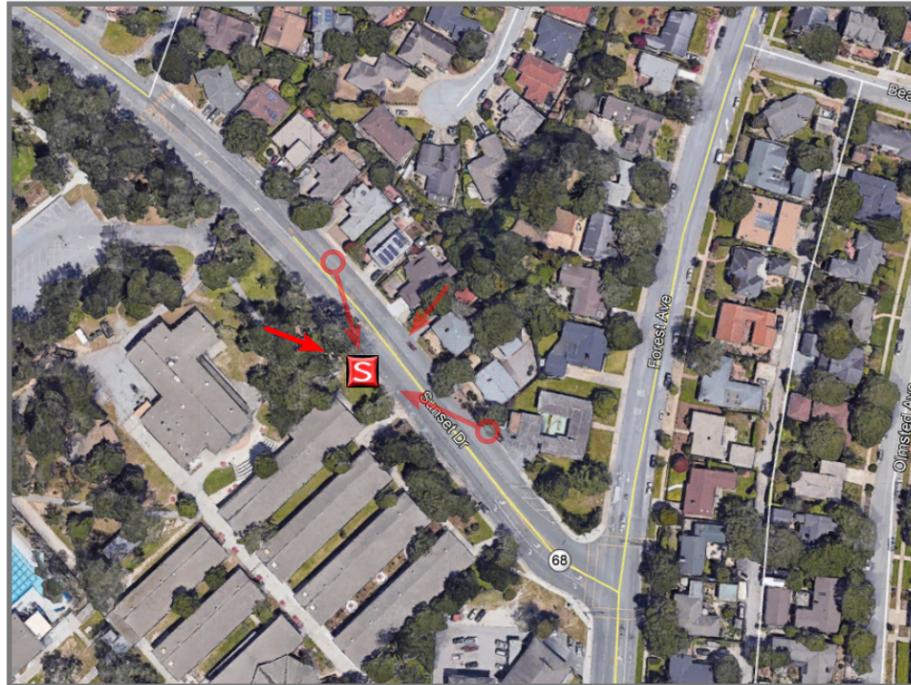
PROPOSED

LOOKING SOUTHEAST ACROSS SUNSET DRIVE



PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950



LOCATION

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EXISTING



PROPOSED POLE WITH ANTENNA AND
POLE MOUNTED EQUIPMENT CABINET

PROPOSED METER PEDESTAL

PROPOSED PULL BOX

PROPOSED

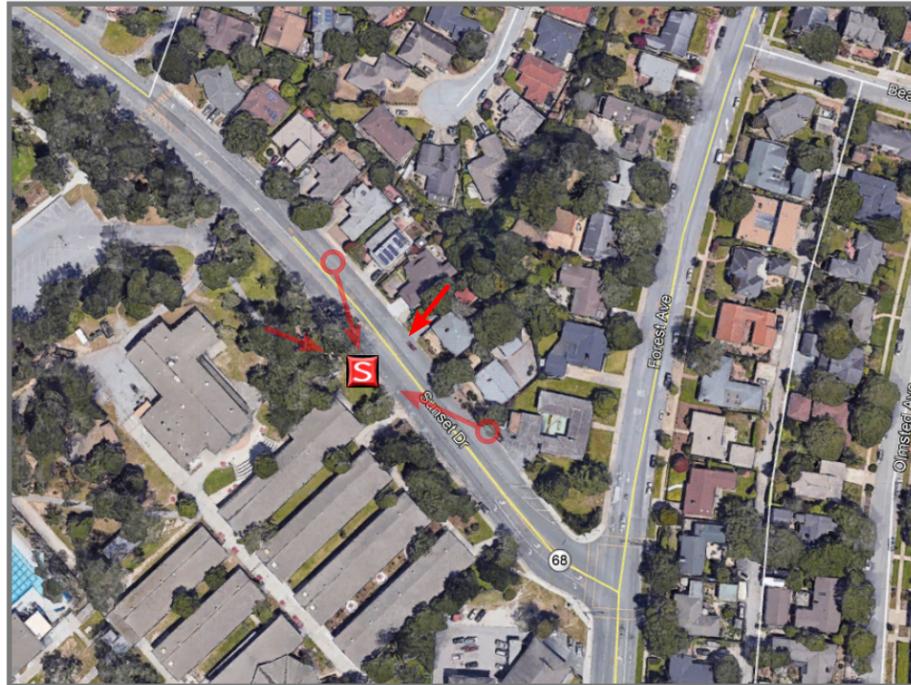
LOOKING SOUTHEAST FROM SITE



PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950

VIEW 1



LOCATION

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EXISTING



