



## NOTICE OF MEETING

### CITY OF PACIFIC GROVE

## HISTORIC RESOURCES COMMITTEE

### REGULAR MEETING AGENDA

Wednesday, May 27, 2020, 3:00 P.M.

Council Chamber – City Hall – 300 Forest Avenue, Pacific Grove, CA

**THIS MEETING WILL BE HELD VIRTUALLY AND IS COMPLIANT WITH THE GOVERNOR'S EXECUTIVE ORDERS N-25-20 AND N-29-20, ALLOWING FOR A DEVIATION OF TELECONFERENCE RULES REQUIRED BY THE BROWN ACT.**

**Join the Zoom Meeting to participate live at:**

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To participate telephonically, call any number below:

+1 669 900 9128

877 853 5247 (Toll Free)

888 788 0099 (Toll Free)

**Webinar Meeting ID: 827 8719 2889**

Help Line 831-648-3128

## AGENDA

### CALL TO ORDER

1. **APPROVAL OF AGENDA**
2. **COMMISSION AND STAFF ANNOUNCEMENTS (City-Related Items Only)**
3. **COUNCIL LIAISON ANNOUNCEMENTS**
4. **GENERAL PUBLIC COMMENT**

*General Public Comment must deal with matters subject to the jurisdiction of the City and the Planning Commission that are not on the Regular Agenda. This is the appropriate place to comment as to items on the Consent Agenda, only if you do not wish to have the item pulled for individual consideration by the Planning Commission. Comments from the public will be limited to three minutes and will not receive Planning Commission action. Comments regarding items on the Regular Agenda shall be heard prior to Planning Commission's consideration of such items at the time such items are called. Whenever possible, written correspondence should be submitted to the Planning Commission in advance of the meeting, to provide adequate time for its consideration.*

## CONSENT AGENDA

*The Consent Agenda deals with routine and non-controversial matters, and may include action on resolutions, ordinances, or other public hearings for which testimony is not anticipated. The vote on the Consent Agenda shall apply to each item that has not been removed. Any member of the Planning Commission, staff, or the public may remove an item from the Consent Agenda for individual consideration. When items are pulled for discussion, they will be automatically placed at the end of their respective section within the Regular Agenda. One motion shall be made to adopt all non-removed items on the Consent Agenda. Items pulled from this section will be placed under The Consent Agenda deals with routine and non-controversial matters, and may include action on resolutions, ordinances, or other public hearings for which testimony is not anticipated. The vote on the Consent Agenda shall apply to each item that has not been removed. Any member of the Planning Commission, staff, or the public may remove an item from the Consent Agenda for individual consideration. When items are pulled for discussion, they will be automatically placed at the end of their respective section within the Regular Agenda. One motion shall be made to adopt all non-removed items on the Consent Agenda. Items pulled from this section will be placed under 6. Regular Agenda*

5. Initial Historic Screening for 37 Companion Way.  
**Reference:** Alex Othon, Assistant Planner  
**Recommended Action:** Recommend HRC find this property ineligible for the Historic Resources Inventory.  
**CEQA:** Does not constitute a “Project” per California Environmental Quality Act Guidelines Section 15378
  
6. Initial Historic Screening for 934 Fountain Ave.  
**Reference:** Alex Othon, Assistant Planner  
**Recommended Action:** Recommend HRC find this property ineligible for the Historic Resources Inventory.  
**CEQA:** Does not constitute a “Project” per California Environmental Quality Act Guidelines Section 15378
  
7. Initial Historic Screening for 409 Sinex.  
**Reference:** Alex Othon, Assistant Planner  
**Recommended Action:** Recommend HRC find this property ineligible for the Historic Resources Inventory.  
**CEQA:** Does not constitute a “Project” per California Environmental Quality Act Guidelines Section 15378
  
8. Initial Historic Screening for 42 Quarterdeck Wy.  
**Reference:** Alex Othon, Assistant Planner  
**Recommended Action:** Recommend HRC find this property ineligible for the Historic Resources Inventory.  
**CEQA:** Does not constitute a “Project” per California Environmental Quality Act Guidelines Section 15378
  
9. Initial Historic Screening for 380 Pine Ave.  
**Reference:** Alex Othon, Assistant Planner  
**Recommended Action:** Recommend the HRC find the property located at 380 Pine Avenue ineligible for the Historic Resources Inventory.

**CEQA:** Does not constitute a “Project” per California Environmental Quality Act Guidelines Section 15378

10. Initial Historic Screening for 955 Walnut.  
**Reference:** Alex Othon, Assistant Planner  
**Recommended Action:** Recommend HRC find this property ineligible for the Historic Resources Inventory.  
**CEQA:** Does not constitute a “Project” per California Environmental Quality Act Guidelines Section 15378
  
11. Adoption of HRC Resolution 20-03  
**Reference:** Alyson Hunter, Senior Planner  
**Recommended Action:** Adopt HRC Resolution 20-03 reflecting the actions of the Historic Resources Committee at it's February 26, 2020, meeting.  
**CEQA:** Does not constitute a “Project” per California Environmental Quality Act Guidelines Section 15378
  
12. **Approval of February 26, 2020, Historic Resources Committee Meeting Minutes**  
**Reference:** Alyson Hunter, Senior Planner  
**Recommended Action:** Adopt the draft February 26, 2020, minutes as presented.  
**CEQA:** Does not constitute a “Project” per California Environmental Quality Act Guidelines Section 15378

## **REGULAR AGENDA**

13. Deletion of 864 Laurel Ave. from the City's Historic Resources Inventory (HRI). **This item was continued from the February 26, 2020 meeting.**  
**Description:** Deletion of 864 Laurel Ave. from the City's Historic Resources Inventory (HRI).  
**Zone District/General Plan Designation:** R-1 / Medium Density Residential  
**Coastal Zone:** No  
**Archaeological Zone:** No  
**Historic Resources Inventory:** Yes  
**Area of Special Biological Significance:** Yes  
**CEQA:** Does not constitute a “Project” per California Environmental Quality Act Guidelines Section 15378  
**Recommended Action:** Delete 864 Laurel Ave. from the City's Historic Resources Inventory (HRI) due to lost historic integrity.  
**Reference:** Alyson Hunter, Senior Planner
  
14. Deletion of 219 Bentley St. from the City's Historic Resources Inventory (HRI). **This item was continued from the February 26, 2020 meeting.**  
**Description:** Deletion of 219 Bentley St. from the City's Historic Resources Inventory (HRI).  
**Zone District/General Plan Designation:** R-1 / Medium Density Residential  
**Coastal Zone:** No

**Archaeological Zone:** No

**Historic Resources Inventory:** Yes

**Area of Special Biological Significance:** Yes

**CEQA:** Does not constitute a “Project” per California Environmental Quality Act Guidelines Section 15378

**Recommended Action:** Delete 219 Bentley St. from the City's Historic Resources Inventory (HRI) due to loss of historic integrity.

**Reference:** Alyson Hunter, Senior Planner

15. Historic Determination to Remove 212 4th St. from the Historic Resources Inventory

**Reference:** Alyson Hunter, Senior Planner

**Recommended Action:** Remove the property from the Historic Resources Inventory due to loss of historic significance and/or historic integrity.

**CEQA:** Does not constitute a “Project” per California Environmental Quality Act Guidelines Section 15378

16. An Architectural Permit for 135 18th Street.

**Description:** An Architectural Permit to allow the demolition of an existing 51 sf bathroom at the rear of an existing single-family residence to be replaced with a 45 sf bathroom. The property is listed on the City of Pacific Grove's Historic Resources Inventory.

**Zone District/General Plan Designation:** Pacific Grove Retreat (R-3-PGR) / High Density Residential (19. 8 du/acre)

**Coastal Zone:** Yes

**Archaeological Zone:** No

**Historic Resources Inventory:** Yes

**Area of Special Biological Significance:** Yes

**CEQA:** Categorical Exemption, CEQA Guidelines 15331, Historical Resources Restoration/Rehabilitation

**Recommended Action:** Staff recommends that the Historic Resources Committee approve Architectural Permit 20-0062 subject to findings, conditions of approval, and Classes 1 and 31 CEQA Categorical Exemptions.

**Reference:** Alex Othon, Assistant Planner

17. Deletion of 138 9th St. from the City's Historic Resources Inventory (HRI)

**Description:** Deletion of 138 9th St. from the Historic Resources Inventory (HRI).

**Zone District/General Plan Designation:** R-3-PGR / High Density Residential

**Coastal Zone:** No

**Archaeological Zone:** No

**Historic Resources Inventory:** Yes

**Area of Special Biological Significance:** Yes

**CEQA:** Does not constitute a “Project” per California Environmental Quality Act Guidelines Section 15378

**Recommended Action:** Delete the property from the Historic Resources Inventory (HRI) due to loss of historic integrity.

**Reference:** Alyson Hunter, Senior Planner

18. Deletion of 150 13th St. from the City's Historic Resources Inventory (HRI)  
**Description:** Deletion of 150 13th St. from the City's Historic Resources Inventory (HRI) due to loss of historic integrity.  
**Zone District/General Plan Designation:** R-3-PGR / High Density Residential  
**Coastal Zone:** No  
**Archaeological Zone:** No  
**Historic Resources Inventory:** Yes  
**Area of Special Biological Significance:** Yes  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378  
**Recommended Action:** Delete 150 13th St. from the City's Historic Resources Inventory (HRI) due to loss of historic integrity.  
**Reference:** Alyson Hunter, Senior Planner
  
19. Deletion of 308 14th St. from the Historic Resources Inventory (HRI).  
**Description:** Deletion of 308 14th St. from the Historic Resources Inventory (HRI) due to loss of historic integrity.  
**Zone District/General Plan Designation:** R-2 / High Density Residential  
**Coastal Zone:** No  
**Archaeological Zone:** No  
**Historic Resources Inventory:** Yes  
**Area of Special Biological Significance:** Yes  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378  
**Recommended Action:** Delete 308 14th St. from the Historic Resources Inventory (HRI) due to loss of historic integrity.  
**Reference:** Alyson Hunter, Senior Planner
  
20. Deletion of 511 18 St. from the City's Historic Resources Inventory (HRI) due to loss of integrity.  
**Description:** Deletion of 511 18 St. from the City's Historic Resources Inventory (HRI) due to loss of integrity.  
**Zone District/General Plan Designation:** R-1 / Low Density Residential  
**Coastal Zone:** No  
**Archaeological Zone:** No  
**Historic Resources Inventory:** Yes  
**Area of Special Biological Significance:** Yes  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378  
**Recommended Action:** Delete 511 18 St. from the City's Historic Resources Inventory (HRI) due to loss of integrity.  
**Reference:** Alyson Hunter, Senior Planner

21. Deletion of 244 Central Ave. from the City's Historic Resources Inventory (HRI).  
**Description:** Deletion of 244 Central Ave. from the City's Historic Resources Inventory (HRI) due to loss of historic integrity.  
**Zone District/General Plan Designation:** R-3-PGR / High Density Residential  
**Coastal Zone:** Yes  
**Archaeological Zone:** Yes  
**Historic Resources Inventory:** Yes  
**Area of Special Biological Significance:** Yes  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378  
**Recommended Action:** Delete 244 Central Ave. from the City's Historic Resources Inventory (HRI) due to loss of integrity.  
**Reference:** Alyson Hunter, Senior Planner
22. Deletion of 217 Forest Ave. from the City's Historic Resources Inventory (HRI).  
**Description:** Deletion of 217 Forest Ave. from the City's Historic Resources Inventory (HRI) due to lost integrity.  
**Zone District/General Plan Designation:** C-D / Downtown Commercial  
**Coastal Zone:** No  
**Archaeological Zone:** No  
**Historic Resources Inventory:** Yes  
**Area of Special Biological Significance:** Yes  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378  
**Recommended Action:** Delete 217 Forest Ave. from the City's Historic Resources Inventory (HRI) due to loss of historic integrity.  
**Reference:** Alyson Hunter, Senior Planner
23. Deletion of 601 Fountain Ave. from the City's Historic Resources Inventory (HRI).  
**Description:** Deletion of 601 Fountain Ave. from the City's Historic Resources Inventory (HRI) due to loss of historic integrity.  
**Zone District/General Plan Designation:** R-4 / High Density Residential  
**Coastal Zone:** No  
**Archaeological Zone:** No  
**Historic Resources Inventory:** Yes  
**Area of Special Biological Significance:** Yes  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378  
**Recommended Action:** Delete 601 Fountain Ave. from the City's Historic Resources Inventory (HRI) due to loss of historic integrity.  
**Reference:** Alyson Hunter, Senior Planner
24. Deletion of 182 Laurel Ave. from the City's Historic Resources Inventory (HRI).

**Description:** Deletion of 182 Laurel Ave. from the City's Historic Resources Inventory (HRI) due to loss of historic integrity.

**Zone District/General Plan Designation:** R-2 / High Density Residential

**Coastal Zone:** No

**Archaeological Zone:** No

**Historic Resources Inventory:** Yes

**Area of Special Biological Significance:** Yes

**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

**Recommended Action:** Delete 182 Laurel Ave. from the City's Historic Resources Inventory (HRI) due to loss of historic integrity.

**Reference:** Alyson Hunter, Senior Planner

25. Deletion of 147 Monterey Ave. from the City's Historic Resources Inventory (HRI).

**Description:** Deletion of 147 Monterey Ave. from the City's Historic Resources Inventory (HRI).

**Zone District/General Plan Designation:** R-3-PGR / High Density Residential

**Coastal Zone:** No

**Archaeological Zone:** No

**Historic Resources Inventory:** Yes

**Area of Special Biological Significance:** Yes

**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

**Recommended Action:** Delete 147 Monterey Ave. from the City's Historic Resources Inventory (HRI) due to lack of historic significance.

**Reference:** Alyson Hunter, Senior Planner

26. Deletion of 420 Sinex Ave. from the City's Historic Resources Inventory (HRI).

**Description:** Deletion of 420 Sinex Ave. from the City's Historic Resources Inventory (HRI).

**Zone District/General Plan Designation:** R-1 / Medium Density Residential

**Coastal Zone:** No

**Archaeological Zone:** No

**Historic Resources Inventory:** Yes

**Area of Special Biological Significance:** Yes

**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

**Recommended Action:** Delete 420 Sinex Ave. from the City's Historic Resources Inventory (HRI) as a result of lost historic integrity.

**Reference:** Alyson Hunter, Senior Planner

27. Adoption of Resolution 20-04

**Reference:** Alyson Hunter, Senior Planner

**Recommended Action:** Adopt Resolution 20-04 reflecting the Historic Resources Committee's action on May 27, 2020.

**CEQA:** Does not constitute a “Project” per California Environmental Quality Act Guidelines Section 15378

28. **DISCUSSION ITEM(S)**

A. Presentation on the Secretary of the Interior's Standards

**Reference:** Alyson Hunter, Senior Planner

**Recommended Action:** Receive a brief presentation on the Secretary of the Interior's Standards.

**CEQA:** Does not constitute a “Project” per California Environmental Quality Act Guidelines Section 15378

**Next Meeting – To be determined**

**ADJOURNMENT**

NOTICE OF ADA COMPLIANCE: Pursuant to Title II of the Americans with Disabilities Act (Codified At 42 United States Code Section 12101 and 28 Code of Federal Regulations Part 35), and Section 504 of the Rehabilitation Act of 1973, the City of Pacific Grove does not discriminate on the basis of race, color, religion, national origin, ancestry, sex, disability, age or sexual orientation in the provision of any services, programs, or activities. The City of Pacific Grove does not discriminate against persons with disabilities. City Hall is an accessible facility. A limited number of assisted listening devices will be available at this meeting. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting or provide the requested agenda format.



**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alex Othon, Assistant Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Initial Historic Screening for 37 Companion Way.  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

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**RECOMMENDATION**

Recommend HRC find this property ineligible for the Historic Resources Inventory.

The record provided indicates the property does not have historic significance or integrity and is not eligible for the Historic Resources Inventory.

**Attachments**

37 Companion Wy IHS Packet



# CITY OF PACIFIC GROVE

## Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

### Initial Historic Screening Determination

Address: 37 Companion Way APN: 006-042-001

Owner: MJ Decker Applicant: MJ Decker

#### HISTORIC RESOURCES COMMITTEE (HRC) RECOMMENDATION:

At the March 25, 2020 HRC meeting, the Committee prepared the following Preliminary Determination of Ineligibility and forwarded the recommendation to the Community Development Director:

- Determined to be ineligible as an “Historical Resource,” due to the following criteria:
  - 1. The property has undergone significant alterations to the primary or most visible façade, as evidenced through original plans, photographs or Sanborn maps.
    - \_\_\_\_\_ (description of known alteration)
    - \_\_\_\_\_ (type of documentation)
  - 2a. The property does not exhibit the architectural characteristics of the styles described in Section 7.3 of the General Plan or Section IV of the Historic Context Statement;
  - or
  - 2b. The property does not exhibit unique architectural, site or locational characteristics.
  - 3. The property is not associated with important persons, events or architecture.
- Determination of ineligibility cannot be made.

HRC Comments:

\_\_\_\_\_  
Claudia Sawyer, HRC Chair

\_\_\_\_\_  
Date

#### COMMUNITY DEVELOPMENT DIRECTOR (CDD) DETERMINATION:

Based on the recommendation above, the CDD Director, or their designee:

- Made a determination of ineligibility, which will remain in effect for 10 years from the date of approval.
- Found that a determination of ineligibility cannot be made, and a Phase 1 Historic Assessment is required.

\_\_\_\_\_  
Anastazia Aziz, AICP, Director

\_\_\_\_\_  
Date



# CITY OF PACIFIC GROVE

Community Development Department – Planning Division  
300 Forest Avenue, Pacific Grove, CA 93950  
Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Application # IHS 20-011  
Date: 19 Feb 2020  
Total Fees: \$452.00

## Permit Application

APPLICANT/OWNER:

Project Address: 37 Companion Way PG. APN: 006042001000  
Project Description: Remodel + addition on second floor

Will the project create, add, or replace impervious surface?  Yes  No  
Will the project impact any tree(s) on site?  Yes  No

**Applicant** Name: H.J Decker ← SAME  
Phone: 772.708.5491  
Email: mjd7979@tol.com  
Mailing Address: 635 North Star Ct Boulder, CO 80304

**Owner** Name: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Email: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_

**Permit Request:**  
 CRD: Counter Determination  SP: Sign Permit  IHS: Initial Historic Screening  VAR: Variance  
 AP: Architectural Permit  UP: Use Permit  HPP: Historic Preservation  MMP: Mitigation Monitoring  
 AAP: Administrative AP  AUP: Administrative UP  A: Appeal  Stormwater Permit  
 ADC: Arch Design Change  ADU: Acc. Dwelling Unit  TPD: Tree Permit W/ Dev't  Other: \_\_\_\_\_  
 ASP: Admin Sign Permit  LLA: Lot Line Adjustment  EIR: Environmental Impact  Other: \_\_\_\_\_

PLANNING STAFF USE ONLY:

**CEQA Determination:**  Exempt  Initial Study & Mitigated Negative Declaration  Environmental Impact Report  
**Review Authority:**  Staff  HRC  ZA  PC  SPRC  CC  ARB  \_\_\_\_\_  
**Active Permits:**  Active Planning Permit  Active Building Permit  Active Code Violation Permit #: \_\_\_\_\_  
**Overlay Zones:**  Butterfly Zone  Coastal Zone  Area of Special Biological Significance (ASBS)  Environmentally Sensitive Habitat Area (ESHA)

**Property Information**  
Lot: 1 Block: 274 Tract: PG Beach Resubd  
ZC: R-1-H GP: \_\_\_\_\_ Lot Size: ~6,539  
 Historic Resources Inventory  Archaeologically Sensitive Area

**Staff Use Only:**  
Received by: \_\_\_\_\_  
Assigned to: AD  
**RECEIVED**  
**FEB 19 2020**  
**CITY OF PACIFIC GROVE**  
**COMMUNITY DEV DEPT**  
**PAID**  
452.00  
2-19-2020

**INDEMNIFICATION CONDITION**

In consideration for City review and approval of application in this matter, the Owner/Applicant shall indemnify, defend, protect and hold harmless the City, its elected and appointed officials, officers, agents, and employees (collectively "Indemnitees"), using counsel approved in writing by the City, from and against, any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorneys' fees and disbursements which may accrue against Indemnitees by reason of the City's processing, approval or denial of the request and application in this matter. Indemnification shall include, but shall not be limited to any action, or proceeding brought to attack, set aside, void, annul, limit, or inhibit the approval of the application referenced above, and shall expressly include causes of action under the California Environmental Quality Act (CEQA), or the National Environmental Policy Act (NEPA).

The obligation to indemnify shall include, but not be limited to, all costs relating to preparing administrative records, investigations, responses to discovery, retention of experts, and other costs, including attorney's fees or obligations related to this matter, including actions brought by the Owner/Applicant and also extend to any expense incurred in establishing the City's right to indemnification. City expenses shall be paid by Owner/Applicant upon City request notwithstanding final disposition of the matter has not yet occurred. If the City is later determined to not be entitled to indemnification, the City shall repay amounts so advanced.

This indemnification condition is the Owner/Applicant's inducement to the City to process and approve the application, which approval would otherwise be withheld by City due to its concern for liability or expense that may result from performance of the City's duties. Should any dispute arise regarding interpretation of this condition, the prevailing party shall recover all reasonable costs incurred, including court costs, attorney fees and related expenses. Recovery of expenses shall be as additional costs awarded to the prevailing party, and shall not require initiation of a separate legal proceeding.

This indemnification condition shall not require the Owner/Applicant to indemnify the City or other Indemnities: (a) to the extent that an obligation is actually paid by an insurer pursuant to an insurance policy; (b) in connection with any remuneration paid to the City, if it shall be finally adjudged that such remuneration was in violation of law; or (c) on account of the City's misconduct if such misconduct shall be finally adjudged to have been knowingly fraudulent, deliberately dishonest or willful.

Any permit or other approval given by the City to the Owner/Applicant Guarantor shall be valid only so long as this indemnification condition is given full force and effect. If this indemnification condition is revoked, the permit or other approval of the City shall then become null and void.

Owner/Applicant represents it (and any subsidiary) is (a) duly formed and organized, (b) validly existing and in good standing under state law, and (c) has all necessary power to execute and deliver this document and perform its obligations. Owner/Applicant also represents it is authorized to enter into this agreement by all requisite partnership, corporate or other action, and its terms are a valid and legally binding obligation. Neither execution nor delivery of this document nor performance of its obligations will violate any law or provision of any agreement, articles of incorporation, by-laws or other organizational or governing documents relating to Owner/Applicant, nor conflict with any court order relating to Owner/Applicant.

**Applicant Signature:** \_\_\_\_\_

**Date:** \_\_\_\_\_

**Owner Signature (Required):** 

**Date:** 19 FEB 2020



**CITY OF PACIFIC GROVE**

**Community Development Department – Planning Division**

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cdd

**Initial Historic Screening Report**

<b>Address: 37 Companion Wy</b>	<b>APN: 0006-042-001</b>
<b>Block: 274</b>	<b>Lot: 1</b>

**Community Development Department Data:**

**Assessors Maps:** Yes    **Historic Files:** No

**1928 Block Files:** Yes    **Assessment Files by APN:** Yes

**Alpha by Owner:** Yes    **1947-1967 Building Permit Register:** Yes

**Sanborn Maps:** No Records:     1888:     1892:     1897:

1905:     1914:     1926:     1962:

**Building Permit History:**

Permit No.	Permit Date:	Scope of Work:	Owner:	Builder:
1733	January 16, 1958	New SFD	Smeya	Sell Construction Co
Permit No.	Permit Date:	Scope of Work:	Owner:	Builder:
2575	March 17, 1961	New siding	Hodges	F. E. Elliot
Permit No.	Permit Date:	Scope of Work:	Owner:	Builder:
2874	May 1, 1962	Hat House	Hodges	Owner

**Miscellaneous Information:**

**Board & Batten Index:** No    **Tuttle Photo Collection:** No

**Polk Directories (1926 – 1988):** No    **Library Photo Collection:** No

Respectfully submitted,

Alex Othon, Assistant Planner



**SUMMARY OF APPRAISED LAND AND BUILDING VALUATIONS  
EQUALIZATION OF ASSESSED VALUES — CITY OF PACIFIC GROVE, CALIFORNIA**

AUTHORIZED BY CONTRACT WITH CITY COUNCIL, DECEMBER 17, 1927

TRACT NAME Pacific Grove Beach

BLOCK NO. 274

LOT NO.	NAME OF OWNER	APPRAISED 1928		ASSESSED 1928-1929	
		LAND	IMPS.	LAND	IMPS.
1	D M P Co	850			
2	D M P Co	1030			
3	D M P Co	1060			
4	D M P Co	1890			
5	D M P Co	1850			
1	Gertrude K Fletcher	1260			
TOTALS		7940			





6-042-1

CITY OF PACIFIC GROVE

*Resub*

LOT 1

BLOCK 274

ADD. PACIFIC GROVE BEACH

DATE	OWNER	ADDRESS
	D M P Co.	Del Monte, Calif.
1/6/48	Stephen V. & Belle Carey	
12/22/49	Ben M. & Carol M. Dahle	
10/3/57	Ernest A. & Wilhelmina Smeya	
4/1/58	Laura M. Hodges	

# CITY OF PACIFIC GROVE

## Building Permit

ISSUED PURSUANT TO THE BUILDING AND ZONING ORDINANCE OF THE MUNICIPAL CODE

Location 37 - Companion Way Street \_\_\_\_\_  
Lot \_\_\_\_\_ Block \_\_\_\_\_ Tract \_\_\_\_\_  
Nature of Improvement Hat House Zone \_\_\_\_\_  
No. Rooms \_\_\_\_\_ Out Buildings \_\_\_\_\_  
Dimensions 12' x 12' \_\_\_\_\_  
Set Back—Front Street Edgewater Side Street \_\_\_\_\_ Side Yards \_\_\_\_\_  
No. Stories \_\_\_\_\_ Floors \_\_\_\_\_  
Foundation \_\_\_\_\_ Roof \_\_\_\_\_  
Walls \_\_\_\_\_ Chimneys \_\_\_\_\_  
Outside Finish \_\_\_\_\_ Toilets \_\_\_\_\_  
Inside Finish \_\_\_\_\_ Remarks \_\_\_\_\_

This Permit is granted upon the condition that the undersigned owner or builder agrees to comply with all State and Local Laws and Ordinances covering the location, construction and use of buildings.

This Permit may be revoked upon violation of any of said provisions.

Owner Arthur R. Hodger Builder Owner  
Estimated Cost \$ 1100 Date May 1, 1962  
Fee of \$ 2.00 Paid \_\_\_\_\_ Building Inspector Al Page N<sup>o</sup> **2874**

# CITY OF PACIFIC GROVE

## Building Permit

ISSUED PURSUANT TO THE BUILDING AND ZONING ORDINANCE OF THE MUNICIPAL CODE

Location 37 - Companion way Street \_\_\_\_\_  
Lot \_\_\_\_\_ Block \_\_\_\_\_ Tract \_\_\_\_\_  
Nature of Improvement Siding Zone \_\_\_\_\_  
No. Rooms \_\_\_\_\_ Out Buildings \_\_\_\_\_  
Dimensions \_\_\_\_\_  
Set Back—Front Street Existing Side Street \_\_\_\_\_ Side Yards \_\_\_\_\_  
No. Stories \_\_\_\_\_ Floors \_\_\_\_\_  
Foundation \_\_\_\_\_ Roof \_\_\_\_\_  
Walls \_\_\_\_\_ Chimneys \_\_\_\_\_  
Outside Finish Stone Toilets \_\_\_\_\_  
Inside Finish \_\_\_\_\_ Remarks \_\_\_\_\_

This Permit is granted upon the condition that the undersigned owner or builder agrees to comply with all State and Local Laws and Ordinances covering the location, construction and use of buildings.

This Permit may be revoked upon violation of any of said provisions.

Owner R. E. Hodger Builder F. E. Elliott Co.  
Estimated Cost \$ 1000 Date March 17, 1961  
Fee of \$ 6.00 Paid \_\_\_\_\_ Building Inspector A. Page No. 2575

# CITY OF PACIFIC GROVE

## Building Permit

Issued pursuant to the Building and Zoning Ordinance of the Municipal Code.

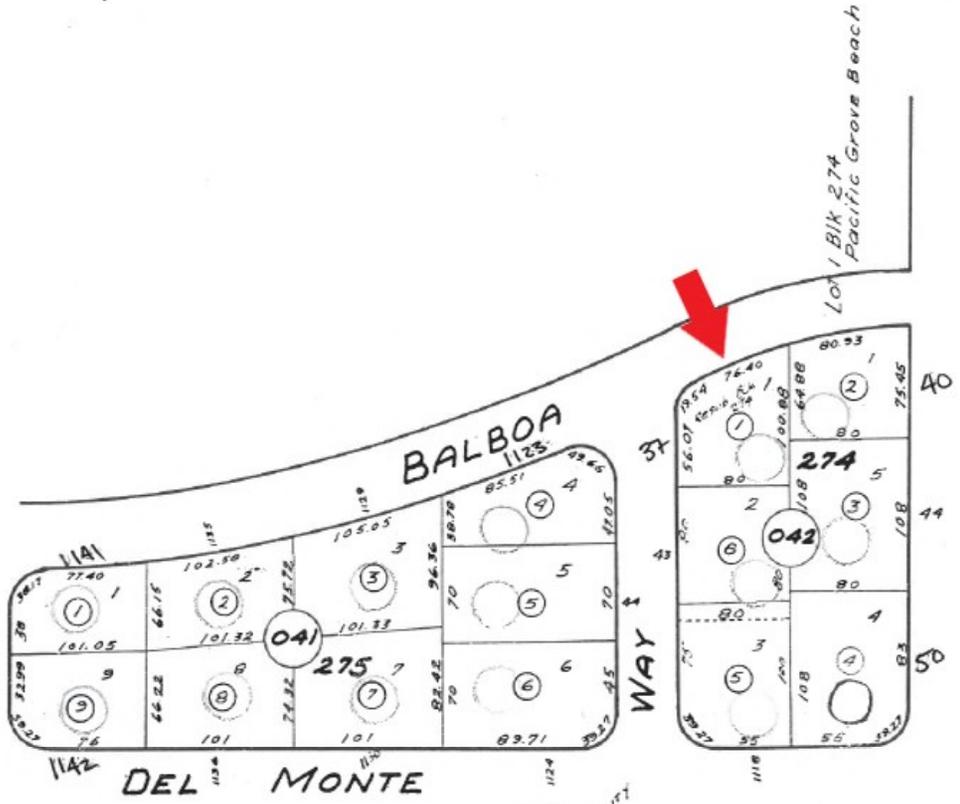
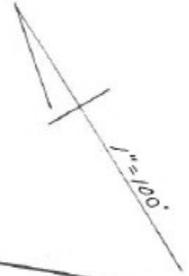
Location 37-Companion Way Street \_\_\_\_\_  
Lot 1 Block 042 Tract \_\_\_\_\_  
Nature of Improvement Single Family Dwelling Zone \_\_\_\_\_  
No. Rooms 5 + 2 bath Out Buildings garage att.  
Dimensions 54' X 37'  
Set Back—Front Street 15' Side Street 15' Side Yds. 8'-24'  
No. Stories 1 Floors Hdw  
Foundation Conc. Roof Shingles  
Walls Frame Chimneys 1  
Outside Finish Stucco & Rustic Toilets 2  
Inside Finish Plaster Remarks garage slufy walls  
3rd door down

This Permit is granted upon the condition that the undersigned owner or builder agrees to comply with all State and Local Laws and Ordinances covering the location, construction and use of buildings.  
This permit may be revoked upon violation of any of said provisions.

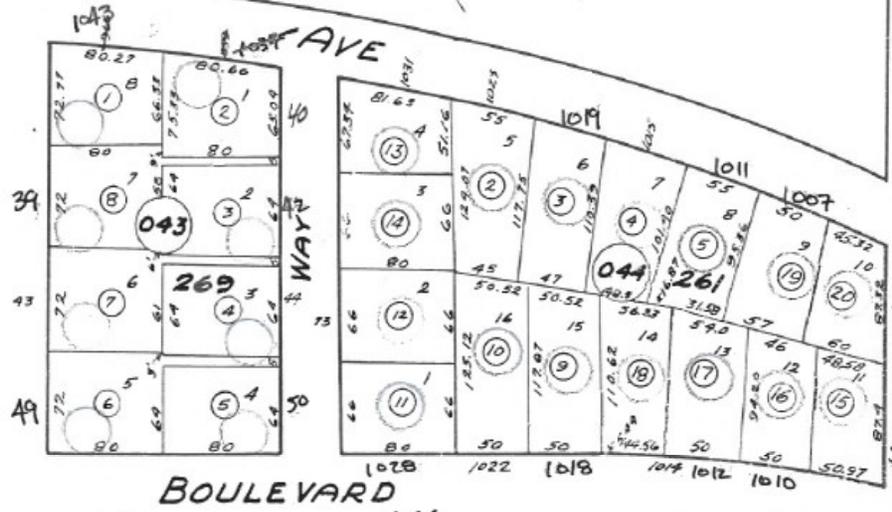
Owner Mr & Mrs. E. Smya Builder Sell Cont. Co.  
Estimated Cost \$ 10,500 Date 1/16, 19-58  
Fee of \$ 26.00 Paid [Signature] Building Inspector No 1733



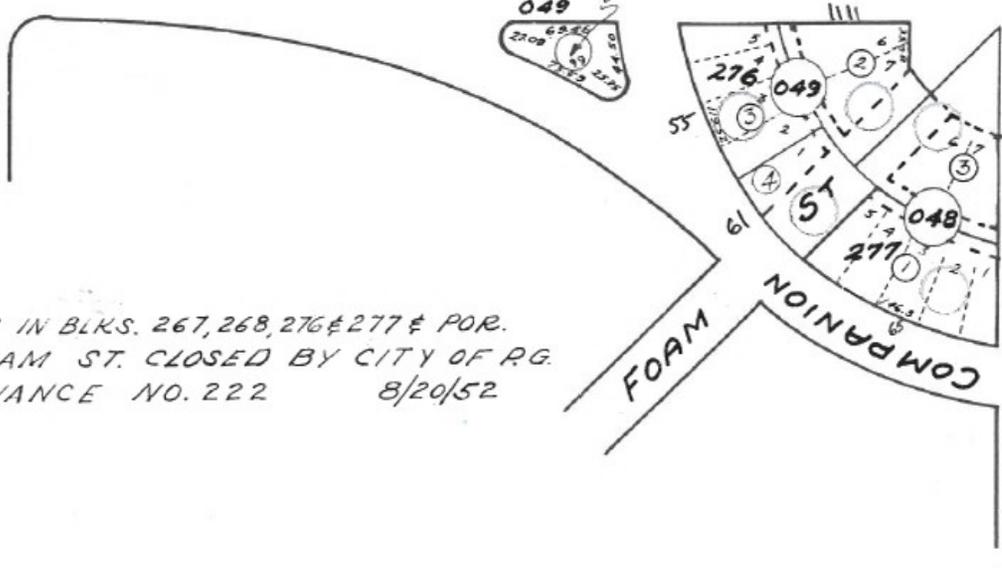
THIS MAP IS INTENDED TO BE USED  
FOR PROPERTY TAX ASSESSMENT PURPOSES



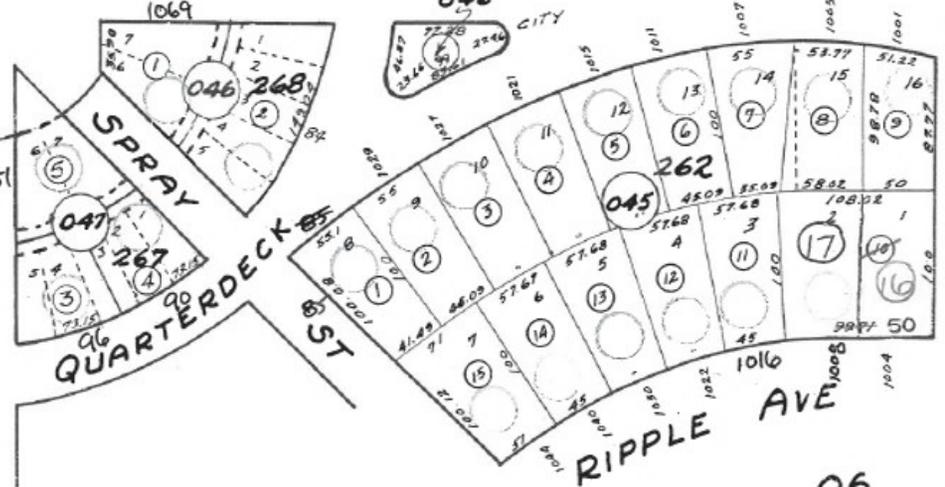
02



ESPLANADE



05



06

EYS IN BLKS. 267, 268, 276 & 277 & POR.  
FOAM ST. CLOSED BY CITY OF P.G.  
DINANCE NO. 222 8/20/52

RESUBDIVISION of BLKS 274 & 275

PACIFIC GROVE BEACH  
BLKS 261, 262, 267, 268, 269, 276 & 277



**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alex Othon, Assistant Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Initial Historic Screening for 934 Fountain Ave.  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

---

**RECOMMENDATION**

Recommend HRC find this property ineligible for the Historic Resources Inventory. The record provided indicates the property does not have historic significance or integrity and is not eligible for the Historic Resources Inventory.

**Attachments**

934 Fountain IHS



# CITY OF PACIFIC GROVE

## Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

### Initial Historic Screening Determination

Address: 934 Fountain Ave. APN: 006-681-019

Owner: Jeffrey & Joanne Hunt Applicant: James Uchida

#### HISTORIC RESOURCES COMMITTEE (HRC) RECOMMENDATION:

At the March 25, 2020 HRC meeting, the Committee prepared the following Preliminary Determination of Ineligibility and forwarded the recommendation to the Community Development Director:

- Determined to be ineligible as an “Historical Resource,” due to the following criteria:
  - 1. The property has undergone significant alterations to the primary or most visible façade, as evidenced through original plans, photographs or Sanborn maps.
    - \_\_\_\_\_ (description of known alteration)
    - \_\_\_\_\_ (type of documentation)
  - 2a. The property does not exhibit the architectural characteristics of the styles described in Section 7.3 of the General Plan or Section IV of the Historic Context Statement;
  - or
  - 2b. The property does not exhibit unique architectural, site or locational characteristics.
  - 3. The property is not associated with important persons, events or architecture.
- Determination of ineligibility cannot be made.

HRC Comments:

\_\_\_\_\_  
Claudia Sawyer, HRC Chair

\_\_\_\_\_  
Date

#### COMMUNITY DEVELOPMENT DIRECTOR (CDD) DETERMINATION:

Based on the recommendation above, the CDD Director, or their designee:

- Made a determination of ineligibility, which will remain in effect for 10 years from the date of approval.
- Found that a determination of ineligibility cannot be made, and a Phase 1 Historic Assessment is required.

\_\_\_\_\_  
Anastazia Aziz, AICP, Director

\_\_\_\_\_  
Date



# CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

## Permit Application

Application # IHS 20-0112

Date: 2/28/2020

Total Fees: \$452

APPLICANT/OWNER:

Project Address: 934 Fernbin Ave P.G. APN: 006-081-019

Project Description: Window Replacement

Will the project create, add, or replace impervious surface?  Yes  No

Will the project impact any tree(s) on site?  Yes  No

### Applicant

Name: JAMES S. LICHTA

Phone: (831) 595-7793

Email: JAMES.LICHTA@YAHOO.COM

Mailing Address: 525 W. ANACITA ST.

SALINAS, CA 93901

### Owner

Name: Jeff + Joanne Hunt

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

### Permit Request:

- CRD: Counter Determination
- AP: Architectural Permit
- AAP: Administrative AP
- ADC: Arch Design Change
- ASP: Admin Sign Permit
- SP: Sign Permit
- UP: Use Permit
- AUP: Administrative UP
- ADU: Acc. Dwelling Unit
- LLA: Lot Line Adjustment
- IHS: Initial Historic Screening
- HPP: Historic Preservation
- A: Appeal
- TPD: Tree Permit W/ Dev't
- EIR: Environmental Impact
- VAR: Variance
- MMP: Mitigation Monitoring
- Stormwater Permit
- Other: \_\_\_\_\_
- Other: \_\_\_\_\_

### CEQA Determination:

- Exempt
- Initial Study & Mitigated Negative Declaration
- Environmental Impact Report

### Review Authority:

- Staff
- ZA
- SPRC
- ARB
- HRC
- PC
- CC
- \_\_\_\_\_

### Active Permits:

- Active Planning Permit
- Active Building Permit
- Active Code Violation
- Permit #: \_\_\_\_\_

### Overlay Zones:

- Butterfly Zone
- Coastal Zone
- Area of Special Biological Significance (ASBS)
- Environmentally Sensitive Habitat Area (ESHA)

PLANNING STAFF USE ONLY:

### Property Information

Lot: Par A

Block: 61 17

Tract: \_\_\_\_\_

ZC: R-1

GP: MOR

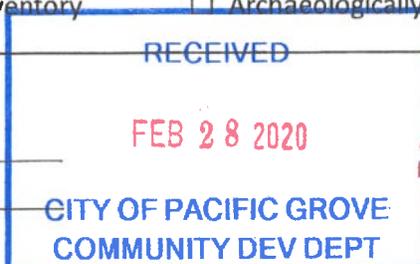
Lot Size: 6,149

- Historic Resources Inventory
- Archaeologically Sensitive Area

### Staff Use Only:

Received by: AV

Assigned to: HO



**INDEMNIFICATION CONDITION**

In consideration for City review and approval of application in this matter, the Owner/Applicant shall indemnify, defend, protect and hold harmless the City, its elected and appointed officials, officers, agents, and employees (collectively "Indemnitees"), using counsel approved in writing by the City, from and against, any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorneys' fees and disbursements which may accrue against Indemnitees by reason of the City's processing, approval or denial of the request and application in this matter. Indemnification shall include, but shall not be limited to any action, or proceeding brought to attack, set aside, void, annul, limit, or inhibit the approval of the application referenced above, and shall expressly include causes of action under the California Environmental Quality Act (CEQA), or the National Environmental Policy Act (NEPA).

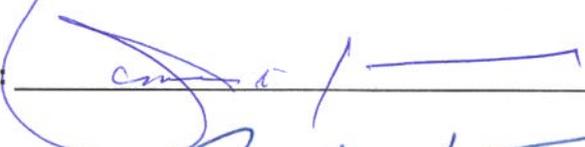
The obligation to indemnify shall include, but not be limited to, all costs relating to preparing administrative records, investigations, responses to discovery, retention of experts, and other costs, including attorney's fees or obligations related to this matter, including actions brought by the Owner/Applicant and also extend to any expense incurred in establishing the City's right to indemnification. City expenses shall be paid by Owner/Applicant upon City request notwithstanding final disposition of the matter has not yet occurred. If the City is later determined to not be entitled to indemnification, the City shall repay amounts so advanced.

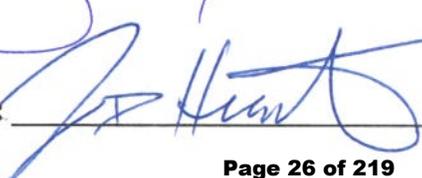
This indemnification condition is the Owner/Applicant's inducement to the City to process and approve the application, which approval would otherwise be withheld by City due to its concern for liability or expense that may result from performance of the City's duties. Should any dispute arise regarding interpretation of this condition, the prevailing party shall recover all reasonable costs incurred, including court costs, attorney fees and related expenses. Recovery of expenses shall be as additional costs awarded to the prevailing party, and shall not require initiation of a separate legal proceeding.

This indemnification condition shall not require the Owner/Applicant to indemnify the City or other Indemnities: (a) to the extent that an obligation is actually paid by an insurer pursuant to an insurance policy; (b) in connection with any remuneration paid to the City, if it shall be finally adjudged that such remuneration was in violation of law; or (c) on account of the City's misconduct if such misconduct shall be finally adjudged to have been knowingly fraudulent, deliberately dishonest or willful.

Any permit or other approval given by the City to the Owner/Applicant Guarantor shall be valid only so long as this indemnification condition is given full force and effect. If this indemnification condition is revoked, the permit or other approval of the City shall then become null and void.

Owner/Applicant represents it (and any subsidiary) is (a) duly formed and organized, (b) validly existing and in good standing under state law, and (c) has all necessary power to execute and deliver this document and perform its obligations. Owner/Applicant also represents it is authorized to enter into this agreement by all requisite partnership, corporate or other action, and its terms are a valid and legally binding obligation. Neither execution nor delivery of this document nor performance of its obligations will violate any law or provision of any agreement, articles of incorporation, by laws or other organizational or governing documents relating to Owner/Applicant, nor conflict with any court order relating to Owner/Applicant.

Applicant Signature:  Date: 2/28/2020

Owner Signature (Required):  Date: 2/28/20



**CITY OF PACIFIC GROVE**

**Community Development Department – Planning Division**

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cdd

**Initial Historic Screening Report**

<b>Address: 934 Fountain Ave</b>	<b>APN: 006-681-019</b>
<b>Block: Vol 17</b>	<b>Lot: Parcel A</b>

**Community Development Department Data:**

**Assessors Maps:** Yes

**Historic Files:** No

**1928 Block Files:** No

**Assessment Files by APN:** No

**Alpha by Owner:** No

**1947-1967 Building Permit Register:** No

**Sanborn Maps:** No Records:  1888:  1892:  1897:

1905:  1914:  1926:  1962:

**Building Permit History:**

<b>Permit No.</b>	<b>Permit Date:</b>	<b>Scope of Work:</b>	<b>Owner:</b>	<b>Builder:</b>
1341	December 24, 1923	New shed	Freels	Owner
1345	January 14, 1924	New bathroom	Ryan	Owner
5666	November 10, 1952	Addition	Wilson	Hufford
04-0449	July 22, 2004	Addition	Eadelt	Petrushkin

**Miscellaneous Information:**

**Board & Batten Index:** No

**Tuttle Photo Collection:** No

**Polk Directories (1926 – 1988):** No

**Library Photo Collection:** No

Respectfully submitted,

Alex Othon, Assistant Planner

# Petition for Building Permit under Ordinance No. 149 of the City of Pacific Grove, California



To the Honorable Board of Trustees and City Clerk of the City of Pacific Grove, California.

Application is hereby made for a permit to erect garage + 2 rooms a building on  
 Lot No. 12 in Block No. 192 Hillcrest Addition to Pacific  
 Grove Retreat Grounds, at No. 934 Mountain Street, according to Plans  
 and Specifications herewith presented, as follows:

(Note: If plans and specifications have been prepared a copy of same must be filed with the City Clerk with this petition.)

Size 14 x 16 + lean to Size of flues .....

Stories ..... Fireplaces .....

Foundation ..... Toilets 1 .....

Basement ..... Baths 1 .....

Sides ..... Outside Finish .....

Roof ..... Inside Finish .....

Floors ..... Time necessary to do the work .....

Number of Rooms ..... Estimated Cost .....

Chimneys .....

To properly carry on said work it will be necessary to partially obstruct  
 ..... Street ..... for a period of ..... days. I therefore ask permission to obstruct  
 said Street ..... during the period necessary for doing said work, diligently prosecuted, under the conditions  
 and restraints provided for in Ordinance No. 149 of the City of Pacific Grove.