PROPOSED

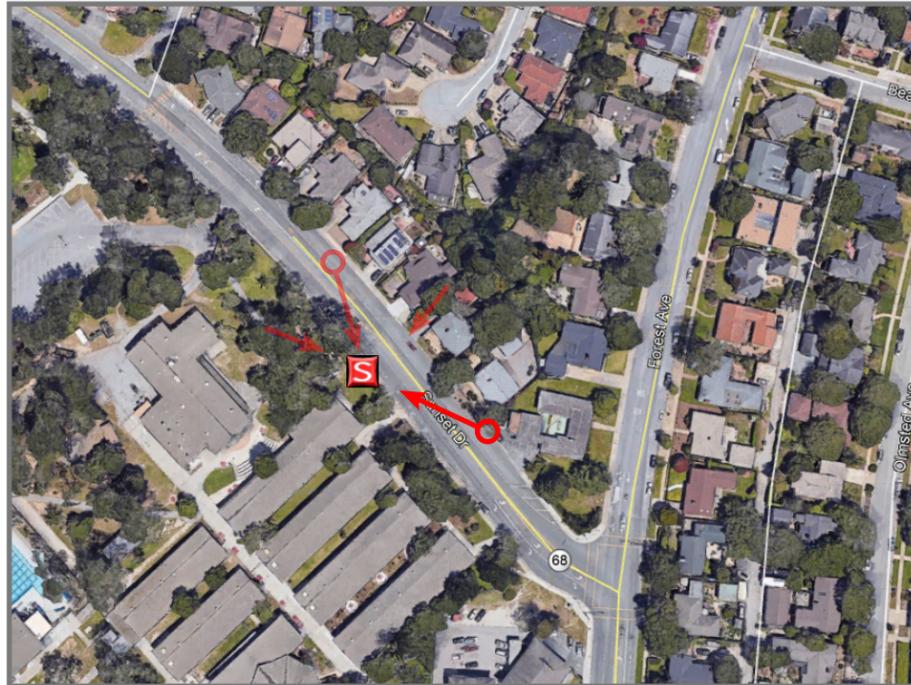
LOOKING SOUTHWEST ACROSS SUNSET DRIVE



PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950

VIEW 2



LOCATION

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EXISTING



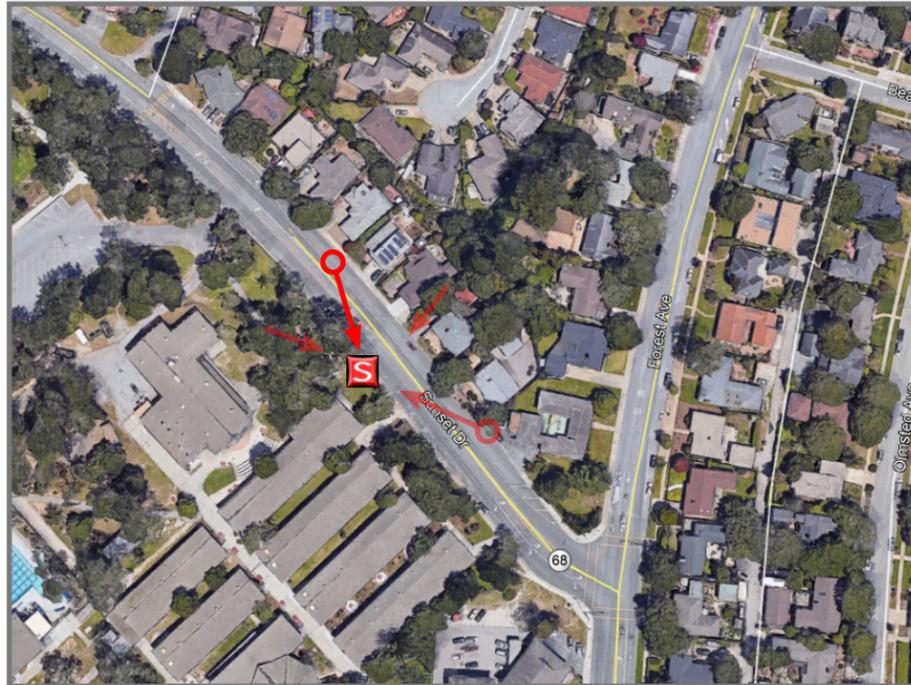
PROPOSED

LOOKING NORTHWEST ACROSS SUNSET DRIVE



PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950



LOCATION

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EXISTING



PROPOSED POLE WITH ANTENNA AND
POLE MOUNTED EQUIPMENT CABINET