Dated Dec 24 - 1923 R. W. Freels.  
 Petitioner. 1341

Breels

# Petition for Building Permit under Ordinance No. 149 of the City of Pacific Grove, California

To the Honorable Board of Trustees and City Clerk of the City of Pacific Grove, California.

Application is hereby made for a permit to install plumbing a building on Lot No. 12 in Block No. 192 Addition to Pacific Grove Retreat Grounds, at No. 934 Mountain Street, according to Plans and Specifications herewith presented, as follows:

(Note: If plans and specifications have been prepared a copy of same must be filed with the City Clerk with this petition.)

Size .....	Size of flues .....
Stories .....	Fireplaces .....
Foundation .....	Toilets <u>1</u>
Basement .....	Baths <u>1</u>
Sides .....	Outside Finish .....
Roof .....	Inside Finish .....
Floors .....	Time necessary to do the work .....
Number of Rooms .....	Estimated Cost <u>\$105.00</u>
Chimneys .....	

To properly carry on said work it will be necessary to partially obstruct..... Street..... for a period of..... days. I therefore ask permission to obstruct said Street..... during the period necessary for doing said work, diligently prosecuted, under the conditions and restraints provided for in Ordinance No. 149 of the City of Pacific Grove.

Dated Jan. 14-1924

*[Signature]*

Petitioner. 1845

# CITY OF PACIFIC GROVE

## BUILDING PERMIT

Issued pursuant to the Building and Zoning Ordinance of the Municipal Code.

Location 934 - Fountain Street \_\_\_\_\_

Lot 6 Block 681 Tract \_\_\_\_\_

Nature of Improvement Additions to Present Home

No. Rooms 2 Out buildings \_\_\_\_\_

Dimensions 21' x 16'

Set Back—Front Street Existing Side Street \_\_\_\_\_ Side Yds 25'

No. Stories 1 Floors 1 floor

Foundation Conc Roof Shingles

Walls Frame Chimneys \_\_\_\_\_

Outside Finish Plaster Toilets \_\_\_\_\_

Inside Finish Sheet Rock Remarks \_\_\_\_\_

This Permit is granted upon the condition that the undersigned owner or builder agrees to comply with all State and Local Laws and Ordinances covering the location, construction and use of buildings.  
 This permit may be revoked upon violation of any of said provisions.

Owner Mr. & Mrs. H. Wilson Builder Hufford

Estimated Cost \$ 2000 Date 11/10, 1952

Fee of \$ 6.00 Paid in May Building Inspector \_\_\_\_\_ Permit No. 5666

APPLICATION FOR BUILDING PERMIT

PHONE: 648-3183

CITY OF PACIFIC GROVE

ASSESSORS'S NO. 006-681-019

No. 04-0449

Applicant to complete numbered spaces which apply

1	JOB ADDRESS 934 FOUNTAIN AVE	OWNER ANGELA + MARTIN EADELT	MAIL ADDRESS	ZIP	PHONE
2	CONTRACTOR JOHN PETRUSHKIN	MAIL ADDRESS 26675 Pancho Way (Armed)	PHONE 626-4076	LICENSE NO. 703048	
3	ARCHITECT OR DESIGNER T. R. LARSON AIA	MAIL ADDRESS 205-17 9350	PHONE	LICENSE NO.	
4	ENGINEER HAMIF	MAIL ADDRESS FRESNO	PHONE	LICENSE NO.	
5	USE OF BUILDING BED				
6	7	Class of work: <input type="checkbox"/> NEW <input checked="" type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> REPAIR <input type="checkbox"/> MOVE <input type="checkbox"/> REMOVE			
8	Describe work: REMOVE (F) WORKSHOP and REBUILT (N) BEDROOMS + BATH ON (N) FOUNDATION				
9	Change of use from				
	Change of use to				

JOB ADDRESS  
OWNER  
934 FOUNTAIN AVE  
EADELT

10	Valuation of work: \$ 165,000 <sup>03</sup>	PLAN CHECK FEE 729103 1648.39	PERMIT FEE 2197.85
----	---	-------------------------------	--------------------

SPECIAL CONDITIONS NOT ON HRI CONDITIONS ATTACHED TO EACH SET	Type of Const.	Occupancy Group	Division
APPLICATION ACCEPTED BY 7/29/03	Size of Bldg. (Total) Sq. Ft.	No. of Stories 1	Max. Occ. Load
PLANS CHECKED BY P.A.C. 10/31/03	Fire Zone	Use Zone R-1	Fire Sprinklers Required <input type="checkbox"/> Yes <input type="checkbox"/> No
APPROVED FOR ISSUANCE BY [Signature] 10/31/03	No. of Dwelling Units 1	OFFSTREET PARKING SPACES: Covered 2	Uncovered

**NOTICE**

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

[Signature] 7-22-04  
SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT (DATE)

\_\_\_\_\_  
SIGNATURE OF OWNER (IF OWNER BUILDER) (DATE)

Special Approvals	Required	Received	Not Required
ZONING			
HEALTH DEPT.			
FIRE DEPT.		1 SET SENT 8-4-03	
SOIL REPORT			
VARIANCE NO.		02-1642-B. O'Leary	
ARCHITECTURAL APPROVAL NO.		A.A. No. 3079-01 S. O'Leary	
USE PERMIT NO.			
COASTAL			
TREE			
TREE PERMIT		CDD NO 4889 S. O'Leary	
TREE PROTECT.			
ENCROACH.PERMIT			

**LICENSED CONTRACTORS DECLARATION**

I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class 13-HIC License Number 703048

Contractor ALLIED CONSTRUCTORS

**OWNER-BUILDER DECLARATION**

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 — commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale).

I am exempt under Sec. \_\_\_\_\_ B. & P.C. for this reason \_\_\_\_\_

Applicant \_\_\_\_\_ Date \_\_\_\_\_

**Warning:** Trees on the streets of Pacific Grove are public property and under City control. Permission to remove trees may be obtained only from the City.

**This permit does not include any signs or flood lighting**

GRADE LINES AS SHOWN ON DRAWING ACCOMPANYING THIS APPLICATION ARE ASSUMED TO BE CORRECT IF ACTUAL GRADE LINES ARE NOT THE SAME AS SHOWN. REVISED DRAWINGS SHOWING CORRECT GRADE LINES, CUTS AND FILLS, TOGETHER WITH COMPLETE DETAILS OF RETAINING WALLS AND WALL FOOTINGS REQUIRED MUST BE RESUBMITTED TO THIS DIVISION FOR APPROVAL.

**CONSTRUCTION LENDING AGENCY**

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name \_\_\_\_\_

Lender's Address \_\_\_\_\_

VALUATION	
165,000	
FEES	
PERMIT 2197.85	
PLAN CHK. 1648.39	
SMIP. 16.50	
SEWER	
DEPOSIT <1648.39	
TOTAL 2214.35	

THE ABOVE APPROVAL GRANTS PERMISSION TO DO THE WORK COVERED BY THIS APPLICATION IN ACCORDANCE WITH PLANS AS APPROVED AND ALL APPLICABLE COUNTY AND STATE ORDINANCES, REGULATIONS AND LAWS GOVERNING LOCATION, CONSTRUCTION AND OCCUPANCY OF BUILDING.

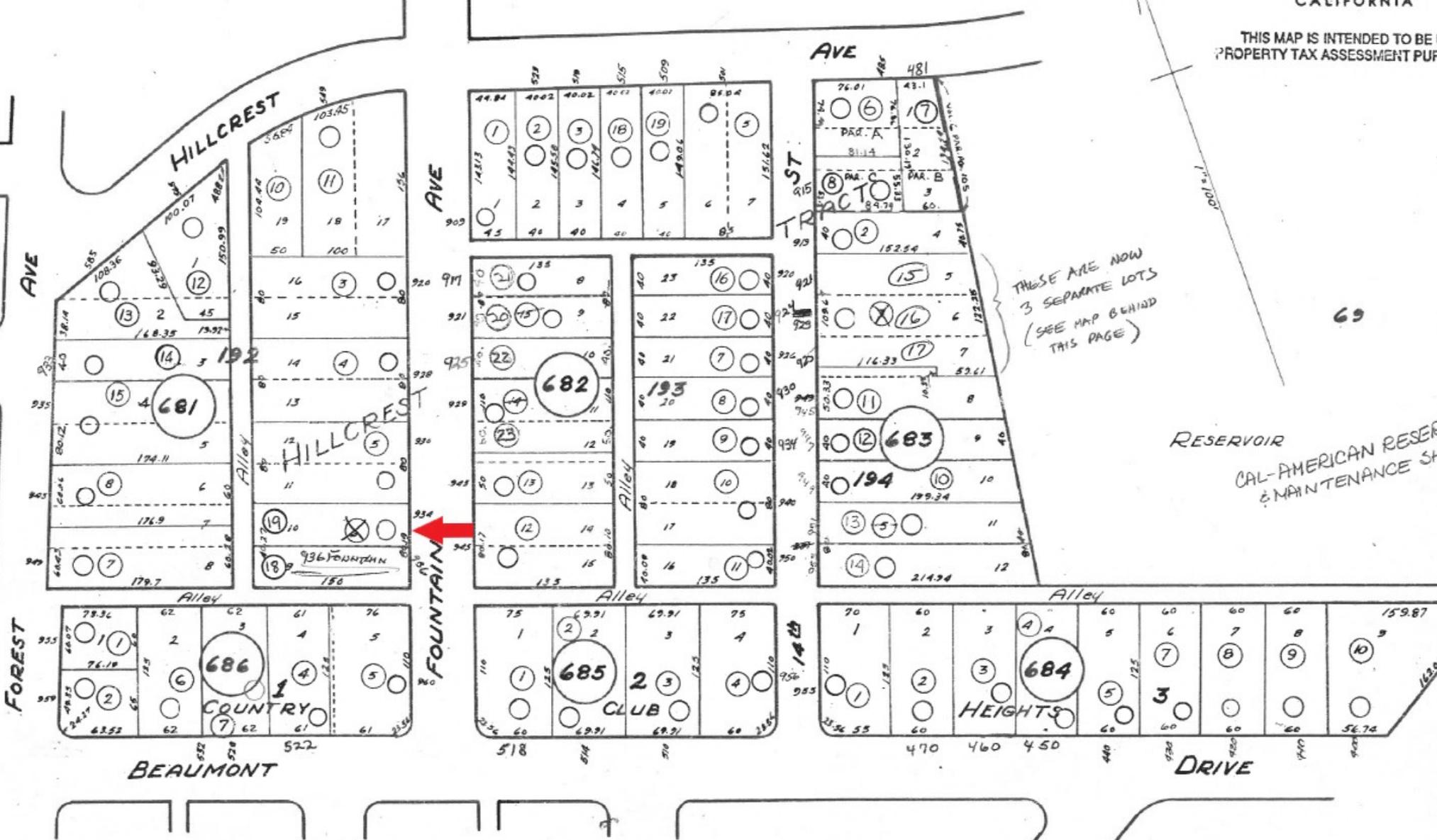
You will be contacted by MRWPCA Source Control Division



THIS MAP IS INTENDED TO BE U  
PROPERTY TAX ASSESSMENT PURP

67

69



70

HILLCREST TRACT BLKS 192-193 & 194  
COUNTRY CLUB HEIGHTS BLKS 1-2 & 3





**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alex Othon, Assistant Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Initial Historic Screening for 409 Sinex.  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

---

**RECOMMENDATION**

Recommend HRC find this property ineligible for the Historic Resources Inventory.

The record provided indicates the property does not have historic significance or integrity and is not eligible for the Historic Resources Inventory.

**Attachments**

409 Sinex IHS



# CITY OF PACIFIC GROVE

## Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

### Initial Historic Screening Determination

Address: 409 Sinex Ave. APN: 006-691-003

Owner: B. Weber & S. Gallagher (Weber) Applicant: same

#### HISTORIC RESOURCES COMMITTEE (HRC) RECOMMENDATION:

At the March 25, 2020 HRC meeting, the Committee prepared the following Preliminary Determination of Ineligibility and forwarded the recommendation to the Community Development Director:

- Determined to be ineligible as an “Historical Resource,” due to the following criteria:
  - 1. The property has undergone significant alterations to the primary or most visible façade, as evidenced through original plans, photographs or Sanborn maps.
    - \_\_\_\_\_ (description of known alteration)
    - \_\_\_\_\_ (type of documentation)
  - 2a. The property does not exhibit the architectural characteristics of the styles described in Section 7.3 of the General Plan or Section IV of the Historic Context Statement;
  - or
  - 2b. The property does not exhibit unique architectural, site or locational characteristics.
  - 3. The property is not associated with important persons, events or architecture.
- Determination of ineligibility cannot be made.

HRC Comments:

\_\_\_\_\_  
Claudia Sawyer, HRC Chair

\_\_\_\_\_  
Date

#### COMMUNITY DEVELOPMENT DIRECTOR (CDD) DETERMINATION:

Based on the recommendation above, the CDD Director, or their designee:

- Made a determination of ineligibility, which will remain in effect for 10 years from the date of approval.
- Found that a determination of ineligibility cannot be made, and a Phase 1 Historic Assessment is required.

\_\_\_\_\_  
Anastazia Aziz, AICP, Director

\_\_\_\_\_  
Date



# CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

## Permit Application

Application # 1HS 20-0128

Date: 3/4/2020

Total Fees: \$452

APPLICANT/OWNER:

Project Address: 409 Sinex Ave. PG. APN: 006-691-003

Project Description: IHS

Will the project create, add, or replace impervious surface?  Yes  No

Will the project impact any tree(s) on site?  Yes  No

### Applicant

Name: Sarah & Brad Weber  
Phone: 831-236-8624 831-236-8623  
Email: bsweber@comcast  
Mailing Address: 409 Sinex Ave. PG.

### Owner

Name: Sarah & Brad Weber  
Phone: \_\_\_\_\_  
Email: same  
Mailing Address: \_\_\_\_\_

PLANNING STAFF USE ONLY:

### Permit Request:

- CRD: Counter Determination
- AP: Architectural Permit
- AAP: Administrative AP
- ADC: Arch Design Change
- ASP: Admin Sign Permit
- SP: Sign Permit
- UP: Use Permit
- AUP: Administrative UP
- ADU: Acc. Dwelling Unit
- LLA: Lot Line Adjustment
- IHS: Initial Historic Screening
- HPP: Historic Preservation
- A: Appeal
- TPD: Tree Permit W/ Dev't
- EIR: Environmental Impact
- VAR: Variance
- MMP: Mitigation Monitoring
- Stormwater Permit
- Other: \_\_\_\_\_
- Other: \_\_\_\_\_

### CEQA Determination:

- Exempt
- Initial Study & Mitigated Negative Declaration
- Environmental Impact Report

### Review Authority:

- Staff
- ZA
- SPRC
- ARB
- HRC
- PC
- CC
- \_\_\_\_\_

### Active Permits:

- Active Planning Permit
- Active Building Permit
- Active Code Violation Permit #: \_\_\_\_\_

### Overlay Zones:

- Butterfly Zone
- Coastal Zone
- Area of Special Biological Significance (ASBS)
- Environmentally Sensitive Habitat Area (ESHA)

### Property Information

Lot: 546 Block: 188 Tract: Hillcrest Add  
ZC: R-1 GP: MDR Lot Size: 12,384 sq

Historic Resources Inventory  Archaeologically Sensitive Area

RECEIVED  
MAR 04 2020  
CITY OF PACIFIC GROVE  
COMMUNITY DEV DEPT

### Staff Use Only:

Received by: AO  
Assigned to: AD

**\$ PAID**  
452.00  
3-4-2020

**INDEMNIFICATION CONDITION**

In consideration for City review and approval of application in this matter, the Owner/Applicant shall indemnify, defend, protect and hold harmless the City, its elected and appointed officials, officers, agents, and employees (collectively "Indemnitees"), using counsel approved in writing by the City, from and against, any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorneys' fees and disbursements which may accrue against Indemnitees by reason of the City's processing, approval or denial of the request and application in this matter. Indemnification shall include, but shall not be limited to any action, or proceeding brought to attack, set aside, void, annul, limit, or inhibit the approval of the application referenced above, and shall expressly include causes of action under the California Environmental Quality Act (CEQA), or the National Environmental Policy Act (NEPA).

The obligation to indemnify shall include, but not be limited to, all costs relating to preparing administrative records, investigations, responses to discovery, retention of experts, and other costs, including attorney's fees or obligations related to this matter, including actions brought by the Owner/Applicant and also extend to any expense incurred in establishing the City's right to indemnification. City expenses shall be paid by Owner/Applicant upon City request notwithstanding final disposition of the matter has not yet occurred. If the City is later determined to not be entitled to indemnification, the City shall repay amounts so advanced.

This indemnification condition is the Owner/Applicant's inducement to the City to process and approve the application, which approval would otherwise be withheld by City due to its concern for liability or expense that may result from performance of the City's duties. Should any dispute arise regarding interpretation of this condition, the prevailing party shall recover all reasonable costs incurred, including court costs, attorney fees and related expenses. Recovery of expenses shall be as additional costs awarded to the prevailing party, and shall not require initiation of a separate legal proceeding.

This indemnification condition shall not require the Owner/Applicant to indemnify the City or other Indemnitees: (a) to the extent that an obligation is actually paid by an insurer pursuant to an insurance policy; (b) in connection with any remuneration paid to the City, if it shall be finally adjudged that such remuneration was in violation of law; or (c) on account of the City's misconduct if such misconduct shall be finally adjudged to have been knowingly fraudulent, deliberately dishonest or willful.

Any permit or other approval given by the City to the Owner/Applicant Guarantor shall be valid only so long as this indemnification condition is given full force and effect. If this indemnification condition is revoked, the permit or other approval of the City shall then become null and void.

Owner/Applicant represents it (and any subsidiary) is (a) duly formed and organized, (b) validly existing and in good standing under state law, and (c) has all necessary power to execute and deliver this document and perform its obligations. Owner/Applicant also represents it is authorized to enter into this agreement by all requisite partnership, corporate or other action, and its terms are a valid and legally binding obligation. Neither execution nor delivery of this document nor performance of its obligations will violate any law or provision of any agreement, articles of incorporation, by-laws or other organizational or governing documents relating to Owner/Applicant, nor conflict with any court order relating to Owner/Applicant.

**Applicant Signature:** Sarah Weber **Date:** 3/4/20

**Owner Signature (Required):** Sarah Weber **Date:** 3/4/20



**CITY OF PACIFIC GROVE**

**Community Development Department – Planning Division**

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cdd

**Initial Historic Screening Report**

<b>Address: 409 Sinex Ave</b>	<b>APN: 006-691-003</b>
<b>Block: 188</b>	<b>Lot: 5 &amp; 6</b>

**Community Development Department Data:**

**Assessors Maps:** Yes

**Historic Files:** No

**1928 Block Files:** Yes

**Assessment Files by APN:** Yes

**Alpha by Owner:** Yes

**1947-1967 Building Permit Register:** Yes

**Sanborn Maps:** No Records:  1888:  1892:  1897:

1905:  1914:  1926:  1962:

**Building Permit History:**

<b>Permit No.</b>	<b>Permit Date:</b>	<b>Scope of Work:</b>	<b>Owner:</b>	<b>Builder:</b>
1824	September 8, 1941	New SFD	Raymond	Owner
<b>Permit No.</b>	<b>Permit Date:</b>	<b>Scope of Work:</b>	<b>Owner:</b>	<b>Builder:</b>
539	November 25, 1970	Addition	Al Kinney	Sturges
<b>Permit No.</b>	<b>Permit Date:</b>	<b>Scope of Work:</b>	<b>Owner:</b>	<b>Builder:</b>
04-0277	March 29, 2004	Garage addition	Weber	Owner

**Miscellaneous Information:**

**Board & Batten Index:** No

**Tuttle Photo Collection:** No

**Polk Directories (1926 – 1988):** No

**Library Photo Collection:**No

Respectfully submitted,

Alex Othon, Assistant Planner

Add. Hillcrest Lot 5 Block 188 Owner H. Brown, Betty, ...

Sketch of Lot	Year	Real Estate	Improvements	Personal Property	Exemption	TOTAL
	1931	210				210
	1932	210				210
	1933	170				170
	1934	170				170
	1935	170				170
	1936	170				170
	1937	170				170
	1938	170				170
	1939	170				170
	1940	170				170

District \_\_\_\_\_ Asst. No. \_\_\_\_\_ Original Amt. \$ \_\_\_\_\_ Int. \_\_\_\_\_ %

Year									
Principal									
Interest									
TOTAL									

District \_\_\_\_\_ Asst. No. \_\_\_\_\_ Original Amt. \$ \_\_\_\_\_ Int. \_\_\_\_\_ %

Year									
Principal									
Interest									
TOTAL									

Add. Hillcrest Lot 5-6 Block 188 Owner Allen A & Pauline E. Kinney

Sketch of Lot	Year	Real Estate	Improvements	Personal Prop.	Exemption	TOTAL
	1941	170				170
	1942	170	2040	100		2310
	1943	170	2040	100		2310
	1944	170	2160	100		2430
	1945	170	2160	100		2430
	1946	170	2160	100		2430
	1947	280	2260	140	1000	1680
	1948	280	2260	140	1000	1680
	1949	520	2260	140	1000	1920
	1950	520	2260	140	1000	1920
	1951	520	2260	140	1000	1920
	1952	520	2260	140	1000	1920

District \_\_\_\_\_ Asst. No. \_\_\_\_\_ Original Amt. \$ \_\_\_\_\_ Int. \_\_\_\_\_ %

Year									
Principal									
Interest									
TOTAL									

**SUMMARY OF APPRAISED LAND AND BUILDING VALUATIONS  
EQUALIZATION OF ASSESSED VALUES — CITY OF PACIFIC GROVE, CALIFORNIA**

AUTHORIZED BY CONTRACT WITH CITY COUNCIL, DECEMBER 17, 1927

TRACT NAME Hillcrest

BLOCK NO. 188

LOT NO.	NAME OF OWNER	APPRAISED 1928		ASSESSED 1928-1929	
		LAND	IMPS.	LAND	IMPS.
1	F A Botsch & J L Murphy	420			
2	F A Botsch & J L Murphy	350			
3	F A Botsch & J L Murphy	360			
4	F A Botsch & J L Murphy	360			
5	F A Botsch & J L Murphy	350			
6	F A Botsch & J L Murphy	330			
7	F A Botsch & J L Murphy	310			
8	F A Botsch & J L Murphy	450			
TOTALS		2930	-		





**BUILDING CLASSIFICATION AND COMPUTATION RECORD**  
**REVALUATION OF LAND AND IMPROVEMENTS—CITY OF PACIFIC GROVE, 1928-29**  
 Authorized by City Council, City of Pacific Grove

**VALUATION RECORD**

REAL ESTATE \$ 330  
 IMPROVEMENTS \$ \_\_\_\_\_  
 FIELD BY \_\_\_\_\_ DATE \_\_\_\_\_  
 PRICED BY \_\_\_\_\_ DATE \_\_\_\_\_

Block 88-5 Lot 6 Class: 1, 2, 3, 4  
 Owner W.A. Botschky & J.L. Murphy  
Ave.  
St.