PROPOSED METER PEDESTAL

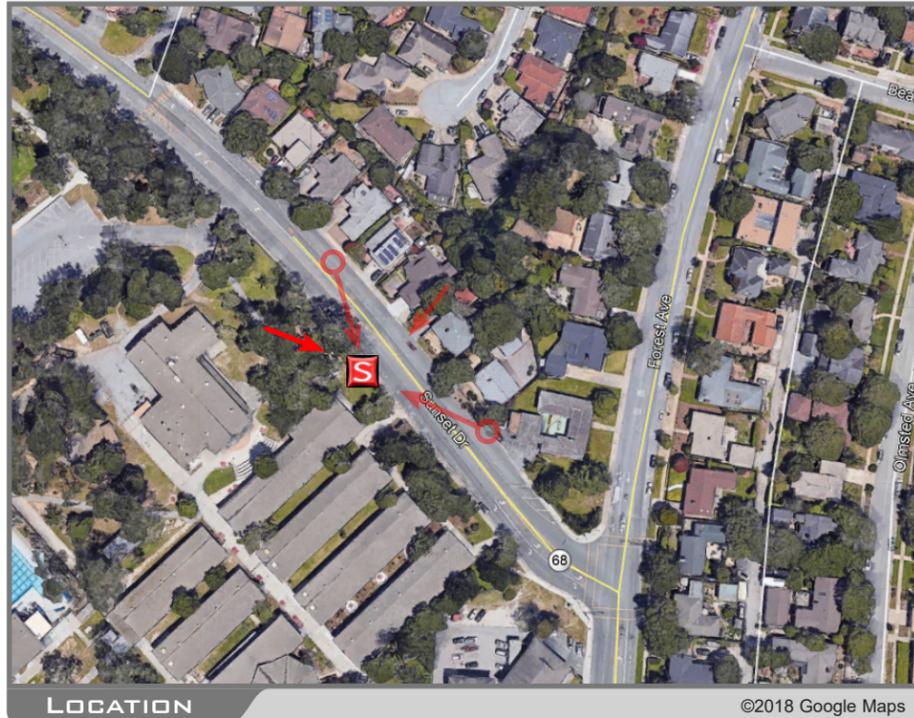
PROPOSED

LOOKING SOUTHEAST ACROSS SUNSET DRIVE



PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950



LOCATION

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EXISTING



PROPOSED POLE WITH ANTENNA AND
POLE MOUNTED EQUIPMENT CABINET

PROPOSED METER PEDESTAL

PROPOSED PULL BOX

PROPOSED

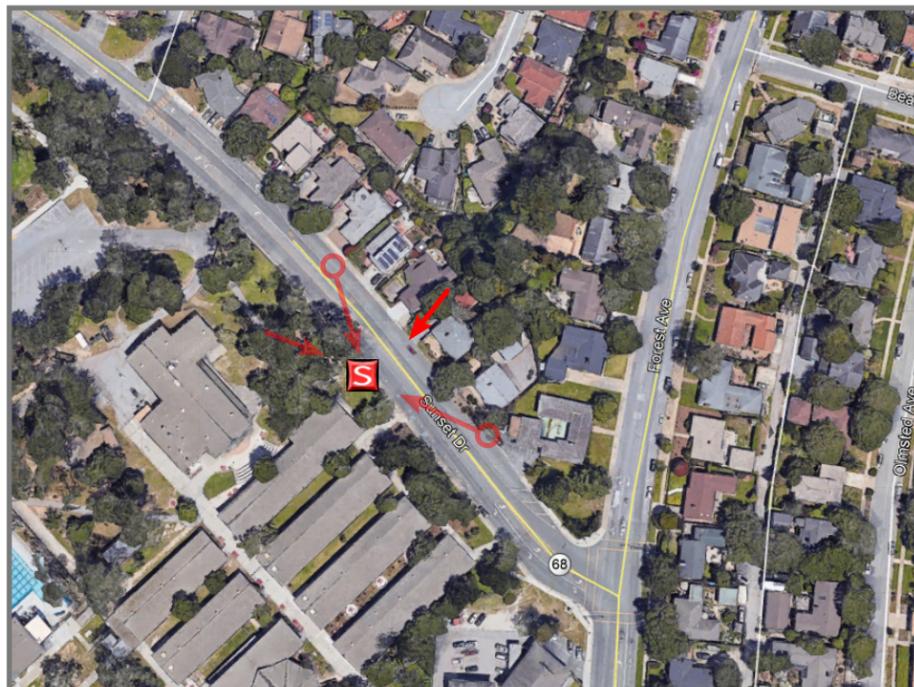
LOOKING SOUTHEAST FROM SITE



PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950

VIEW 1



LOCATION