EXTERIOR DESCRIPTION		INTERIOR DESCRIPTION	
Use — Commercial	Construction	Roof	Basement
Stories	Wood Frame	Gable	None
Store	Steel Frame	Hip	Full
Offices	Reinfd. Concrete	Mansard	Concrete
Offices	Mill	Dormers	Walls
Offices	Masonry	Plain	Unfinished
Theatre		Roofing	Elevators
Hotel	Rms.		Travel
Hotel	Whse.		
Loft	Cars	Tile	
Garage	Cars	Asbestos Tile	
Hospital	Rms.	Shingles	
School	Bank	Composition	
		Tar & Gravel	
		Metal	
Dwellings	Brick	Art Stone	
	Tile	Plaster on Lath	
	Plaster on Lath	Shingles	
Stories	Rustic Siding	Exterior Trim	
Rooms	Re-Saw. Siding	Plain Ornamental	
Family	Board & Batten	Tile	
Plats	Cor. Iron	Wood	
Residence		Masonry	
Apartment		Metal	
Rooming House		Plastic	
	Foundation		
	Deep		
Out Buildings	Masonry		
Garage	Piles		
Shed	Wood		
Poultry House		Store Front	
		Plate in Metal	
		Plate in Wood	
		Sheet Glass	

Stock	Special	Ornamental	Paint	Hardwood	Pine	Wainscote	Paper	Plaster	Plaster Board	Canvas	Sanitas	Beamed Ceiling	Unfin.	Rms.	Good	Med.	Plain
Inside Finish																	

Rooms	Number	Good	Medium	Cheap	Shower	Tile Floor	Tile Wall	%	%	%
Bath Rooms										
Rooms	Number	Good	Medium	Cheap	Shower	Tile Floor	Tile Wall	%	%	%
Built-in Features										
Buffets	Bookcases	Patent Beds	Refrigerator	Lockers	Miscellaneous	Fire Escape	Sidewalk Light			

Age	Remodeled	Age		
Condition:	New	Good	Medium	Poor
Obsolescence	Yes	No		
Depreciation		% Good		
Depreciated Present Value	\$			
Retaining Wall				
Tank				
Pool				
Outbuilding				
TOTAL VALUE	\$			

6-691'-3

CITY OF PACIFIC GROVE

LOT 5 - 6

BLOCK 188

ADD. HILLCREST

DATE	OWNER	ADDRESS
	Eva K. De Sabla	727 Forty-Sixth Ave., San Francisco
12/ 1/36	R. M. Mestres--Estate Roman Catholic Bishop of Monterey-Fresno	c/o C. A. Kiernan, Executor, Monterey <del>c/o Rev. G. T. Kerfs,</del> <i>Sec. H. L. Lipe</i> <del>Pacific Grove 2820</del> <i>Monterey, Fresno, Calif.</i>
8/27/41	George Raymond	<del>418 Nat. Bank Bldg</del> <del>670 Dickman Ave., Monterey, Calif.</del>
10/11/43/	Robert & Patricia Davee	
8/1/45	Mary E. Moseley	409 Linex Ave, City
8/2/46	Allen A. & Pauline E. Kinney	↑

# CITY OF PACIFIC GROVE

## BUILDING PERMIT

Issued pursuant to the Building and Zoning Ordinance of the Municipal Code.

Location 409 Sinex Street

Lot N4180' of 5+6 Block 188 Tract Hillcrest Tr.

Nature of Improvement single family residence Zone

No. Rooms 4 + bath Out buildings single garage

Dimensions 34' X 27' 12 X 18

SetBacks—Front Street 15 ft. Side street — Side Yds. 12 ft.

No. Stories 1 Floors lath, pine

Foundation concrete Roof shakes

Walls frame Chimneys brick

Outside Finish stucco Toilets

Inside Finish plaster Remarks

This Permit is granted upon the condition that the undersigned owner or builder agrees to comply with all State and Local Laws and Ordinances covering the location, construction and use of buildings.  
 This Permit may be revoked upon violation of any of said provisions.

Owner Geo. E. Raymond Builder (owner)

Estimated Cost \$ 3200 Date Sept. 8, 1941

Fee of \$ 5.00 Paid Stamov Building Inspector Permit No. 1824

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# CITY OF PACIFIC GROVE

## Building Permit

ISSUED PURSUANT TO THE BUILDING AND ZONING ORDINANCE OF THE MUNICIPAL CODE

Location 409 SINEX AVE Assessor's No. 6-691-3

Lot 5, 6 Block 188 Tract HILLCREST TRACT

Nature of Improvement ADDITION No. of Buildings \_\_\_\_\_

Type Construction VN Dimensions 22' X 26'

Occupancy Group 1 Set-Backs { Front Yard EXST. Left Side Yard EXST. Alley \_\_\_\_\_

Fire Zone 3 Use Zone 2-1 { Rear Yard \_\_\_\_\_ Right Side Yard 10'

Architectural Approval No. \_\_\_\_\_ Date Approved \_\_\_\_\_

Variance No. \_\_\_\_\_ Date Approved \_\_\_\_\_

Use Permit No. \_\_\_\_\_ Date Approved \_\_\_\_\_

Required Parking Spaces \_\_\_\_\_ No. Family Units \_\_\_\_\_

Open Yard Area Required \_\_\_\_\_ Bldg. Site Area \_\_\_\_\_

Sign Permit No. \_\_\_\_\_ Date Approved \_\_\_\_\_

Foundation CONT. Structural Frame WOOD No. Stories 1

Exterior Finish STUCCO Roof SHAKE Height \_\_\_\_\_

Interior Finish PLASTER Floor CONT. No. Rooms \_\_\_\_\_

This Permit is granted upon the condition that the undersigned owner or builder agrees to comply with all state and local laws and ordinances covering the location, construction and use of buildings. This Permit may be revoked upon violation of any of said provisions.

Signature of Permittee Leslie R. Sturges

Owner AL KINNEY

Builder LESLIE R. STURGES

Valuation 5,000

Permit Fee 29<sup>00</sup> Plan Ck. Fee \_\_\_\_\_

Total Fee 29<sup>00</sup>

Date NOV. 25, 1970

Issued By [Signature]  
Building Department

No 539

APPLICATION FOR BUILDING PERMIT

PHONE: 648-3183

CITY OF PACIFIC GROVE

ASSESSOR'S NO. 006-691-003

No. 04-0277

Applicant to complete numbered spaces which apply

JOB ADDRESS 1 409 Sinex Ave Pacific Grove 93950 811-372-9299				OWNER WEBER 409 SINEX AVE	JOB ADDRESS
OWNER 2 Brad & Sarah Weber	MAIL ADDRESS	ZIP	PHONE 626-7606		
CONTRACTOR 3 O/B	MAIL ADDRESS	PHONE	LICENSE NO.		
ARCHITECT OR DESIGNER 4	MAIL ADDRESS	PHONE	LICENSE NO.		
ENGINEER 5	MAIL ADDRESS	PHONE	LICENSE NO.		
USE OF BUILDING 6 Storage ATTACHED TO GARAGE					
7 Class of work: <input type="checkbox"/> NEW <input checked="" type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> REPAIR <input type="checkbox"/> MOVE <input type="checkbox"/> REMOVE					
8 Describe work: adding storage to existing garage FOR A SFD					
9 Change of use from Change of use to					
10 Valuation of work: \$ 3,000-		PLAN CHECK FEE 10831		PERMIT FEE 14491	
SPECIAL CONDITIONS ZONED R-1 NOT HISTORIC		Type of Const.	Occupancy Group	Division	
		Size of Bldg. (Total) Sq. Ft.	No. of Stories	Max. Occ. Load	
APPLICATION ACCEPTED BY 3/30/04		PLANS CHECKED BY 4/23/04	APPROVED FOR ISSUANCE BY 4/26/04	Fire Zone	Use Zone R-1
		OFFSTREET PARKING SPACES:		Fire Sprinklers Required <input type="checkbox"/> Yes <input type="checkbox"/> No	
		No. of Dwelling Units	Covered	Uncovered	
NOTICE		Special Approvals	Required	Received	Not Required
THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED.		ZONING		4/19/04	X
I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.		HEALTH DEPT.			
		FIRE DEPT.			
		SOIL REPORT			
		VARIANCE NO.			
		ARCHITECTURAL APPROVAL NO.		4/19/04	X
		USE PERMIT NO.			
		COASTAL			
		TREE			
		TREE PERMIT			
		TREE PROTECT.			
		ENCROACH.PERMIT			
SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT Brad Weber		(DATE) 3-29-04			
SIGNATURE OF OWNER (IF OWNER BUILDER)		(DATE)			

LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class \_\_\_\_\_ License Number \_\_\_\_\_

Contractor \_\_\_\_\_

OWNER-BUILDER DECLARATION

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 — commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale).

I am exempt under Sec. \_\_\_\_\_ B. & P.C. for this reason \_\_\_\_\_

X Applicant Sarah Weber Date 4/26/04

Warning: Trees on the streets of Pacific Grove are public property and under City control. Permission to remove trees may be obtained only from the City.

This permit does not include any signs or flood lighting GRADE LINES AS SHOWN ON DRAWING ACCOMPANYING THIS APPLICATION ARE ASSUMED TO BE CORRECT IF ACTUAL GRADE LINES ARE NOT THE SAME AS SHOWN. REVISED DRAWINGS SHOWING CORRECT GRADE LINES, CUTS AND FILLS, TOGETHER WITH COMPLETE DETAILS OF RETAINING WALLS AND WALL FOOTINGS REQUIRED MUST BE RESUBMITTED TO THIS DIVISION FOR APPROVAL.

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name \_\_\_\_\_

Lender's Address \_\_\_\_\_

VALUATION	
	3000.00
FEES	
PERMIT	14491
PLAN CHK.	10831
SMIP.	50
SEWER	
DEPOSIT	10831
TOTAL	14491

THE ABOVE APPROVAL GRANTS PERMISSION TO DO THE WORK COVERED BY THIS APPLICATION IN ACCORDANCE WITH PLANS AS APPROVED AND ALL APPLICABLE COUNTY AND STATE ORDINANCES, REGULATIONS AND LAWS GOVERNING LOCATION, CONSTRUCTION AND OCCUPANCY OF BUILDING.

You will be contacted by MRWPCA Source Control Division



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TAX CODE AREA 400

ASSESSOR'S MAP  
BOOK 6 PAGE 69  
CITY OF PACIFIC GROVE  
CALIFORNIA

THIS MAP IS INTENDED TO BE USED FOR  
PROPERTY TAX ASSESSMENT PURPOSES ONLY.

52

SINEX

VOL. X-2 PG. III

AVE

67

CARMEL

AVE

GATE

ST

ST

VOL. X-2 PG. 126

LINE

HILLCREST

37444

694

VOL. 5 PG. 192 (SEE MAP INSERTED  
BEHIND THIS PAGE)

RESERVOIR RESERVATION  
8.946 ACRES

CITY OF MONTEREY

HILLCREST TRACT  
BLKS 185, 186, 187, 188 & 195  
RESUB OF LOTS 3 THRU 7  
AS PER VOL. X-2 PG. III





**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alex Othon, Assistant Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Initial Historic Screening for 42 Quarterdeck Wy.  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

---

**RECOMMENDATION**

Recommend HRC find this property ineligible for the Historic Resources Inventory. The record provided indicates the property does not have historic significance or integrity and is not eligible for the Historic Resources Inventory.

**Attachments**

42 Quarterdeck IHS



# CITY OF PACIFIC GROVE

## Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

### Initial Historic Screening Determination

Address: 42 Quarterdeck Way APN: 006-043-003

Owner: Mike Chernus Applicant: same

#### HISTORIC RESOURCES COMMITTEE (HRC) RECOMMENDATION:

At the \_\_\_\_\_ HRC meeting, the Committee prepared the following Preliminary Determination of Ineligibility and forwarded the recommendation to the Community Development Director:

- Determined to be ineligible as an “Historical Resource,” due to the following criteria:
  - 1. The property has undergone significant alterations to the primary or most visible façade, as evidenced through original plans, photographs or Sanborn maps.
    - \_\_\_\_\_ (description of known alteration)
    - \_\_\_\_\_ (type of documentation)
  - 2a. The property does not exhibit the architectural characteristics of the styles described in Section 7.3 of the General Plan or Section IV of the Historic Context Statement;
  - or
  - 2b. The property does not exhibit unique architectural, site or locational characteristics.
  - 3. The property is not associated with important persons, events or architecture.
- Determination of ineligibility cannot be made.

HRC Comments:

\_\_\_\_\_  
Claudia Sawyer, HRC Chair

\_\_\_\_\_  
Date

#### COMMUNITY DEVELOPMENT DIRECTOR (CDD) DETERMINATION:

Based on the recommendation above, the CDD Director, or their designee:

- Made a determination of ineligibility, which will remain in effect for 10 years from the date of approval.
- Found that a determination of ineligibility cannot be made, and a Phase 1 Historic Assessment is required.

\_\_\_\_\_  
Anastazia Aziz, AICP, Director

\_\_\_\_\_  
Date



**CITY OF PACIFIC GROVE**

**Community Development Department – Planning Division**

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cdd

**Initial Historic Screening Report**

<b>Address: 42 Quarterdeck</b>	<b>APN: 006-043-003</b>
<b>Block: 269</b>	<b>Lot: 2</b>

**Community Development Department Data:**

**Assessors Maps: Yes**

**Historic Files: Yes**

**1928 Block Files: Yes**

**Assessment Files by APN: Yes**

**Alpha by Owner: Yes**

**1947-1967 Building Permit Register: Yes**

**Sanborn Maps: No Records:**  1888:  1892:  1897:

1905:  1914:  1926:  1962:

**Building Permit History:**

<b>Permit No.</b>	<b>Permit Date:</b>	<b>Scope of Work:</b>	<b>Owner:</b>	<b>Builder:</b>
<b>3767</b>	<b>July 14, 1950</b>	<b>New SFD</b>	<b>Has</b>	<b>Owner</b>
<b>Permit No.</b>	<b>Permit Date:</b>	<b>Scope of Work:</b>	<b>Owner:</b>	<b>Builder:</b>
<b>02083</b>	<b>October 20, 1977</b>	<b>Addition</b>	<b>Wright</b>	<b>Owner</b>

**Miscellaneous Information:**

**Board & Batten Index: No**

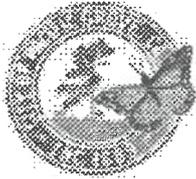
**Tuttle Photo Collection: No**

**Polk Directories (1926 – 1988): No**

**Library Photo Collection: No**

**Respectfully submitted,**

Alex Othon, Assistant Planner



# CITY OF PACIFIC GROVE

Community Development Department – Planning Division  
300 Forest Avenue, Pacific Grove, CA 93950  
Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd  
**Permit Application**

Application # IHS 20-0154  
Date: 3 19 2020  
Total Fees: \$452

APPLICANT/OWNER:

Project Address: 42 Quarterdeck Way, Pacific Grove, CA 93950 APN: 006-043-003 050

Project Description: Demolish existing 1950 house including foundation and carport and built new 3 bedroom 2 bath single story home with 1 car garage

Remove 2 small trees where new driveway will go. Remove existing carport and drive

Will the project create, add, or replace impervious surface?  Yes  No

Will the project impact any tree(s) on site?  Yes  No

**Applicant**

**Owner**

Name: Michael J. Chernus

Name: Michael J. Chernus

Phone: 619 708 1565, 530 577-7750 Phone: 619 708 1565, 530 577 7750

Email: \_\_\_\_\_ Email: mjchernus@aol.com

Mailing Address: mjchernus@aol.com Mailing Address: \_\_\_\_\_

PO Box 7860 S. Lake Tahoe, CA 96158 PO Box 7860, S Lake Tahoe, CA

96158

**Permit Request:**

- CRD: Counter Determination
- AP: Architectural Permit
- AAP: Administrative AP
- ADC: Arch Design Change
- ASP: Admin Sign Permit
- SP: Sign Permit
- UP: Use Permit
- AUP: Administrative UP
- ADU: Acc. Dwelling Unit
- LLA: Lot Line Adjustment
- IHS: Initial Historic Screening
- HPP: Historic Preservation
- A: Appeal
- TPD: Tree Permit W/ Dev't
- EIR: Environmental Impact
- VAR: Variance
- MMP: Mitigation Monitoring
- Stormwater Permit
- Other: \_\_\_\_\_
- Other: \_\_\_\_\_

PLANNING STAFF USE ONLY:

**CEQA Determination:**

- Exempt
- Initial Study & Mitigated Negative Declaration
- Environmental Impact Report

**Review Authority:**

- Staff
- ZA
- SPRC
- ARB
- HRC
- PC
- CC
- \_\_\_\_\_

**Active Permits:**

- Active Planning Permit
- Active Building Permit
- Active Code Violation Permit #: \_\_\_\_\_

**Overlay Zones:**

- Butterfly Zone
- Coastal Zone
- Area of Special Biological Significance (ASBS)
- Environmentally Sensitive Habitat Area (ESHA)

**Property Information**

Lot: 2 Block: 269 Tract: PG Beach  
ZC: R-1 GP: \_\_\_\_\_ Lot Size: ~5,150

- Historic Resources Inventory
- Archaeologically Sensitive Area

**Staff Use Only:**

Received by: \_\_\_\_\_

Assigned to: \_\_\_\_\_

RECEIVED  
MAR 24 2020  
CITY OF PACIFIC GROVE  
COMMUNITY DEV DEPT

**\$ PAID**  
452.00  
3-24-2020

**INDEMNIFICATION CONDITION**

In consideration for City review and approval of application in this matter, the Owner/Applicant shall indemnify, defend, protect and hold harmless the City, its elected and appointed officials, officers, agents, and employees (collectively "Indemnitees"), using counsel approved in writing by the City, from and against, any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorneys' fees and disbursements which may accrue against Indemnitees by reason of the City's processing, approval or denial of the request and application in this matter. Indemnification shall include, but shall not be limited to any action, or proceeding brought to attack, set aside, void, annul, limit, or inhibit the approval of the application referenced above, and shall expressly include causes of action under the California Environmental Quality Act (CEQA), or the National Environmental Policy Act (NEPA).

The obligation to indemnify shall include, but not be limited to, all costs relating to preparing administrative records, investigations, responses to discovery, retention of experts, and other costs, including attorney's fees or obligations related to this matter, including actions brought by the Owner/Applicant and also extend to any expense incurred in establishing the City's right to indemnification. City expenses shall be paid by Owner/Applicant upon City request notwithstanding final disposition of the matter has not yet occurred. If the City is later determined to not be entitled to indemnification, the City shall repay amounts so advanced.

This indemnification condition is the Owner/Applicant's inducement to the City to process and approve the application, which approval would otherwise be withheld by City due to its concern for liability or expense that may result from performance of the City's duties. Should any dispute arise regarding interpretation of this condition, the prevailing party shall recover all reasonable costs incurred, including court costs, attorney fees and related expenses. Recovery of expenses shall be as additional costs awarded to the prevailing party, and shall not require initiation of a separate legal proceeding.

This indemnification condition shall not require the Owner/Applicant to indemnify the City or other Indemnitees: (a) to the extent that an obligation is actually paid by an insurer pursuant to an insurance policy; (b) in connection with any remuneration paid to the City, if it shall be finally adjudged that such remuneration was in violation of law; or (c) on account of the City's misconduct if such misconduct shall be finally adjudged to have been knowingly fraudulent, deliberately dishonest or willful.

Any permit or other approval given by the City to the Owner/Applicant Guarantor shall be valid only so long as this indemnification condition is given full force and effect. If this indemnification condition is revoked, the permit or other approval of the City shall then become null and void.

Owner/Applicant represents it (and any subsidiary) is (a) duly formed and organized, (b) validly existing and in good standing under state law, and (c) has all necessary power to execute and deliver this document and perform its obligations. Owner/Applicant also represents it is authorized to enter into this agreement by all requisite partnership, corporate or other action, and its terms are a valid and legally binding obligation. Neither execution nor delivery of this document nor performance of its obligations will violate any law or provision of any agreement, articles of incorporation, by-laws or other organizational or governing documents relating to Owner/Applicant, nor conflict with any court order relating to Owner/Applicant.

**Applicant Signature:** 

**Date:** March 19, 2020

**Owner Signature (Required):** 

**Date:** March 19, 2020

## CITY OF PACIFIC GROVE

LOT 2BLOCK 269ADD. PACIFIC GROVE BEACH

DATE	OWNER	ADDRESS
	<del>B. F.</del> and Delphine F. Sowell	201 Central Ave., Pacific Grove
5/19/47	Franklin B. Sowell Jr.	
5/16/50	Herman W. & Ida J. Has	
3/15/51	William L. & Anna L. Dupart	
6-15-62	Hiram S. & Petronella K. Coppage	

Add. Beach Lot 2 Block 269 Owner B.T. and Walphine T. Jewell

Sketch of Lot	Year	Real Estate <sup>770</sup>	Improvements	Personal Property	Exemption	TOTAL
	1931	615				615
	1932	615				615
	1933	610				610
	1934	610				610
	1935	610				610
	1936	610				610
	1937	610				610
	1938	610				610
	1939	610				610
	1940	460				460

District \_\_\_\_\_ Asst. No. \_\_\_\_\_ Original Amt. \$ \_\_\_\_\_ Int. \_\_\_\_\_ %

Year							
Principal							
Interest							
TOTAL							

District \_\_\_\_\_ Asst. No. \_\_\_\_\_ Original Amt. \$ \_\_\_\_\_ Int. \_\_\_\_\_ %

Year							
Principal							
Interest							
TOTAL							

Add. Beach 6-043-3 Lot 2 Block 269 Owner Hiram S. + Petronella K. Coppage

Sketch of Lot	Year	Real Estate <sup>770</sup>	Improvements	Personal Prop.	Exemption	TOTAL
<u>Box AB</u>	1941	460				460
<u>Carmel Copy</u>	1942	460				460
	1943	460				460
	1944	460				460
	1945	460				460
	1946	460				460
	1947	460				460
	1948	460				460
	1949	460				460
	1950	460				460
	1951	460	3400	300	1000	3160
	1952	460	3400	300	1000	3160
	57			340		

District \_\_\_\_\_ Asst. No. \_\_\_\_\_ Original Amt. \$ \_\_\_\_\_ Int. \_\_\_\_\_ %

Year							
Principal							
Interest							
TOTAL							

**SUMMARY OF APPRAISED LAND AND BUILDING VALUATIONS  
EQUALIZATION OF ASSESSED VALUES — CITY OF PACIFIC GROVE, CALIFORNIA**

AUTHORIZED BY CONTRACT WITH CITY COUNCIL, DECEMBER 17, 1927

TRACT NAME Pacific Grove Beach BLOCK NO. 269

LOT NO.	NAME OF OWNER	APPRAISED 1928		ASSESSED 1928-1929	
		LAND	IMPS.	LAND	IMPS.
1	Florence Hoag	1160	3290		
2	D M P Co or Paul DeWolf	1020			
3	D M P Co or Paul De Worlf	1020			
4	D M P Co or Paul De Wolf	1060			
5	D M P Co or Paul De Wolf	1350			
6	D M P Co or Paul De Wolf	1310			
7	D M P Co or Paul De Wolf	1310			
8	Mary M McCormack	1190			
<b>TOTALS</b>		9420	3290		



BLOCK 269

N. Balboa Ave  
E. Quarterdeck Way  
S. Del Monte Blvd  
W. Esplanade

PACIFIC GROVE BEACH  
W MOORE MAP

- |   |                         |          |            |
|---|-------------------------|----------|------------|
| 1 | Florence Hoag           | 11-8-27  | 959 Balboa |
| 2 | D M P Co or Paul DeWolf |          |            |
| 3 | "                       | "        | "          |
| 4 | "                       | "        | "          |
| 5 | "                       | "        | "          |
| 6 | "                       | "        | "          |
| 7 | "                       | "        | "          |
| 8 | Mary M McCormack        | 10-28-26 |            |



# APPLICATION FOR BUILDING PERMIT CITY OF PACIFIC GROVE

DATE 10-20-77

PERMIT NO. 02083

ASSESSOR'S NO. 6-043-3

TRACT PC 135X41

Location Of Work 42 Chester & QUARTERDECK Lot 2

Block 269

Owner ALEXIS J. WRIGHT Address \_\_\_\_\_

Phone 375-7649

Contractor \_\_\_\_\_ Address \_\_\_\_\_

Phone \_\_\_\_\_

Eng./Arch. \_\_\_\_\_

Phone \_\_\_\_\_

Address \_\_\_\_\_ Financed by \_\_\_\_\_

RECEIPT NO.	STORIES	TYPE	SITE DIMENSIONS & AREA

SET BACKS IN FEET				COVERAGE DATA	
FRONT	SIDE	SIDE	REAR	ALLOWED -	
<u>EXIST</u>	<u>3 1/2'</u>	<u>EXIST</u>	<u>EXIST</u>	EXISTING	
FIRE ZONE				NEW	
USE ZONE				TOTAL	
BLDG. TYPE					

**TYPE IMPROVEMENT**

- BUILD  
  REMODEL  
  ADD TO  
  REPAIR  
  ALTER  
 MOVE  
  DEMOLISH  
  OTHER

OWNER BUILDER SURCHARGE  
 A SURCHARGE OF 10% OR \$3.00 WHICHEVER IS GREATER IS REQUIRED BECAUSE OF THE INCREASED NUMBER OF INSPECTIONS NECESSARY ON OWNER BUILDER PERMITS

VALUATION	
	<u>1,000</u>
FEEES	
PERMIT	<u>1500</u>
PLAN CK.	
SUB-TOTAL	
OWN-BLDG.	<u>50</u>
PENALTIES	
TOTAL	<u>1550</u>

	INSP.	DATE		INSP.	DATE
SETBACK FOUNDATION FORMS			VENTS & FIRE STOPS		
GARAGE FORMS			<b>ELECTRICIAN - NO ROUGH WIRING UNTIL THIS SPACE SIGNED</b>		
ELECTRIC GROUND			ELECTRIC SERVICE PANEL		
<b>POUR NO CONCRETE UNTIL ABOVE HAS BEEN SIGNED</b>			ROUGH ELECTRIC		
ELEC. PLUMB. HEATING			GROUND FAULT CIRCUIT		
CONCRETE SLAB FLOORS			<b>COVER NO WALLS UNTIL ABOVE HAS BEEN SIGNED</b>		
<b>DO NOT POUR FLOOR UNTIL ABOVE HAS BEEN SIGNED</b>			LATH/WALLBOARD INTERIOR		
CONC. FORMS & REINF.			LATH/TUB & SHOWER		
CONC. BLOCK & REINF.			PLUMBING FIXTURES		
FIREPLACE & CHIMNEY			WATER HEATER		
FRAMING - FLOOR			FURNACE		
ROUGH PLUMBING			GAS APPLIANCES		
GAS PIPING			ELECTRICAL FIXTURES		
ROUGH HEATING			ELECTRICAL APPLIANCES		
FRAMING - WALL & PARTITION			WATER PRESSURE		
FRAMING - ROOF			GAS PRESSURE		
SHEATHING - ROOF			GAS METER AUTHORIZED		
LATH/SHEATHING - EXTERIOR			ELECTRIC METER AUTHORIZED		

OK TO OCCUPY: \_\_\_\_\_ DATE \_\_\_\_\_

FINAL INSPECTION: \_\_\_\_\_ DATE \_\_\_\_\_

M/S  
10/8/63

# CITY OF PACIFIC GROVE

## BUILDING PERMIT

Issued pursuant to the Building and Zoning Ordinance of the Municipal Code.