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EXISTING



PROPOSED POLE WITH ANTENNA AND
POLE MOUNTED EQUIPMENT CABINET

PROPOSED METER PEDESTAL

PROPOSED

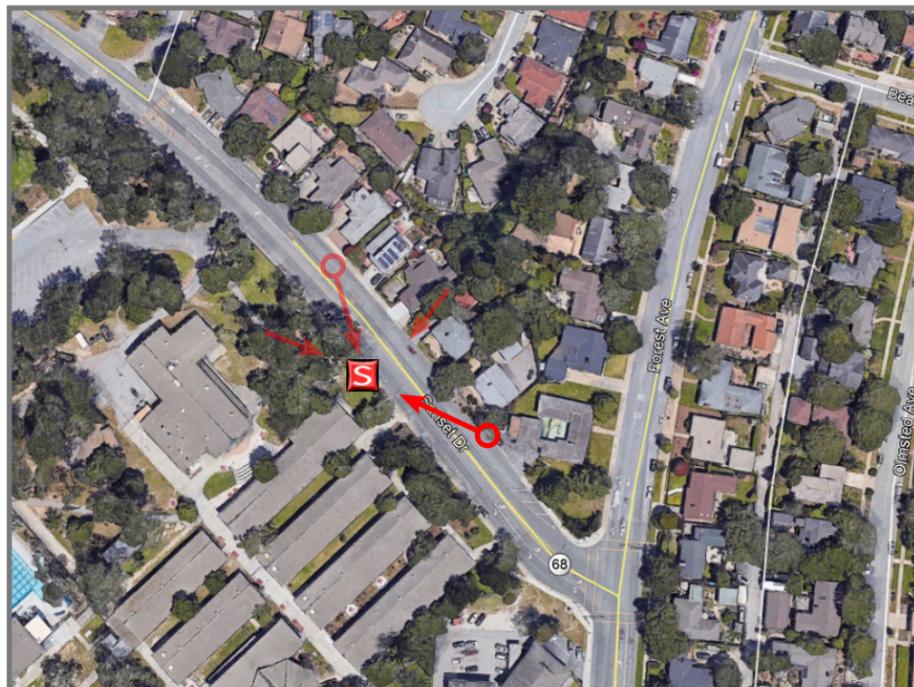
LOOKING SOUTHWEST ACROSS SUNSET DRIVE



PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950

VIEW 2



LOCATION

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EXISTING



PROPOSED POLE WITH ANTENNA AND
POLE MOUNTED EQUIPMENT CABINET

PROPOSED METER PEDESTAL BEYOND

PROPOSED PULL BOX

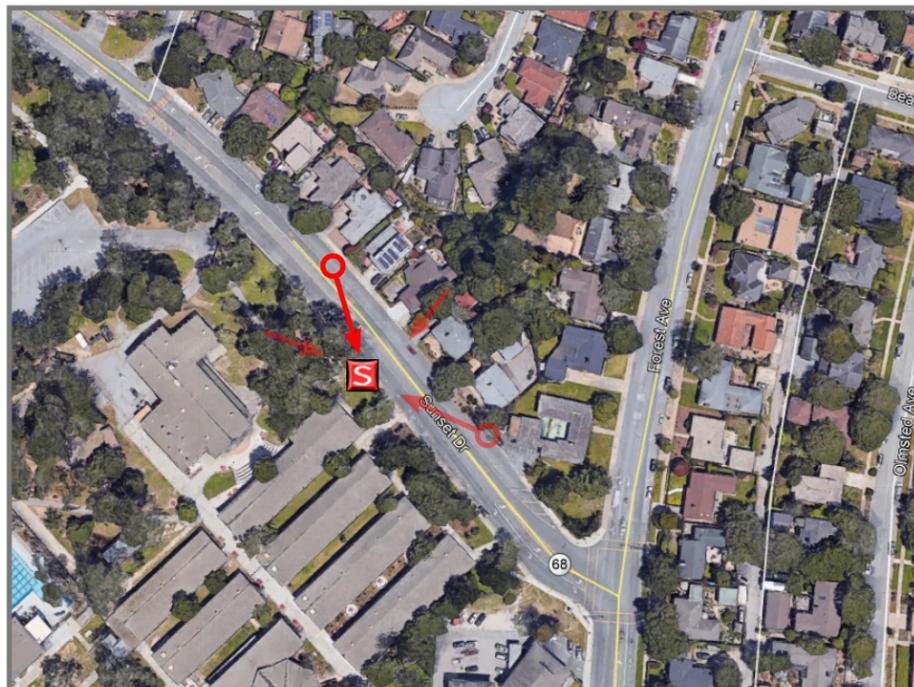
PROPOSED