Location 40 Quarterdeck Way Street

Lot 3 Block 243 Tract

Nature of Improvement Single Family Dwelling Zone

No. Rooms 5 - Bath Out buildings

Dimensions 50'3" x 35'3"

Set Back—Front Street 15' Side Street Side Yds. 6' x 6'

No. Stories Floors 1 1/2

Foundation Conc. Roof Comp.

Walls Frame Chimneys

Outside Finish Stucco Toilets

Inside Finish Plaster Remarks 1 hr fire wall garage

This Permit is granted upon the condition that the undersigned owner or builder agrees to comply with all State and Local Laws and Ordinances covering the location, construction and use of buildings. This permit may be revoked upon violation of any of said provisions.

Owner M. H. Has Builder Owner

Estimated Cost \$ 10000 Date 7/14 1950

Fee of \$ 25.00 Paid 10 Building Inspector M. J. [Signature] Permit No. 3769

THIS MAP IS INTENDED TO BE USED FOR  
PROPERTY TAX ASSESSMENT PURPOSES ONLY.



ALLEYS IN BLKS. 267, 268, 276 & 277 & POR.  
OF FOAM ST. CLOSED BY CITY OF P.G.  
ORDINANCE NO. 222 8/20/52

RESUBDIVISION of BLKS 274 & 275

PACIFIC GROVE BEACH  
BLKS 261, 262, 267, 268, 269, 276 & 277





**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alex Othon, Assistant Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Initial Historic Screening for 380 Pine Ave.  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

---

**RECOMMENDATION**

Recommend HRC find this property ineligible for the Historic Resources Inventory. The record provided indicates the property does not have historic significance or integrity and is not eligible for the Historic Resources Inventory.

**Attachments**

380 Pine IHS



# CITY OF PACIFIC GROVE

## Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

### Initial Historic Screening Determination

Address: 380 Pine Ave. APN: 006-268-006

Owner: Michele Lukas Applicant: Jim Sullivan

#### HISTORIC RESOURCES COMMITTEE (HRC) RECOMMENDATION:

At the \_\_\_\_\_ HRC meeting, the Committee prepared the following Preliminary Determination of Ineligibility and forwarded the recommendation to the Community Development Director:

- Determined to be ineligible as an “Historical Resource,” due to the following criteria:
  - 1. The property has undergone significant alterations to the primary or most visible façade, as evidenced through original plans, photographs or Sanborn maps.
    - \_\_\_\_\_ (description of known alteration)
    - \_\_\_\_\_ (type of documentation)
  - 2a. The property does not exhibit the architectural characteristics of the styles described in Section 7.3 of the General Plan or Section IV of the Historic Context Statement;
  - or
  - 2b. The property does not exhibit unique architectural, site or locational characteristics.
  - 3. The property is not associated with important persons, events or architecture.
- Determination of ineligibility cannot be made.

HRC Comments:

\_\_\_\_\_  
Claudia Sawyer, HRC Chair

\_\_\_\_\_  
Date

#### COMMUNITY DEVELOPMENT DIRECTOR (CDD) DETERMINATION:

Based on the recommendation above, the CDD Director, or their designee:

- Made a determination of ineligibility, which will remain in effect for 10 years from the date of approval.
- Found that a determination of ineligibility cannot be made, and a Phase 1 Historic Assessment is required.

\_\_\_\_\_  
Anastazia Aziz, AICP, Director

\_\_\_\_\_  
Date



# CITY OF PACIFIC GROVE

Community Development Department - Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

## Permit Application

Application # IHS 20-0141

Date: 3-16-2020

Total Fees: \$452.00

APPLICANT/OWNER:

Project Address: 380 Pine Ave. APN: 006 268 006

Project Description: Existing 1009 Sq. Ft. residence w/ 360 Sq. Ft. 2 Car Garage.

Will the project create, add, or replace impervious surface?  Yes  No

Will the project impact any tree(s) on site?  Yes  No

**Applicant**  
Name: Jim Sullivan  
Phone: 831 521 7178  
Email: jsullivan@yahoo.com  
Mailing Address: P.O. Box 2571 Mendocino CA 93942

**Owner**  
Name: Michele Lukas  
Phone: 831 545 6667  
Email: michelelukas@icloud.com  
Mailing Address: 300 Pine Ave.

### Permit Request:

- CRD: Counter Determination
- AP: Architectural Permit
- AAP: Administrative AP
- ADC: Arch Design Change
- ASP: Admin Sign Permit
- SP: Sign Permit
- UP: Use Permit
- AUP: Administrative UP
- ADU: Acc. Dwelling Unit
- LLA: Lot Line Adjustment
- IHS: Initial Historic Screening
- HPP: Historic Preservation
- A: Appeal
- TPD: Tree Permit W/ Dev't
- EIR: Environmental Impact
- VAR: Variance
- MMP: Mitigation Monitoring
- Stormwater Permit
- Other: \_\_\_\_\_
- Other: \_\_\_\_\_

### CEQA Determination:

- Exempt
- Initial Study & Mitigated Negative Declaration
- Environmental Impact Report

### Review Authority:

- Staff
- ZA
- SPRC
- ARB
- HRC
- PC
- CC
- \_\_\_\_\_

### Active Permits:

- Active Planning Permit
- Active Building Permit
- Active Code Violation
- Permit #: \_\_\_\_\_

### Overlay Zones:

- Butterfly Zone
- Coastal Zone
- Area of Special Biological Significance (ASBS)
- Environmentally Sensitive Habitat Area (ESHA)

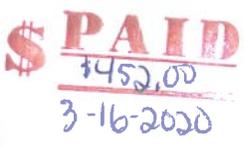
### Property Information

Lot: 18 & 20 Block: 20 Tract: PG  
ZC: R-2 GP: \_\_\_\_\_ Lot Size: ~3,508

- Historic Resources Inventory
- Archaeologically Sensitive Area

### Staff Use Only:

Received by: \_\_\_\_\_  
Assigned to: \_\_\_\_\_



PLANNING STAFF USE ONLY:

**INDEMNIFICATION CONDITION**

In consideration for City review and approval of application in this matter, the Owner/Applicant shall indemnify, defend, protect and hold harmless the City, its elected and appointed officials, officers, agents, and employees (collectively "Indemnitees"), using counsel approved in writing by the City, from and against, any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorneys' fees and disbursements which may accrue against Indemnitees by reason of the City's processing, approval or denial of the request and application in this matter. Indemnification shall include, but shall not be limited to any action, or proceeding brought to attack, set aside, void, annul, limit, or inhibit the approval of the application referenced above, and shall expressly include causes of action under the California Environmental Quality Act (CEQA), or the National Environmental Policy Act (NEPA).

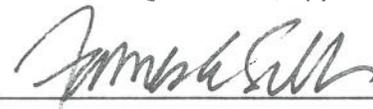
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Owner/Applicant represents it (and any subsidiary) is (a) duly formed and organized, (b) validly existing and in good standing under state law, and (c) has all necessary power to execute and deliver this document and perform its obligations. Owner/Applicant also represents it is authorized to enter into this agreement by all requisite partnership, corporate or other action, and its terms are a valid and legally binding obligation. Neither execution nor delivery of this document nor performance of its obligations will violate any law or provision of any agreement, articles of incorporation, by-laws or other organizational or governing documents relating to Owner/Applicant, nor conflict with any court order relating to Owner/Applicant.

Applicant Signature: 

Date: 3/16/20

Owner Signature (Required): 

Date: 3/16/20



**CITY OF PACIFIC GROVE**

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cdd

Application #

IHS 20-0141

**Planning Permit Fee Calculation**

Permit	Select	Fee
Architectural Permit – Single Family	<input type="checkbox"/>	\$3,052
Administrative Architectural Permit	<input type="checkbox"/>	\$1,469
Architectural Design Change	<input type="checkbox"/>	\$1,469
Counter Review & Determination – no new square footage	<input type="checkbox"/>	\$212
Counter Review & Determination – new square footage	<input type="checkbox"/>	\$856
Initial Historic Screening	<input checked="" type="checkbox"/>	\$452
Sign Permit	<input type="checkbox"/>	\$2,241
Administrative Sign Permit	<input type="checkbox"/>	\$1,241
Use Permit and Amendments – Single Family	<input type="checkbox"/>	\$1,832
Major Administrative Use Permit	<input type="checkbox"/>	\$1,184
Minor Administrative Use Permit	<input type="checkbox"/>	\$1,199
Variance and Amendment	<input type="checkbox"/>	\$2,548
Administrative Variance and Amendment	<input type="checkbox"/>	\$1,425
Inquiry Fee	<input type="checkbox"/>	\$334
Historic Preservation Permit	<input type="checkbox"/>	\$1,735
Accessory Dwelling Unit Permit	<input type="checkbox"/>	\$1,783
Tree Permit with Development	<input type="checkbox"/>	\$272
Appeal	<input type="checkbox"/>	25% of base permit fee or \$1,045 whichever is greater plus noticing costs
Other	<input type="checkbox"/>	

**Additional Fees**

General Plan Update Fee	5% of Permit Fee	<input type="checkbox"/>	
CEQA Exemption Fee	\$278	<input type="checkbox"/>	
Butterfly Buffer Zone	5% of Permit Fee	<input type="checkbox"/>	
Coastal Zone	25% of Permit Fee	<input type="checkbox"/>	
Area of Special Biological Significance	5% of Permit Fee	<input type="checkbox"/>	
Environmentally Sensitive Habitat Area	15% of Permit Fee	<input type="checkbox"/>	
Noticing – Mailings	\$0.55 * (# of Mailings)	<input type="checkbox"/>	
Noticing – Herald Ad	\$349	<input type="checkbox"/>	
Stormwater Fee	Varies	<input type="checkbox"/>	
County filing fee	Varies	<input type="checkbox"/>	
File maintenance fee	Varies	<input type="checkbox"/>	
Other	Varies	<input type="checkbox"/>	

**Total Fees:** \_\_\_\_\_



**CITY OF PACIFIC GROVE**

**Community Development Department – Planning Division**

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cdd

**Initial Historic Screening Report**

<b>Address: 380 Pine Ave</b>	<b>APN: 006-268-006</b>
<b>Block: 20</b>	<b>Lot: 18 &amp; 20</b>

**Community Development Department Data:**

**Assessors Maps: Yes**

**Historic Files: Yes**

**1928 Block Files: Yes**

**Assessment Files by APN: Yes**

**Alpha by Owner: Yes**

**1947-1967 Building Permit Register: Yes**

**Sanborn Maps: No Records:**  1888:  1892:  1897:

1905:  1914:  1926:  1962:

**Building Permit History:**

<b>Permit No.</b>	<b>Permit Date:</b>	<b>Scope of Work:</b>	<b>Owner:</b>	<b>Builder:</b>
<b>5076</b>	<b>October 1, 1951</b>	<b>Glass porch</b>	<b>Newman</b>	<b>Owner</b>
<b>Permit No.</b>	<b>Permit Date:</b>	<b>Scope of Work:</b>	<b>Owner:</b>	<b>Builder:</b>
<b>1572</b>	<b>June 27, 1940</b>	<b>New SFD</b>	<b>Oatnel</b>	<b>Owner</b>
<b>Permit No.</b>	<b>Permit Date:</b>	<b>Scope of Work:</b>	<b>Owner:</b>	<b>Builder:</b>
<b>04-0464</b>	<b>May 14, 2004</b>	<b>Ceiling change</b>	<b>Lukas</b>	<b>Stepanek Const.</b>

**Miscellaneous Information:**

**Board & Batten Index: N/A**

**Tuttle Photo Collection: No**

**Polk Directories (1926 – 1988): No**

**Library Photo Collection: No**

Respectfully submitted,

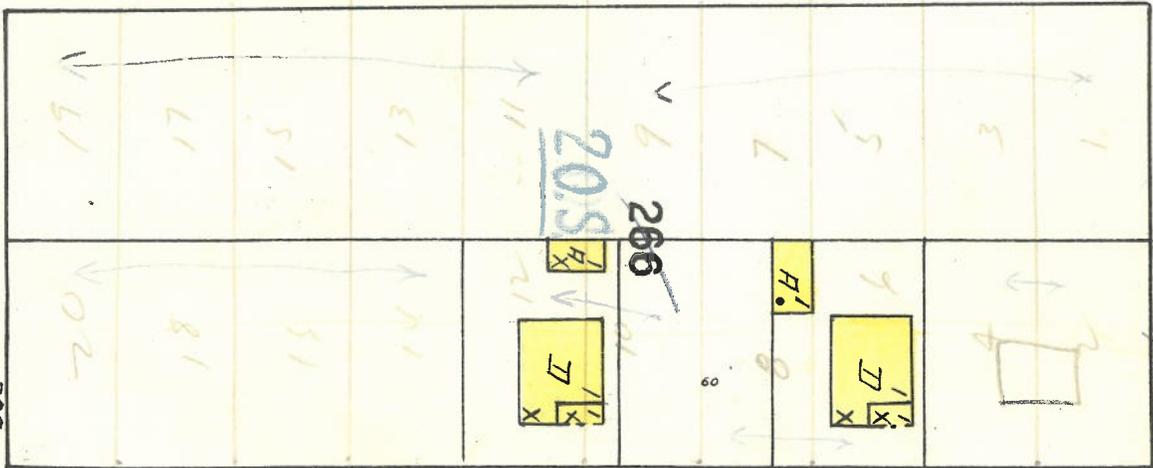
Alex Othon, Assistant Planner

MONTEREY

AV

Pine Av  
380

Laurel Hwy 381



10<sup>TH</sup>

2" W.P.

Add. 1 Lot 20 Block 20 Owner Elmer R & Effie Ortnel

Sketch of Lot	Year	Real Estate	Improvements <small>2000</small>	Personal Property <small>100</small>	Exemption	TOTAL
	1931	180				180
	1932	180				180
	1933	140				140
	1934	140				140
	1935	140				140
	1936	140				140
	1937	140				140
	1938	140				140
	1939	140				140
	1940	140				140

*Sub*

District	Asst. No.	Original Amt. \$	Int.	%
Year				
Principal				
Interest				
TOTAL				

District	Asst. No.	Original Amt. \$	Int.	%
Year				
Principal				
Interest				
TOTAL				

Add 1,6-268-6 Lot 20 Block 20 Owner Cecil B & Inyl Newman

Sketch of Lot	Year	Real Estate	Improvements <small>2000</small>	Personal Prop.	Exemption	TOTAL
	1940	140	1800			1940
	1941	140	1800			1940
	1943	140	1800			1940
	1944	140	1950			1940
	1945	140	1980	100	1000	1220
	1946	140	1980	100	1000	1220
	1947	200	2060	100	1000	1270
	1948	200	2060	100	1000	1360
	1949	320	2060	140	1000	1520
	1950	320	2060	140	1000	1520
	1951	320	2060	140	1000	1520
	1952	320	2060	140	1000	1520
	1956	320	2840	230	1000	1520

District	Asst. No.	Original Amt. \$	Int.	%
Year				
Principal				
Interest				
TOTAL				

6-268-6

CITY OF PACIFIC GROVE

LOT 20 - 8

BLOCK 20

ADD. FIRST

DATE	OWNER	ADDRESS
	Thos. <sup>(K)</sup> and Addie Wood	410 Central Ave., Pacific Grove c/o James V. Wood, San Jose, Calif. 601 1st Natl Bank Bldg
6/16/36	Stanley Muntich	Gen. Def., Gustine, Calif.
6/20/40	Elmer A. and Effie Ortner	<del>250 1/2</del> <sup>250</sup> <del>Law</del> St. <del>DeMoro</del> - <del>Calif</del>
12/7/43.	Cecil B. & Ivey Newman	<del>116</del> <sup>116</sup> <del>Evans</del> St. City 7/122 Nat Bank City

BLOCK 20

N. Laurel Ave  
E. Tenth Street  
S. Pine Ave  
W. Monterey Ave

FIRST ADDITION  
L D NORTON MAP

- ✓ 1 J A Riley
- ✓ 2 Margaret Gholz 11-14-21
- ✓ 3 J A Riley
- ✓ 4 Margaret Gholz 11-14-21
- ✓ 5 J A Riley
- 6 John & Agnes Hartman 1-22-24 306 10th St
- ✓ 7 J A Riley
- N 10 ft 8 John & Agnes Hartman 1-22-24
- S 20 ft 8 " 10-11-26
- ✓ 9 J A Riley
- ✓ N 20 ft 10 Addie G Smith 11-3-26
- ✓ S 10 ft 10 "
- ✓ 11 Mrs F Schmidt
- ✓ 12 Addie G Smith 8-25-22 310 10th St
- ✓ 13 Mrs. F Schmidt
- 14 Thos. F & Addie Wood
- ✓ 15 Mrs. F Schmidt
- 16 Thos F & Addie Wood
- ✓ 17 Mrs F Schmidt
- 18 Thos F & Addie Wood
- ✓ 19 Mrs F Schmidt
- 20 Thos F & Addie Wood

**SUMMARY OF APPRAISED LAND AND BUILDING VALUATIONS**  
**EQUALIZATION OF ASSESSED VALUES — CITY OF PACIFIC GROVE, CALIFORNIA**  
AUTHORIZED BY CONTRACT WITH CITY COUNCIL, DECEMBER 17, 1927

TRACT NAME First Addition

BLOCK NO. 20

LOT NO.	NAME OF OWNER	APPRAISED 1928		ASSESSED 1928-1929	
		LAND	IMPS.	LAND	IMPS.
1-3- 5-7-9	J. A. Riley	1530			
2-4	Margaret Chalz	550	2520		
6-8	John & Agnes Hartman	520	1250		
10-12	Addie G. Smith-	520	1250		
11-13 15-17 19	Mrs. F. Schmidt	1540			
14-16- 18-20	Thos. F. & Addie Wood	1080			
<b>TOTALS</b>		5740	5020		





# CITY OF PACIFIC GROVE

## BUILDING PERMIT

Issued pursuant to the Building and Zoning Ordinance of the Municipal Code.

Location 380 - Pine Street

Lot 6 Block 265 Tract

Nature of Improvement Glass Pouch Zone

No. Rooms \_\_\_\_\_ Out buildings \_\_\_\_\_

Dimensions 10' x 15'

Set Back—Front Street Empty Side Street \_\_\_\_\_ Side Yds. \_\_\_\_\_

No. Stories \_\_\_\_\_ Floors Adv.

Foundation Conc. Roof Comp.

Walls Frame Chimneys \_\_\_\_\_

Outside Finish Glass Toilets \_\_\_\_\_

Inside Finish Glass Remarks \_\_\_\_\_

This Permit is granted upon the condition that the undersigned owner or builder agrees to comply with all State and Local Laws and Ordinances covering the location, construction and use of buildings. This permit may be revoked upon violation of any of said provisions.

Owner Mr. Dan C. V. Newman Builder James

Estimated Cost \$ 500 Date 10-1, 1951

Fee of \$ 3.00 Paid via May Building Inspector Permit No. 5076

copy over

# CITY OF PACIFIC GROVE

## BUILDING PERMIT

In Compliance with Building Ordinance No. 246, Zoning Ordinance No. 251, and all Ordinances Supplementary Thereto.

Location..... 380 Pine Ave. ..... Street

Lot..... 18x20 ..... Block..... 20 ..... Tract..... 1st .....

Nature of Improvement..... single family residence ..... Zone.....

No. Rooms..... 5 + bath ..... Out buildings..... rear garage .....

Dimensions..... 28x32' ..... 18'x20' .....

Set Backs—Front Street..... 6 ft. ..... Side street..... 6 ft. ..... Side Yds..... 3 ft. .....

No. Stories..... 1 ..... Floors..... hdw. .....

Foundation..... concrete ..... Roof..... comp .....

Walls..... frame ..... Chimneys..... brick .....

Outside Finish..... rustic ..... Toilets.....  .....

Inside Finish..... plaster ..... Remarks.....

This Permit is granted upon the condition that the undersigned owner or builder agrees to comply with all Ordinances and Regulations covering the location, construction and use of buildings.  
 This Permit may be revoked upon violation of any of said provisions.

Owner..... Elmer H. Oster ..... Builder..... (owner) .....

Estimated Cost \$..... 3,000 ..... Date..... June 27, 1940 .....

Fee of \$..... 4.00 ..... Paid..... [Signature] ..... Building Inspector..... Permit No. 1572 .....