LOOKING NORTHWEST ACROSS SUNSET DRIVE



PACIFIC GROVE HS SC 1

ROW IN FRONT OF 615 SUNSET DRIVE PACIFIC GROVE CA 93950



LOCATION

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EXISTING



PROPOSED POLE WITH ANTENNA AND
POLE MOUNTED EQUIPMENT CABINET

PROPOSED METER PEDESTAL

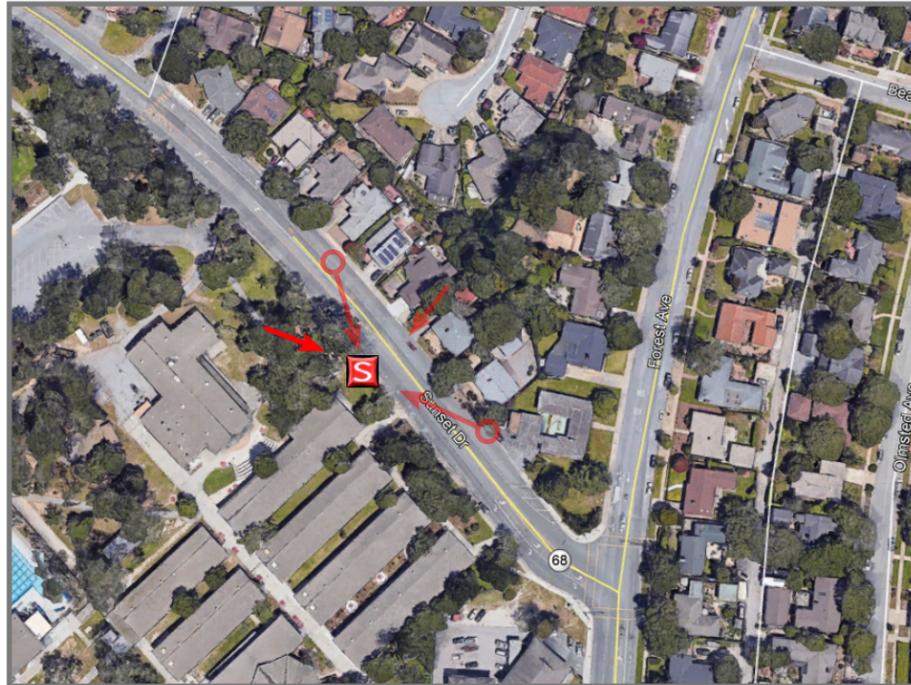
PROPOSED

LOOKING SOUTHEAST ACROSS SUNSET DRIVE



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LOCATION

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EXISTING



PROPOSED

LOOKING SOUTHEAST FROM SITE