APPLICATION FOR BUILDING PERMIT

PHONE: 648-3183

CITY OF PACIFIC GROVE

No. 04-0464

ASSESSOR'S NO. 006-268-006

Applicant to complete numbered spaces which apply

JOB ADDRESS		380 PINE AVENUE		OWNER	380 PINE AVE	ZIP	CA 93950	PHONE	
2	OWNER	MAIL ADDRESS	380 PINE AVE	ZIP	CA 93950	PHONE			
3	CONTRACTOR	MAIL ADDRESS	2062 LARKIN BL.	PHONE	(494) 633	LICENSE NO.	721190		
4	ARCHITECT OR DESIGNER	MAIL ADDRESS		PHONE	373 7101	LICENSE NO.			
5	ENGINEER	MAIL ADDRESS		PHONE		LICENSE NO.			
6	USE OF BUILDING	SFD							
7	Class of work:	<input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input checked="" type="checkbox"/> ALTERATION <input type="checkbox"/> REPAIR <input type="checkbox"/> MOVE <input type="checkbox"/> REMOVE							
8	Describe work:	CHANGE OF FLAT CEILING INTO CATHEDRAL AND INSTALLATION OF FIREPLACE							
9	Change of use from	N/A							
	Change of use to	N/A							
10	Valuation of work:	\$20,000	\$9,000	PLAN CHECK/FEE	PD 5/13/04	21433	PERMIT FEE	544.93	
SPECIAL CONDITIONS				Type of Const.	Occupancy Group	Division			
ZONED R-2 NOT HISTORIC				Size of Bldg. (Total) Sq. Ft.	No. of Stories	Max. Occ. Load			
APPLICATION ACCEPTED BY				Fire Zone	Use Zone	Fire Sprinklers Required <input type="checkbox"/> Yes <input type="checkbox"/> No			
PLANS CHECKED BY				No. of Dwelling Units	OFFSTREET PARKING SPACES:				
APPROVED FOR ISSUANCE BY				Covered	Uncovered				
<p><b>NOTICE</b></p> <p>THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED.</p> <p>I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.</p> <p>_____ SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT      5/14/04 (DATE)</p> <p>_____ SIGNATURE OF OWNER (IF OWNER BUILDER)      _____ (DATE)</p>				Special Approvals	Required	Received	Not Required		
				ZONING			5/17/04		
				HEALTH DEPT.					
				FIRE DEPT.					
				SOIL REPORT					
				VARIANCE NO.					
				ARCHITECTURAL APPROVAL NO.		5/17/04	X		
				USE PERMIT NO.					
				COASTAL					
				TREE					
TREE PERMIT									
TREE PROJECT									
ENCROACH PERMIT									

LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class B, C36 License Number 721190  
Contractor J. STEPANEK CONSTRUCTION

OWNER-BUILDER DECLARATION

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 — commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale).

I am exempt under Sec. \_\_\_\_\_ B. & P.C. for this reason \_\_\_\_\_

Applicant \_\_\_\_\_ Date \_\_\_\_\_

You will be contacted by  
MRWPCA Source Control Division

**Warning:** Trees on the streets of Pacific Grove are public property and under City control. Permission to remove trees may be obtained only from the City.

**This permit does not include any signs or flood lighting**  
GRADE LINES AS SHOWN ON DRAWING ACCOMPANYING THIS APPLICATION ARE ASSUMED TO BE CORRECT IF ACTUAL GRADE LINES ARE NOT THE SAME AS SHOWN. REVISED DRAWINGS SHOWING CORRECT GRADE LINES, CUTS AND FILLS, TOGETHER WITH COMPLETE DETAILS OF RETAINING WALLS AND WALL FOOTINGS REQUIRED MUST BE RESUBMITTED TO THIS DIVISION FOR APPROVAL.

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name \_\_\_\_\_  
Lender's Address \_\_\_\_\_

VALUATION	
20,000	
FEES	
PERMIT	544.93
PLAN CHK	408.70
SMIP.	2.00
SEWER	
DEPOSIT	(214.33)
TOTAL	741.70

THE ABOVE APPROVAL GRANTS PERMISSION TO DO THE WORK COVERED BY THIS APPLICATION IN ACCORDANCE WITH PLANS AS APPROVED AND ALL APPLICABLE COUNTY AND STATE ORDINANCES, REGULATIONS AND LAWS GOVERNING LOCATION, CONSTRUCTION AND OCCUPANCY OF BUILDING.

19

20

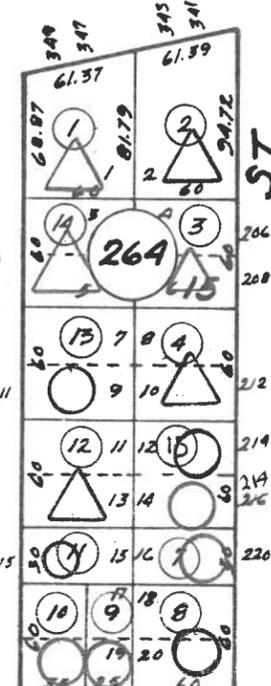
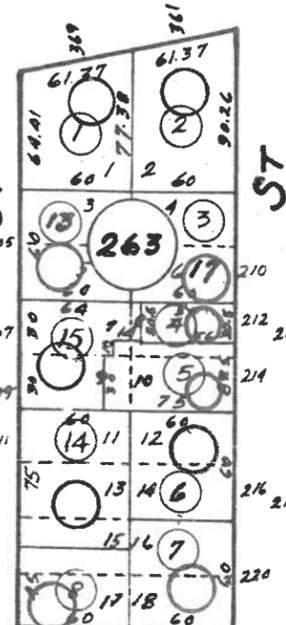
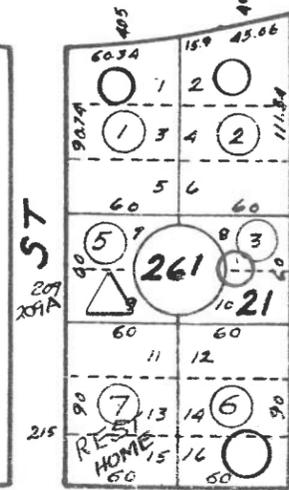
AVE

THIS MAP IS INTENDED TO BE USED FOR  
PROPERTY TAX ASSESSMENT PURPOSES ONLY.

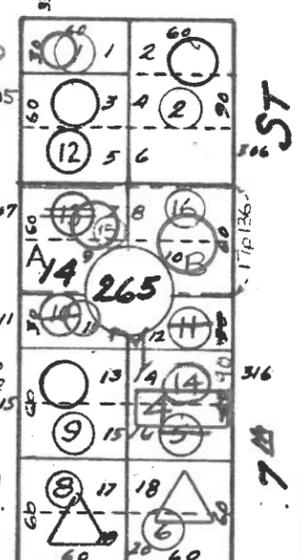
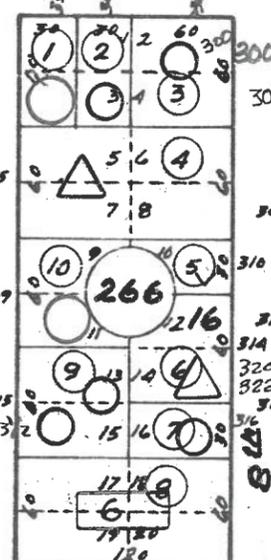
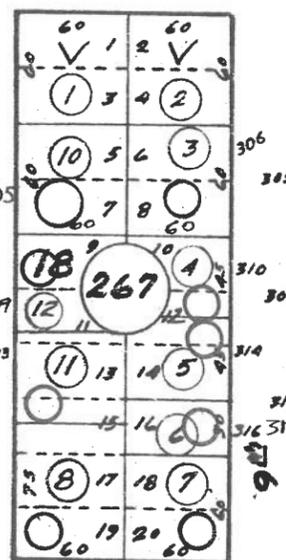
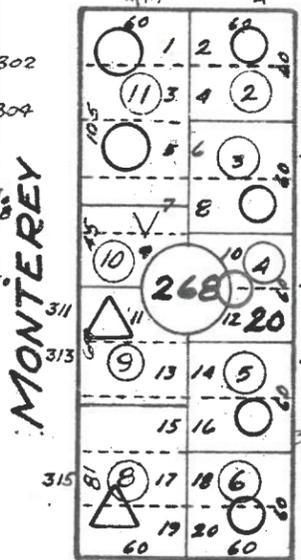
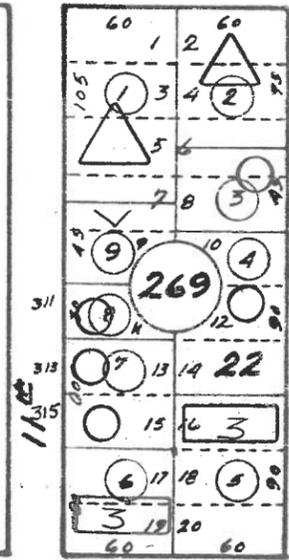
27

25

LIGHTHOUSE



LAUREL



PINE



AVE

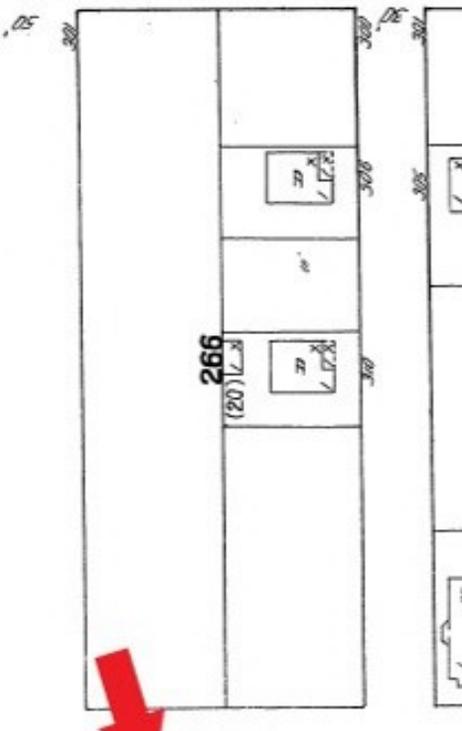
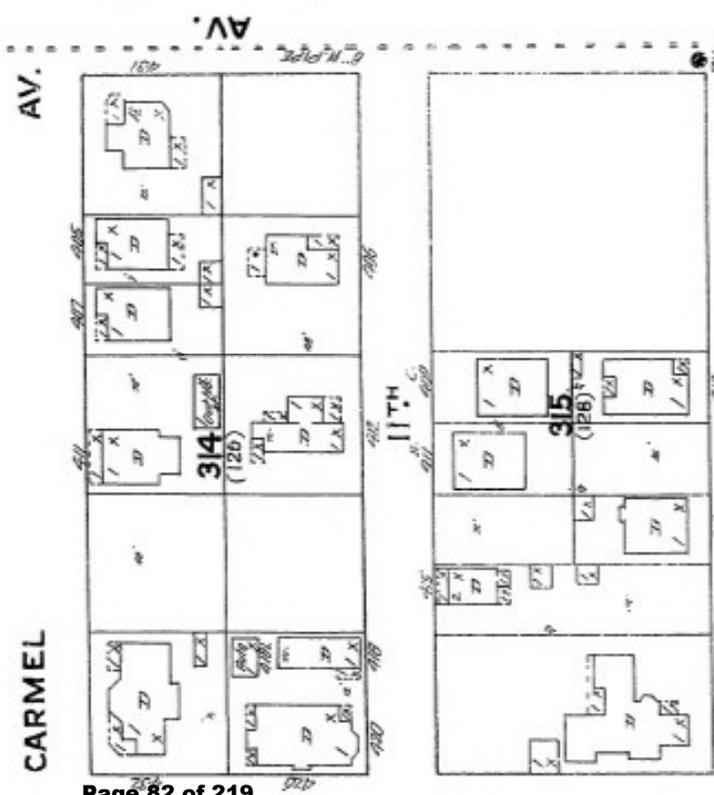
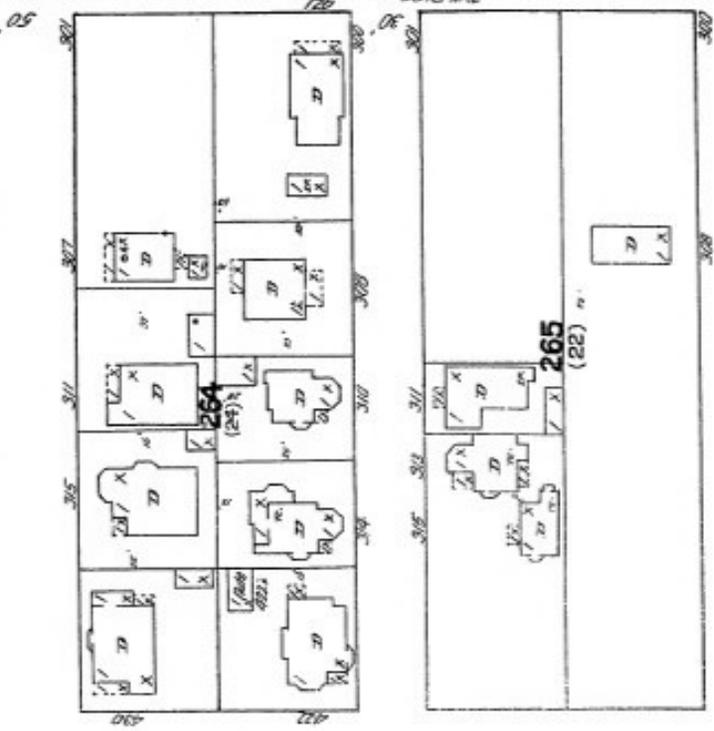
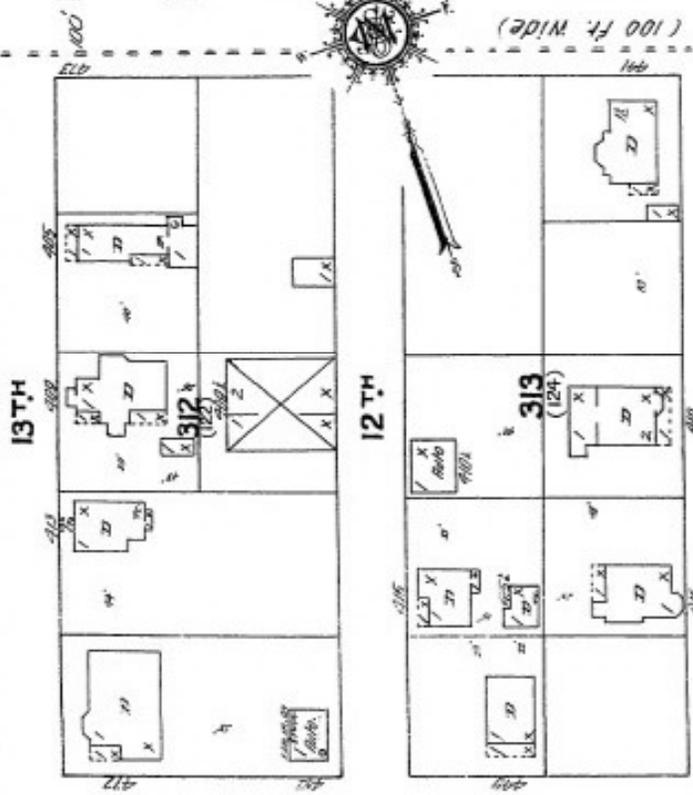
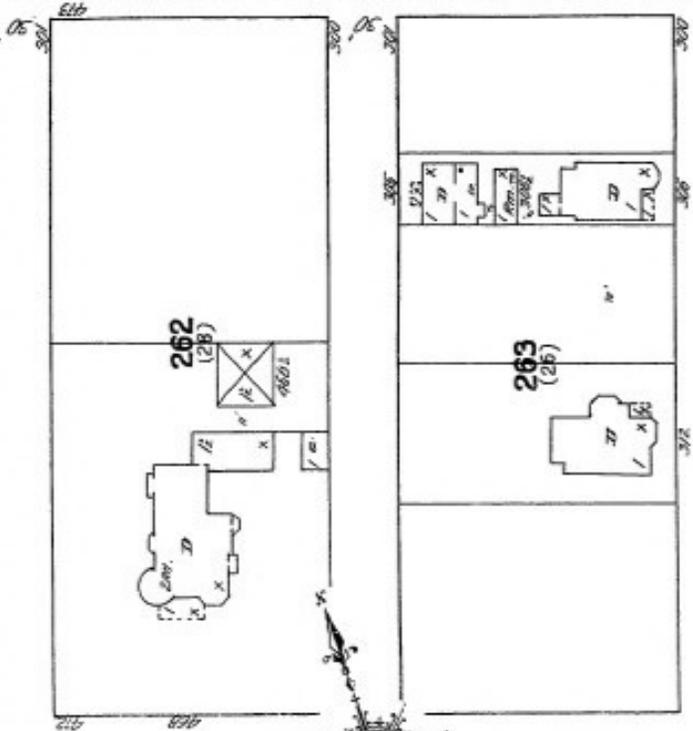
FIRST ADDITION  
BLKS 14 to 22

49

50



12



CARMEL AV.

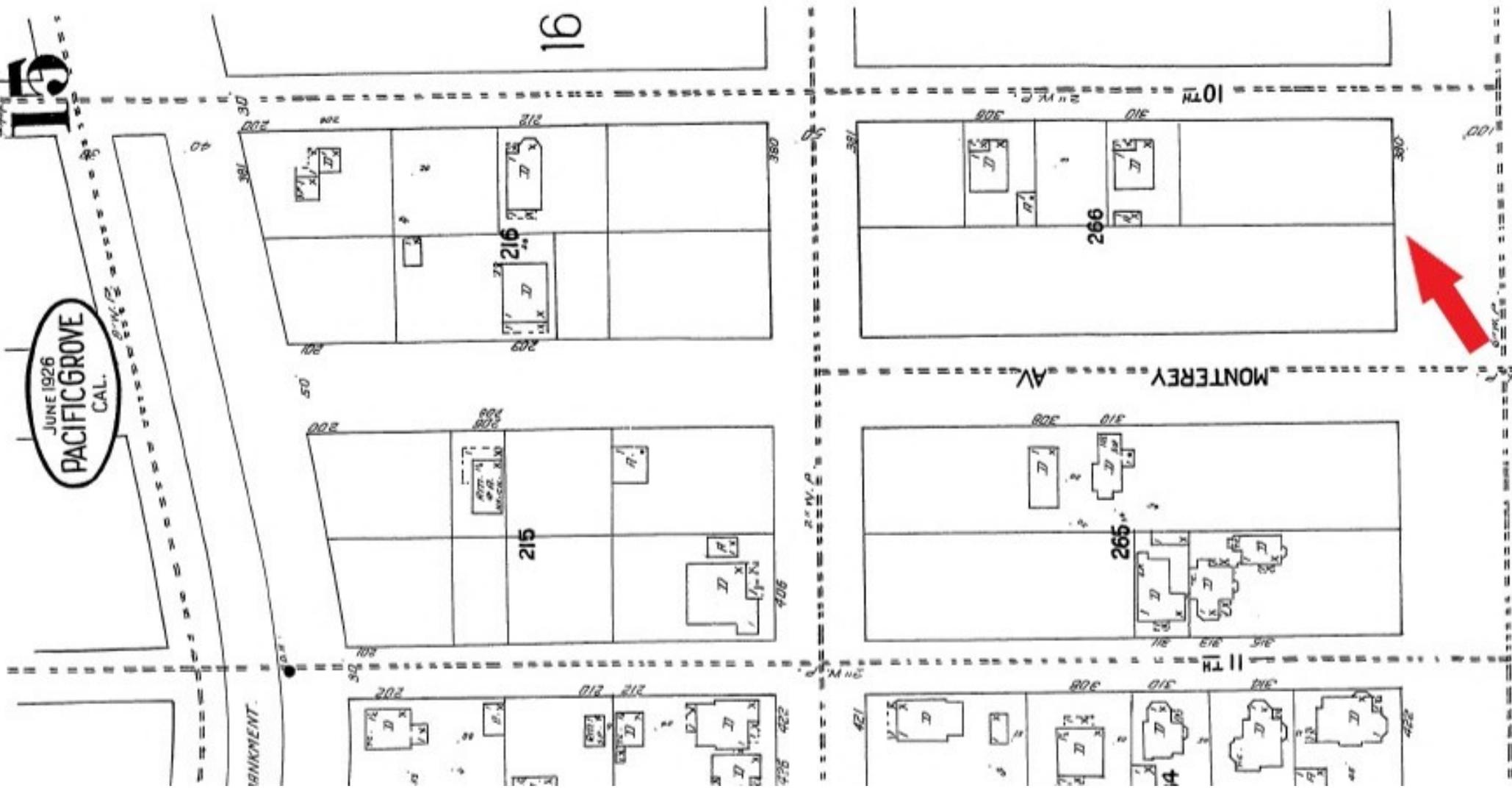
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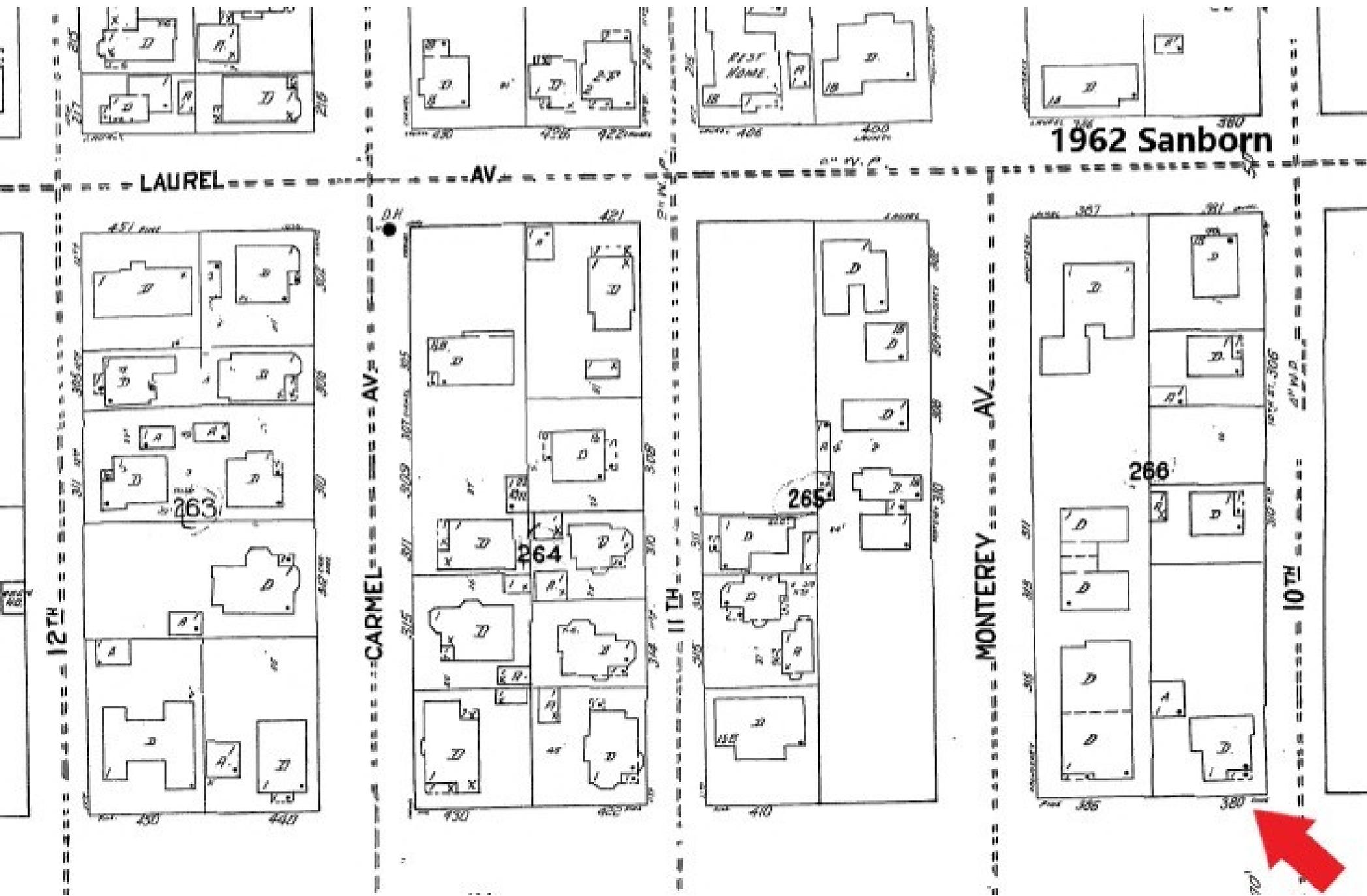
PINE

SPRUCE

10<sup>TH</sup>

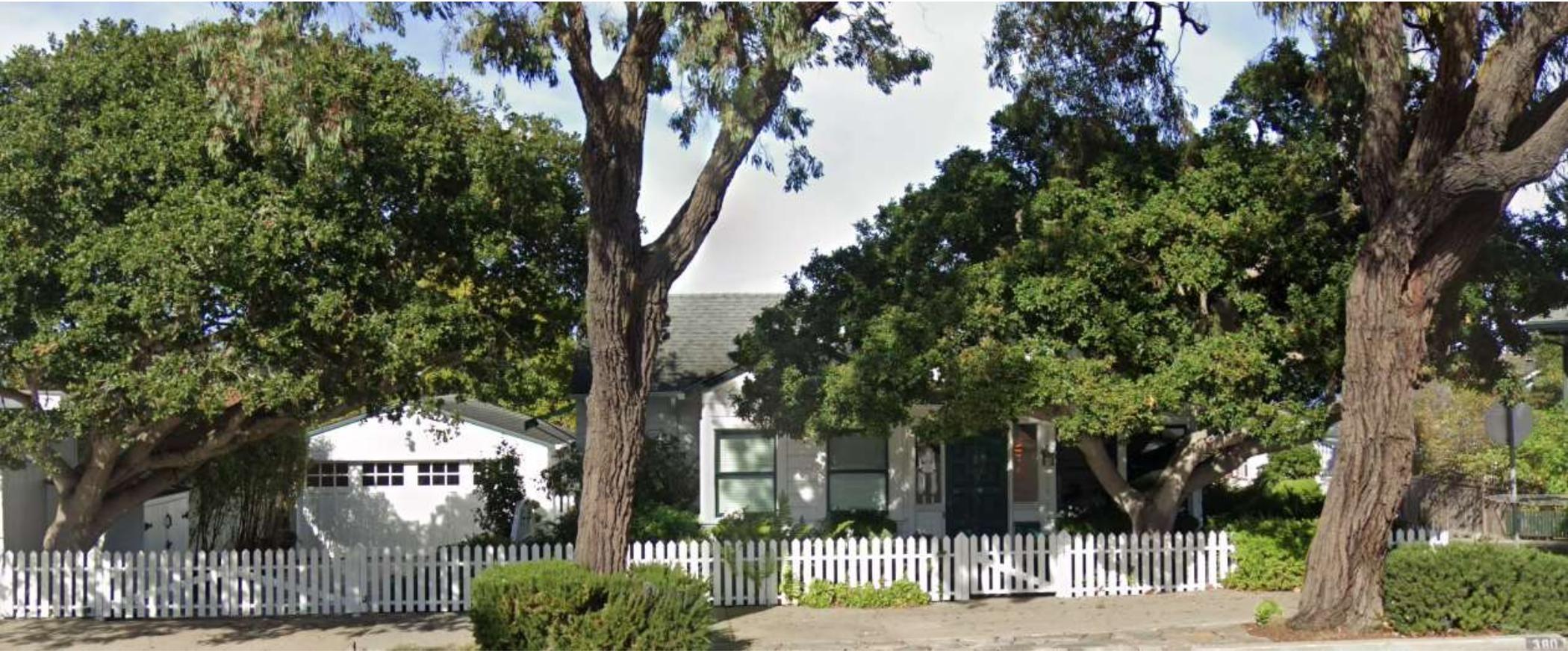
15  
JUNE 1926  
PACIFIC GROVE  
CAL.





1962 Sanborn









**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alex Othon, Assistant Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Initial Historic Screening for 955 Walnut.  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

---

**RECOMMENDATION**

Recommend HRC find this property ineligible for the Historic Resources Inventory.

The record provided indicates the property does not have historic significance or integrity and is not eligible for the Historic Resources Inventory.

**Attachments**

955 Walnut IHS



# CITY OF PACIFIC GROVE

## Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

### Initial Historic Screening Determination

Address: 955 Walnut Ave. APN: 006-633-015

Owner: Yun Su Nam & Hyok Chi Applicant: KR Construction

#### HISTORIC RESOURCES COMMITTEE (HRC) RECOMMENDATION:

At the \_\_\_\_\_ HRC meeting, the Committee prepared the following Preliminary Determination of Ineligibility and forwarded the recommendation to the Community Development Director:

- Determined to be ineligible as an “Historical Resource,” due to the following criteria:
  - 1. The property has undergone significant alterations to the primary or most visible façade, as evidenced through original plans, photographs or Sanborn maps.
    - \_\_\_\_\_ (description of known alteration)
    - \_\_\_\_\_ (type of documentation)
  - 2a. The property does not exhibit the architectural characteristics of the styles described in Section 7.3 of the General Plan or Section IV of the Historic Context Statement;
  - or
  - 2b. The property does not exhibit unique architectural, site or locational characteristics.
  - 3. The property is not associated with important persons, events or architecture.
- Determination of ineligibility cannot be made.

HRC Comments:

\_\_\_\_\_  
Claudia Sawyer, HRC Chair

\_\_\_\_\_  
Date

#### COMMUNITY DEVELOPMENT DIRECTOR (CDD) DETERMINATION:

Based on the recommendation above, the CDD Director, or their designee:

- Made a determination of ineligibility, which will remain in effect for 10 years from the date of approval.
- Found that a determination of ineligibility cannot be made, and a Phase 1 Historic Assessment is required.

\_\_\_\_\_  
Anastazia Aziz, AICP, Director

\_\_\_\_\_  
Date



**CITY OF PACIFIC GROVE**

**Community Development Department – Planning Division**

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cdd

**Initial Historic Screening Report**

<b>Address: 955 Walnut</b>	<b>APN: 006-633-015</b>
<b>Block: 2</b>	<b>Lot: 15</b>

**Community Development Department Data:**

**Assessors Maps: Yes**

**Historic Files: No**

**1928 Block Files: No**

**Assessment Files by APN: Yes**

**Alpha by Owner: Yes**

**1947-1967 Building Permit Register: Yes**

**Sanborn Maps: No Records:**  1888:  1892:  1897:

1905:  1914:  1926:  1962:

**Building Permit History:**

<b>Permit No.</b>	<b>Permit Date:</b>	<b>Scope of Work:</b>	<b>Owner:</b>	<b>Builder:</b>
<b>205</b>	<b>August 27, 1968</b>	<b>Addition</b>	<b>Wilson</b>	<b>Owner</b>
<b>Permit No.</b>	<b>Permit Date:</b>	<b>Scope of Work:</b>	<b>Owner:</b>	<b>Builder:</b>
<b>289</b>	<b>March 25, 1969</b>	<b>New roof over porch</b>	<b>Wilson</b>	<b>Owner</b>
<b>Permit No.</b>	<b>Permit Date:</b>	<b>Scope of Work:</b>	<b>Owner:</b>	<b>Builder:</b>
<b>06- ???</b>	<b>January 31, 2006</b>	<b>Remodel and addition</b>	<b>Yun</b>	<b>Owner</b>

**Miscellaneous Information:**

**Board & Batten Index: No**

**Tuttle Photo Collection: No**

**Polk Directories (1926 – 1988): No**

**Library Photo Collection: No**

Respectfully submitted,

Alex Othon, Assistant Planner



# CITY OF PACIFIC GROVE

Community Development Department -- Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

## Permit Application

IHS  
Application #

20-0136

Date:

3-10-2020

Total Fees:

\$452

Project Address: 955 Walnut APN: 006-633-015

Project Description: Historic Screening

Will the project create, add, or replace impervious surface?  Yes  No

Will the project impact any tree(s) on site?  Yes  No

### Applicant

Name: KR Coug

Phone: 655-3821

Email: \_\_\_\_\_

Mailing Address: PoBox 869 PG

### Owner

Name: Yun Su Nam & Hyok

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Mailing Address: 955 Walnut

### Permit Request:

- CRD: Counter Determination
- AP: Architectural Permit
- AAP: Administrative AP
- ADC: Arch Design Change
- ASP: Admin Sign Permit
- SP: Sign Permit
- UP: Use Permit
- AUP: Administrative UP
- ADU: Acc. Dwelling Unit
- LLA: Lot Line Adjustment
- IHS: Initial Historic Screening
- HPP: Historic Preservation
- A: Appeal
- TPD: Tree Permit W/ Dev't
- EIR: Environmental Impact
- VAR: Variance
- MMP: Mitigation Monitoring
- Stormwater Permit
- Other: \_\_\_\_\_
- Other: \_\_\_\_\_

### CEQA Determination:

- Exempt
- Initial Study & Mitigated Negative Declaration
- Environmental Impact Report

### Review Authority:

- Staff
- ZA
- SPRC
- ARB
- HRC
- PC
- CC
- \_\_\_\_\_

### Active Permits:

- Active Planning Permit
- Active Building Permit
- Active Code Violation
- Permit #: \_\_\_\_\_

### Overlay Zones:

- Butterfly Zone
- Coastal Zone
- Area of Special Biological Significance (ASBS)
- Environmentally Sensitive Habitat Area (ESHA)

### Property Information

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Tract: \_\_\_\_\_  
ZC: \_\_\_\_\_ GP: \_\_\_\_\_ Lot Size: \_\_\_\_\_

- Historic Resources Inventory
- Archaeologically Sensitive Area

### Staff Use Only:

Received by: LO

Assigned to: AO

RECEIVED  
MAR 10 2020  
CITY OF PACIFIC GROVE  
COMMUNITY DEV DEPT

PAID  
\$470.00  
3-10-2020

**INDEMNIFICATION CONDITION**

In consideration for City review and approval of application in this matter, the Owner/Applicant shall indemnify, defend, protect and hold harmless the City, its elected and appointed officials, officers, agents, and employees (collectively "Indemnitees"), using counsel approved in writing by the City, from and against, any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorneys' fees and disbursements which may accrue against Indemnitees by reason of the City's processing, approval or denial of the request and application in this matter. Indemnification shall include, but shall not be limited to any action, or proceeding brought to attack, set aside, void, annul, limit, or inhibit the approval of the application referenced above, and shall expressly include causes of action under the California Environmental Quality Act (CEQA), or the National Environmental Policy Act (NEPA).

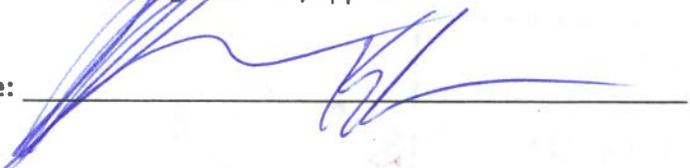
The obligation to indemnify shall include, but not be limited to, all costs relating to preparing administrative records, investigations, responses to discovery, retention of experts, and other costs, including attorney's fees or obligations related to this matter, including actions brought by the Owner/Applicant and also extend to any expense incurred in establishing the City's right to indemnification. City expenses shall be paid by Owner/Applicant upon City request notwithstanding final disposition of the matter has not yet occurred. If the City is later determined to not be entitled to indemnification, the City shall repay amounts so advanced.

This indemnification condition is the Owner/Applicant's inducement to the City to process and approve the application, which approval would otherwise be withheld by City due to its concern for liability or expense that may result from performance of the City's duties. Should any dispute arise regarding interpretation of this condition, the prevailing party shall recover all reasonable costs incurred, including court costs, attorney fees and related expenses. Recovery of expenses shall be as additional costs awarded to the prevailing party, and shall not require initiation of a separate legal proceeding.

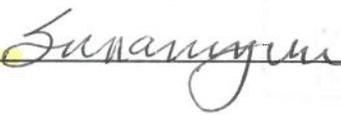
This indemnification condition shall not require the Owner/Applicant to indemnify the City or other Indemnities: (a) to the extent that an obligation is actually paid by an insurer pursuant to an insurance policy; (b) in connection with any remuneration paid to the City, if it shall be finally adjudged that such remuneration was in violation of law; or (c) on account of the City's misconduct if such misconduct shall be finally adjudged to have been knowingly fraudulent, deliberately dishonest or willful.

Any permit or other approval given by the City to the Owner/Applicant Guarantor shall be valid only so long as this indemnification condition is given full force and effect. If this indemnification condition is revoked, the permit or other approval of the City shall then become null and void.

Owner/Applicant represents it (and any subsidiary) is (a) duly formed and organized, (b) validly existing and in good standing under state law, and (c) has all necessary power to execute and deliver this document and perform its obligations. Owner/Applicant also represents it is authorized to enter into this agreement by all requisite partnership, corporate or other action, and its terms are a valid and legally binding obligation. Neither execution nor delivery of this document nor performance of its obligations will violate any law or provision of any agreement, articles of incorporation, by-laws or other organizational or governing documents relating to Owner/Applicant, nor conflict with any court order relating to Owner/Applicant.

**Applicant Signature:** \_\_\_\_\_  


**Date:** 3/10/2020

**Owner Signature (Required):** \_\_\_\_\_  


**Date:** 03/10/2020

6-633-15

CITY OF PACIFIC GROVE

LOT 15

BLOCK 2

ADD. Marino Pines

DATE	OWNER	ADDRESS
3-7-63	Kenneth & Birdie Bain Kenneth Bain	
2*17-64	Fred X & Helen M. Fry	
4-27-67	Walter W. Wilson	



# CITY OF PACIFIC GROVE

## Building Permit

ISSUED PURSUANT TO THE BUILDING AND ZONING ORDINANCE OF THE MUNICIPAL CODE

Location 955 WALNUT Assessor's No. 6-633-15  
Lot 15 Block 2 Tract MARINO PINES  
Nature of Improvement ADDITION No. of Buildings \_\_\_\_\_  
Type Construction VN Dimensions 12' X 14'  
Occupancy Group 1 Set-Backs { Front Yard 23' Left Side Yard 7'6" Alley \_\_\_\_\_  
Fire Zone 3 Use Zone R-1 { Rear Yard EXISTING Right Side Yard EXISTING  
Architectural Approval No. DEL MONTE Date Approved 8-27-68  
Variance No. \_\_\_\_\_ Date Approved \_\_\_\_\_  
Use Permit No. \_\_\_\_\_ Date Approved \_\_\_\_\_  
Required Parking Spaces \_\_\_\_\_ No. Family Units \_\_\_\_\_  
Open Yard Area Required \_\_\_\_\_ Bldg. Site Area \_\_\_\_\_  
Sign Permit No. \_\_\_\_\_ Date Approved \_\_\_\_\_  
Foundation CONT Structural Frame \_\_\_\_\_ No. Stories 1  
Exterior Finish STUCCO Roof T. G. Height \_\_\_\_\_  
Interior Finish PANEL Floor \_\_\_\_\_ No. Rooms 1

This Permit is granted upon the condition that the undersigned owner or builder agrees to comply with all state and local laws and ordinances covering the location, construction and use of buildings. This Permit may be revoked upon violation of any of said provisions.

Signature of Permittee [Signature]

Owner MR & MRS WALTER WILSON  
Builder OWNER  
Valuation 2,000  
Permit Fee 20<sup>00</sup> Plan Ck. Fee \_\_\_\_\_

Total Fee 20<sup>00</sup>  
Date AUGUST 27 1968  
Issued By [Signature]  
Building Department

No 205



APPLICATION FOR BUILDING PERMIT

PHONE: 648-3183

CITY OF PACIFIC GROVE

ASSESSORS'S NO. 006-699-015

No. 06 -

Applicant to complete numbered spaces which apply

JOB ADDRESS 1 955 Walnut Street				OWNER JOB ADDRESS 955 WALNUT ST
OWNER	MAIL ADDRESS	ZIP	PHONE	
2 YUN, SU NAM 955 WALNUT ST. P.O. 93950 372-0583				
CONTRACTOR	MAIL ADDRESS	PHONE	LICENSE NO.	
3				
ARCHITECT OR DESIGNER				
4 Rick Steres 230 FOUNTAIN AVE, SUITE 6 P.O. 93950 696-1131 C14191				
ENGINEER				
5				
USE OF BUILDING				
6 S.F.D.				
7 Class of work: <input type="checkbox"/> NEW <input checked="" type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> REPAIR <input type="checkbox"/> MOVE <input type="checkbox"/> REMOVE				
8 Describe work: REMODEL S.F.D. & ADDITION				
9 Change of use from				
Change of use to				
10 Valuation of work: \$ 228,691		PLAN CHECK FEE 247.06	PERMIT FEE 2996.08	
SPECIAL CONDITIONS NOT ON HPT AA SUBJECT TO SUBCOM APPROVAL OF SIDE WALKER, WINDOWS & GARAGE DOORS				
APPLICATION ACCEPTED BY		PLANS CHECKED BY	APPROVED FOR ISSUANCE BY	
9/21/05 BZ		1/30/06	1/31/06	
<p><b>NOTICE</b></p> <p>THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED.</p> <p>I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.</p>				
SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT		(DATE)		
SIGNATURE OF OWNER (IF OWNER BUILDER)		(DATE)		
Type of Const.	Occupancy Group	Division		
Size of Bldg. (Total) Sq. Ft.	No. of Stories	Max. Occ. Load		
Fire Zone	Use Zone	Fire Sprinklers Required <input type="checkbox"/> Yes <input type="checkbox"/> No		
No. of Dwelling Units	OFFSTREET PARKING SPACES: Covered _____ Uncovered _____			
Special Approvals	Required	Received	Not Required	
ZONING		11/01/05		
HEALTH DEPT.				
FIRE DEPT.				
SOIL REPORT				
VARIANCE NO.				
ARCHITECTURAL APPROVAL NO.	AA# 3425.04			
USE PERMIT NO.				
COASTAL				
TREE				
TREE PERMIT				
TREE PROJECT				
ENCROACH PERMIT				

LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class \_\_\_\_\_ License Number \_\_\_\_\_

Contractor \_\_\_\_\_

OWNER-BUILDER DECLARATION

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 — commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale).

I am exempt under Sec. \_\_\_\_\_ B. & P.C. for this reason \_\_\_\_\_

Applicant \_\_\_\_\_ Date \_\_\_\_\_

You will be contacted by  
MRWPCA Source Control Division

**Warning:** Trees on the streets of Pacific Grove are public property and under City control. Permission to remove trees may be obtained only from the City.

**This permit does not include any signs or flood lighting**  
GRADE LINES AS SHOWN ON DRAWING ACCOMPANYING THIS APPLICATION ARE ASSUMED TO BE CORRECT IF ACTUAL GRADE LINES ARE NOT THE SAME AS SHOWN. REVISED DRAWINGS SHOWING CORRECT GRADE LINES, CUTS AND FILLS, TOGETHER WITH COMPLETE DETAILS OF RETAINING WALLS AND WALL FOOTINGS REQUIRED MUST BE RESUBMITTED TO THIS DIVISION FOR APPROVAL.

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name \_\_\_\_\_

Lender's Address \_\_\_\_\_

VALUATION	
	228,691
FEES	
PERMIT	2996.08
PLAN CHK.	2247.06
SMIP.	22.87
SEWER	
DEPOSIT	247.06
TOTAL	3018.95

THE ABOVE APPROVAL GRANTS PERMISSION TO DO THE WORK COVERED BY THIS APPLICATION IN ACCORDANCE WITH PLANS AS APPROVED AND ALL APPLICABLE COUNTY AND STATE ORDINANCES, REGULATIONS AND LAWS GOVERNING LOCATION, CONSTRUCTION AND OCCUPANCY OF BUILDING.

THIS MAP IS INTENDED TO BE USED FOR  
PROPERTY TAX ASSESSMENT PURPOSES ONLY.

CITY OF PACIFIC GROVE  
CALIFORNIA

AVE

64

56

CEDAR

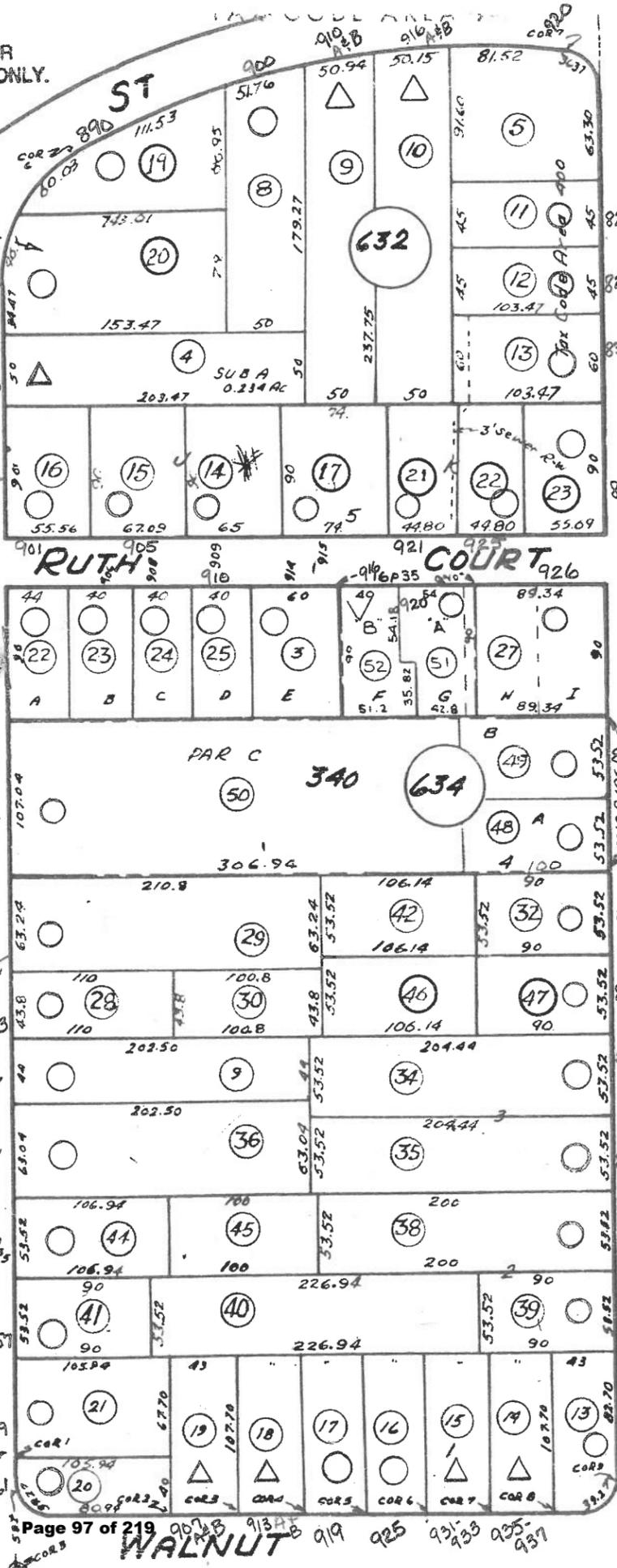
PEDERSEN  
COURT

SINEX

WALNUT

62

PEDERSEN COURT  
PACIFIC GROVE ACRES  
BLK 339 & 340  
SUNSHINE COURT  
MADINO PINES - BLK 2



ROAD

PINES

MARINO

ST

DRIVE

SUNSET

ST





**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alyson Hunter, Senior Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Adoption of HRC Resolution 20-03  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

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**RECOMMENDATION**

Adopt HRC Resolution 20-03 reflecting the actions of the Historic Resources Committee at its February 26, 2020, meeting.

**Attachments**

HRC Resolution 20-03

**RESOLUTION NO. 20-03**

**HISTORIC DETERMINATION FOR THE DELETION OF THIRTEEN (13) PROPERTIES FROM THE CITY OF PACIFIC GROVE’S HISTORIC RESOURCES INVENTORY AS REFERENCED IN THE TABLE BELOW**

**FACTS**

1. In 2018, the City Council of the City of Pacific Grove directed the Community Development Department to undertake the task of updating the City’s Historic Resources Inventory (Inventory).
2. To assist with the effort, the City contracted with Page & Turnbull, a qualified historic consulting firm which, as a result of field work and research, prepared the Historic Resources Inventory Update Survey Report (Report) which was finalized and accepted by the City Council on November 20, 2019.
3. The Report analyzed every one of the 1,303 buildings currently on the Inventory, prepared Dept. of Parks & Recreation (DPR) Form 523 documents for each property, and recommended the removal of 371 (28%) of the properties from the Inventory due to changes over time resulting in the loss of historic integrity and/or significance.
4. The properties in the following table were removed from the Inventory on February 26, 2020:

	<b>Property Address</b>	<b>Assessor Parcel No.</b>	<b>Property Owner</b>	<b>Reason for Removal from the HRI</b>	<b>(Original) Approx. Year Built</b>
1.	212 4th St.	006-254-003	Zellmer, L & B	Several additions result in loss of integrity	1920
2.	138 9th St.	006-202-002	Carter, B & J	Several additions; original form no longer visible; lost integrity	1914
3.	150 13th St.	006-176-012	Mason, P	Front addition results in lost integrity	1905
4.	308 14th St.	006-285-004	Anderson, T & R	Cumulative alterations/addition; lost integrity	1906
5.	511 18th St.	006-476-007	Spade, N	Large addition results in lost integrity	1908
6.	244 Central Ave.	006-221-006	Martine, H	Several additions result in lost integrity	1905
7.	217 Forest Ave.	006-282-017	Olsson, P & R.S.	Entire front window/door system altered; original brick bulkhead plastered; lost integrity	1933
8.	601 Fountain Ave.	006-544-004	Man, Y	2nd story addition; alterations result in lost integrity	1912
9.	182 Laurel Ave.	006-244-003	Miller, J & V	Large additions incompatible; lost integrity	1930
10.	147 Monterey Ave.	006-209-001	Holthouse, L & M.L	No historic significance	1920
11.	420 Sinex Ave.	006-535-013	Paff, J & S	Cumulative alterations result in lost integrity	1912

5. The properties in the following table were continued to the March 25, 2020, meeting for further review and discussion:

18.	864 Laurel Ave.	006-333-006	Davis, M & J	Alteration to original form; lost integrity	1900
19.	219 Bentley St.	006-342-008	Dunn, M	Cumulative alterations; lost integrity	1926

- The following property was retained on the Inventory by a vote of the Committee at its February 26, 2020, meeting:

20.	220 Bentley St.	006-341-008	Aeschliman, G & R	Addition results in loss of integrity	1925
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### FINDINGS

- The Historic Resources Committee has determined that the properties listed above shall be removed from Pacific Grove’s Historic Resources Inventory based on the criteria listed in PGMC 23.76.025 and the recommendation of the qualified consultant, Page & Turnbull, on the individual properties’ DPR 523 Forms of “6L” or “6Z” signifying ineligibility for local, state or national listing.
- The Historic Resources Committee has determined that this action does not constitute a “Project” as defined under California Environmental Quality Act (CEQA) Section 15378 which addresses organizational or administrative activities of governments that will not result in direct or indirect physical changes in the environment. This section can be used if the Committee finds that the property was placed on the Inventory in error or the property no longer retains historic integrity and/or significance and cannot be considered a historic resource.

**NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE HISTORIC RESOURCES COMMITTEE OF THE CITY OF PACIFIC GROVE THAT:**

- On February 26, 2020, the Historic Resources Committee determined that, based on observation and the information on the DPR forms provided, the buildings listed as Nos. 1 – 17 above be removed from the Historic Resources Inventory per PGMC 23.76.030, Nos. 18 and 19 were continued to the next meeting of the Committee, and #20 was retained on the Inventory. This administrative action is not a “Project” per 15378 of the CEQA Guidelines.
- The Historic Resources Committee further determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Resolution.
- The properties referenced in the table above no longer meet the criteria for eligibility per PGMC §23.76.025.
- This Resolution shall become effective upon the expiration of the 10-day appeal period.

**PASSED AND ADOPTED** BY THE HISTORIC RESOURCES COMMITTEE OF THE CITY OF PACIFIC GROVE this 27<sup>th</sup> day of May, 2020, by the following vote:

AYES:  
 NOES:  
 ABSTENTIONS:  
 ABSENT:

APPROVED:

\_\_\_\_\_  
 Claudia Sawyer, Chair

ATTEST: \_\_\_\_\_  
 Alyson Hunter, Senior Planner





**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alyson Hunter, Senior Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** **Approval of February 26, 2020, Historic Resources Committee Meeting Minutes**  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

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RECOMMENDATION

Adopt the draft February 26, 2020, minutes as presented.

Attachments

Draft 2-26-20 Minutes



## MINUTES

# CITY OF PACIFIC GROVE HISTORIC RESOURCES COMMITTEE REGULAR MEETING MINUTES

3:00 p.m., Wednesday, February 26, 2020

Council Chambers – City Hall – 300 Forest Avenue, Pacific Grove, CA

### 1. Call to Order - 3:00 p.m.

### 2. Roll Call

Members Present: Mimi Sheridan, Vice Chair, Mark Travaille, Joseph Rock, Jill Kleiss, Secretary; Rick Steres, Geoff Welch.

Members Absent: Claudia Sawyer, Chair.

### 3. Approval of Agenda

**On a motion by Member Rock, seconded by Member Steres, the Committee voted 6-0-1 (Sawyer absent) to approve the agenda.**

**Motion passed.**

### 4. Committee Member and Staff Announcements (City-Related Items Only)

Vice-Chair Sheridan shared an update on the recent California Preservation Foundation (CPF) workshop and noted that the CPF Conference is upcoming in May.

### 5. General Public Comment

Lisa Ciani spoke on the City's work at Lover's Point & the importance of cultural resources.

### 6. Reports of Council Liaison

Councilmember Tomlinson provided an update on actions taken at recent City Council meetings.

### 7. Items to be Continued or Withdrawn - None

### 8. Consent Agenda

#### a. Approval of January 22, 2019, HRC Minutes

Recommended Action: Approve minutes

CEQA Status: Does not constitute a "Project" as defined by CEQA Guidelines §15378

Staff Reference: Alex Othon, Assistant Planner

#### b. Initial Historic Screening Request No. IHS 20-0083, 1223 Surf Ave.

Description: Initial Historic Screening

Applicant/Owner: Jim Musbach

CEQA status: Not a project under CEQA per §15378

Staff reference: Alyson Hunter, Senior Planner

Recommended action: Determine ineligible for the Historic Resources Inventory

**On a motion by Member Steres, seconded by Member Rock, the Committee voted 6-0-1 (Sawyer absent) to approve the Consent Agenda.**

**Motion passed.**

**9. Continued Items - None**

**10. Regular Agenda**

**a. Election of Officers**

Recommendation: Hold an election for Chair, Vice Chair, and Secretary

Reference: Alyson Hunter, Senior Planner

CEQA Status: Does not constitute a “Project” as defined by CEQA Guidelines Section 15378

**On a nomination by Rock, seconded by Travaille, the Committee voted 6-0-1 (Sawyer absent) to reelect Claudia Sawyer as Chair.**

**Motion passed.**

**On a nomination by Rock, seconded by Travaille, the Committee voted 6-0-1 (Sawyer absent) to reelect Mimi Sheridan as Vice-Chair.**

**Motion passed.**

**On a nomination by Rock, seconded by Travaille, the Committee voted 6-0-1 (Sawyer absent) to reelect Jill Kleiss as Secretary.**

**Motion passed.**

**b. Architectural Permit 19-0683, 228 1<sup>st</sup> Street, APN 006-242-007**

Description: An Architectural Permit (AP) for a 64 sq. ft. second-story, rear addition.

Applicant/Owner: Suzanne Weichert

CEQA status: Not a project per CEQA Guidelines, Sections 15301(e)(1) and 15331

Staff reference: Alex Othon, Assistant Planner

Recommended action: Approve the permit subject to findings, conditions, and Class 3 and 31 CEQA Exemptions.

Alex Othon, Assistant Planner, provided a staff report.

The Chair opened the floor to public comment.

The Chair closed the floor to public comment.

The Committee discussed the item.

**On a motion by Member Rock, seconded by Member Welch, the Committee voted 6-0-1 (Sawyer absent) to approve the item.**

**Motion passed.**

**c. Removal of Twenty (20) Heavily Modified Properties from the Historic Resources Inventory (HRI)**

Project Description: On November 20, 2019, the City Council accepted the Final Historic Resources Inventory (HRI) Survey Update, including the recommendations for deletion, and directed the Historic Resources Committee (HRC) to begin the removal process. The 20 properties below represent the second group of proposed deletions.

**Recommendation:** Consider the evidence provided, remove the subject properties from the HRI per PGMC § 23.76.030 and adopt Resolution 20-02 memorializing this action.

**CEQA Status:** Given that the subject properties are not historic resources, their removal from the Inventory does not constitute an individual nor cumulative significant negative effect on the environment. The administrative act of removing non-historic resources from the Inventory is not a “Project” per § 15378 of the California Environmental Quality Act (CEQA) Guidelines.

**Staff Reference:** Alyson Hunter, Senior Planner | [ahunter@cityofpacificgrove.org](mailto:ahunter@cityofpacificgrove.org) | 831-648-3127

	Property Address	Assessor Parcel No.	Property Owner	Reason for Removal from the HRI	Approx. Year Built
1.	200 1 <sup>st</sup> St.	006-223-002	Garland, V & G	No historic significance	c. 1925
2.	222 1 <sup>st</sup> St.	066-242-010	Leo, L	Extensive alterations; effect. demolished	1903
3.	523 2 <sup>nd</sup> St.	006-515-009	Hyde, R & McLean, L	Extensive alterations; lost integrity	1930
4.	132 4 <sup>th</sup> St.	006-229-003	O’Neil, R & M	Cumulative alterations; lost integrity	1892
5.	315 5 <sup>th</sup> St.	006-257-006	Dietz, M & S	Heavily Modified; lost integrity	1910
6.	414 9 <sup>th</sup> St.	006-501-005	Bitter, R & Devine, K	Extensive alterations; lost integrity	1922
7.	160 11 <sup>th</sup> St.	006-197-008	Laiolo, C	Cumulative alterations; lost integrity	1910
8.	308 14 <sup>th</sup> St.	006-285-004	Anderson, T & R	Cumulative alterations; lost integrity	1906
9.	315 14 <sup>th</sup> St.	006-279-008	Williams, M	Addition results in loss of integrity	1940
10.	219 Bentley St.	006-342-008	Dunn, M	Cumulative alterations; lost integrity	1926
11.	220 Bentley St.	006-341-008	Aeschliman, G & R	Addition results in loss of integrity	1925
12.	212 Carmel Av.	006-274-004	Dwyer, W	Addition results in lost integrity	1912
13.	522 Central Av.	006-181-009	Center for Spiritual Awakening	Additions over time result in lost integrity	1939
14.	409 Chestnut St.	006-443-010	White, R & S	Alterations; lost integrity	1907
15.	864 Laurel Ave.	006-333-006	Davis, M & J	Alteration to original form; lost integrity	1900
16.	562 Park Pl.	006-157-013	Kohlmanslehner, S	Significant alterations; lost integrity	1906
17.	315 Pine Ave.	006-504-001	Davalos, E & Krienke, D	Cumulative alterations; lost integrity	1922
18.	1125 Pico Ave.	006-422-002	O’Rourke, H	Highly visible additions; lost integrity	1922
19.	703 Spruce Ave.	006-466-002	Balison, B & R	Large addition results in lost integrity	1910
20.	731 Spruce Ave.	006-467-001	Mrizek, A & Grenfell, S	Cumulative alterations; lost integrity	1918-1928

Alyson Hunter, Senior Planner, provided a staff report.

The Chair opened the floor to public comment.

Lisa Ciani spoke against the removal of 220 Bentley Street from the Historic Resources Inventory.

The Chair closed the floor to public comment.

The Committee discussed the item.

**On a motion by Member Travaille, seconded by Member Steres, the Committee voted 6-0-1 (Sawyer absent) to remove Nos. 1, 2, 4, 6, 7, 16, 17, 18, 19, and 20 from the Historic Resources Inventory.**

**Motion passed.**

11.	220 Bentley St.	006-341-008
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**On a motion by Member Rock, seconded by Member Welch, the Committee voted 5-1-1 (Sheridan opposed, Sawyer absent) to retain 220 Bentley on the Historic Resources Inventory.**

**Motion passed.**

5.	315 5 <sup>th</sup> St.	006-257-006
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**On a motion by Member Rock, seconded by Member Travaille, the Committee voted 6-0-1 (Sawyer absent) to remove 315 5<sup>th</sup> Street from the Historic Resources Inventory.**

**Motion passed.**

9.	315 14 <sup>th</sup> St.	006-279-008
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**On a motion by Member Rock, seconded by Member Steres, the Committee voted 6-0-1 (Sawyer absent) to remove 315 14<sup>th</sup> Street from the Historic Resources Inventory.**

**Motion passed.**

8.	308 14 <sup>th</sup> St.	006-285-004
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**On a motion by Member Rock, seconded by Member Steres, the Committee voted 4-2-1 (Travaille and Kleiss opposed, Sawyer absent) to remove 308 14<sup>th</sup> Street from the Historic Resources Inventory.**

**Motion passed.**

12.	212 Carmel Av.	006-274-004
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**On a motion by Member Rock, seconded by Member Steres, the Committee voted 5-1-1 (Steres opposed, Sawyer absent) to remove 212 Carmel Avenue from the Historic Resources Inventory.**

**Motion passed.**

15.	864 Laurel Ave.	006-333-006
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**On a motion by Member Travaille, seconded by Member Welch, the Committee voted 5-1-1 (Sheridan opposed, Sawyer absent) to continue this item to the next meeting.**

**Motion passed.**

3.	523 2 <sup>nd</sup> St.	006-515-009
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**On a motion by Member Rock, seconded by Member Steres, the Committee voted 6-0-1 (Sawyer absent) to remove 523 2<sup>nd</sup> Street from the Historic Resources Inventory.**

**Motion passed.**

13.	522 Central Av.	006-181-009
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**On a motion by Member Rock, seconded by Member Steres, the Committee voted 6-0-1 (Sawyer absent) to remove 522 Central Avenue from the Historic Resources Inventory.**

**Motion passed.**

14.	409 Chestnut St.	006-443-010
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**On a motion by Member Rock, seconded by Member Travaille, the Committee voted 6-0-1 (Sawyer absent) to remove 409 Chestnut Street from the Historic Resources Inventory.**

**Motion passed.**

10.	219 Bentley St.	006-342-008
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**On a motion by Member Travaille, seconded by Member Steres, the Committee voted 5-1-1 (Sheridan opposed, Sawyer absent) to continue the item to the next meeting.**

**Motion passed.**

## **11. Presentations and Trainings**

### **a. Coastal Development Permit (CDP) Tutorial**

Recommendation: Receive training on CDP procedure, process.

Reference: Alyson Hunter, Senior Planner

CEQA Status: Does not constitute a "Project" per § 15378 of the CEQA Guidelines.

Alyson Hunter, Senior Planner, provided a staff report and answer Committee Members' questions.  
The Chair opened the floor to public comment.  
The following member of the public spoke on the item:  
Lisa Ciani spoke on the importance of the Cultural & Historic Resources sections of the Local Coastal Plan.  
The Chair closed the floor to public comment.

**12. Adjournment – 4:14 p.m.**

**Next meeting is date is March 25, 2020 at 3:00 p.m.**

DRAFT



**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alyson Hunter, Senior Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Deletion of 864 Laurel Ave. from the City's Historic Resources Inventory (HRI).  
**This item was continued from the February 26, 2020 meeting.**  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act  
Guidelines Section 15378  
**From:** Alyson Hunter, Senior Planner

**RECOMMENDATION**

Delete 864 Laurel Ave. from the City's Historic Resources Inventory (HRI) due to lost historic integrity.

**BACKGROUND**

On November 20, 2019, the City Council accepted the Final Historic Resources Inventory (HRI) Survey Update, including the recommendations for deletion, and directed the Historic Resources Committee (HRC) to begin the removal process.

This item was discussed at the HRC's February 26, 2020, meeting. The HRC was unable to make a decision on whether the property should be removed from the HRI and the item was continued to a date uncertain. This agenda item has been renoticed for this date.

**DISCUSSION**

The original form, mass and design are no longer legible due to alterations and the large two-story addition, resulting in the loss of historic integrity. (Page & Turnbull, 2019)

CEQA Status: Given that the subject properties are not historic resources, their removal from the Inventory does not constitute an individual nor cumulative significant negative effect on the environment. The administrative act of removing non-historic resources from the Inventory is not a "Project" per § 15378 of the California Environmental Quality Act (CEQA) Guidelines.

**Attachments**

DPR Form for 864 Laurel Ave.

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2 \*Resource Name or #: 864 Laurel Ave (APN 006333006000)

**P1. Other Identifier:**

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Monterey

\*b. USGS Quad(s): Monterey, California (1997)

c. Address: 864 Laurel Ave, Pacific Grove, CA 93950 (APN 006333006000)

d. UTM:

e. Other Locational Data: Latitude, Longitude (Decimal Degrees) 36.6221087630261, -121.925893172573

\*P3a. Description:

- Architectural Style(s): Shingle
- Construction Type: Wood Frame
- Number of Stories: 2
- Basement: Not Visible
- Garage: Attached
- Roof Type(s): Hipped
- Roof Material(s): Asphalt Shingle
- Wall Material(s): Wood Shingle
- Window Type(s): Casement, Fixed, Pivot
- Window Material(s): Wood
- Architectural Features: Chimney, Open Porch, Overhanging Eaves
- Decorative Details: Exposed Rafter Tails
- Alterations: Incompatible Addition, Altered Form or Roofline
- Additional Remarks:

\*P3b. Resource Attributes: HP02 (Single family property)

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (isolates, etc.)

**P5a. Photo**



**\*P5b. Description of Photo:**

Primary façade, 8/28/2018.

**\*P6. Date Constructed/Age & Sources:**

- Prehistoric  Protohistoric
- Historic  Unknown

Circa 1900. Sources: Monterey County Assessor's Records.

**\*P7. Owner and Address:**

Davis Mark & Davis Julie  
864 Laurel Ave  
Pacific Grove, CA 93950

**\*P8. Recorded by:**

Hannah Simonson, Page & Turnbull  
170 Maiden Lane, 5th Floor  
San Francisco, CA 94108

\*P9. Date Recorded: 8/28/2018

Finalized: 10/18/2019

\*P10. Survey Type: Reconnaissance

\*P11. Citation: Page & Turnbull. "Pacific Grove Historic Resource Inventory (HRI) Survey Report." Prepared for the City of Pacific Grove, October 18, 2019 [Final Report].

\* Attachments:  None  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other:

Page 2 of 2 \*Resource Name or #: 864 Laurel Ave (APN 006333006000)

\*Recorded By: Hannah Simonson \*Date Recorded: 8/28/2018 Finalized: 10/18/2019

**Historic Name:**  
**Original Use:** Residential **Present Use:** Residential  
**Original Owner:** **Architect/Builder:**

**Significance**  
**Pacific Grove Historic Context Statement Theme:** Residential Development

**Period of Development:** Early Development of Pacific Grove (1873-1902)  
**Integrity:** No Historic Integrity **Period of Significance:** Not Applicable  
**Eligible for Pacific Grove HRI:** No **Level of Significance:** Not Applicable  
**Appears Individually Eligible for National Register and/or California Register:** No  
**California Historic Resource Status Codes:** 6Z  
**Evaluation Notes:** The original form, mass and design are no longer legible due to alterations and the large two-story addition, resulting in the loss of historic integrity.

National/ California Register	PG Municipal Code §23.76	Significance	Discussion of Individual Eligibility
A/1	A, B	Events, Patterns & Trends	Not found to be eligible under these criteria during the course of this survey.
B/2	C	Persons	Not found to be eligible under these criteria during the course of this survey.
C/3	D, E, F, G, H, I	Architecture & Design	Not found to be eligible under these criteria during the course of this survey due to loss of historic integrity.
D/4		Information Potential	Properties were not evaluated for significance under these criteria as part of this survey.

**References:** Page & Turnbull. *City of Pacific Grove Historic Context Statement*. Prepared for City of Pacific Grove, CA. Approved by City Council October 19, 2011.





**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alyson Hunter, Senior Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Deletion of 219 Bentley St. from the City's Historic Resources Inventory (HRI). **This item was continued from the February 26, 2020 meeting.**  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378  
**From:** Alyson Hunter, Senior Planner

---

**RECOMMENDATION**

Delete 219 Bentley St. from the City's Historic Resources Inventory (HRI) due to loss of historic integrity.

**BACKGROUND**

On November 20, 2019, the City Council accepted the Final Historic Resources Inventory (HRI) Survey Update, including the recommendations for deletion, and directed the Historic Resources Committee (HRC) to begin the removal process.

This item was first heard by the HRC at its February 26, 2020, meeting. The HRC was unable to make a determination and continued it to a date uncertain. The item has been renoticed for this meeting.

**DISCUSSION**

The second-story addition overwhelms the original form and massing is obscured. Cumulative additions and alterations have resulted in the loss of historic integrity. (Page & Turnbull, 2019)

CEQA Status: Given that the subject properties are not historic resources, their removal from the Inventory does not constitute an individual nor cumulative significant negative effect on the environment. The administrative act of removing non-historic resources from the Inventory is not a "Project" per § 15378 of the California Environmental Quality Act (CEQA) Guidelines.

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**Attachments**

DPR Form for 219 Bentley St.

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State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2 \*Resource Name or #: 219 Bentley St (APN 006342008000)

**P1. Other Identifier:**

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Monterey

\*b. USGS Quad(s): Monterey, California (1997)

c. Address: 219 Bentley St, Pacific Grove, CA 93950 (APN 006342008000)

d. UTM:

e. Other Locational Data: Latitude, Longitude (Decimal Degrees) 36.6244360657777, -121.926895441514

\*P3a. Description:

- Architectural Style(s): Vernacular
- Construction Type: Wood Frame
- Number of Stories: 2
- Basement: Not Visible
- Garage: None
- Roof Type(s): Jerkinhead
- Roof Material(s): Asphalt Shingle
- Wall Material(s): Wood Bevel
- Window Type(s): Casement, Fixed
- Window Material(s): Wood
- Architectural Features: Chimney, Overhanging Eaves
- Decorative Details:
- Alterations: Incompatible Addition, Altered Form or Roofline
- Additional Remarks:

\*P3b. Resource Attributes: HP02 (Single family property)

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (isolates, etc.)

**P5a. Photo**



\*P5b. Description of Photo:

Primary façade, 8/27/2018.

\*P6. Date Constructed/Age & Sources:

- Prehistoric  Protohistoric
- Historic  Unknown

Circa 1926. Sources: Monterey County Assessor's Records.

\*P7. Owner and Address:

Strouse Warren L & Sharon L Trs  
219 Bentley St  
Pacific Grove, CA 93950

\*P8. Recorded by:

Hannah Simonson, Page & Turnbull  
170 Maiden Lane, 5th Floor  
San Francisco, CA 94108

\*P9. Date Recorded: 8/27/2018

Finalized: 10/18/2019

\*P10. Survey Type: Reconnaissance

\*P11. Citation: Page & Turnbull. "Pacific Grove Historic Resource Inventory (HRI) Survey Report." Prepared for the City of Pacific Grove, October 18, 2019 [Final Report].

\* Attachments:  None  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other:

Page 2 of 2 \*Resource Name or #: 219 Bentley St (APN 006342008000)

\*Recorded By: Hannah Simonson \*Date Recorded: 8/27/2018 Finalized: 10/18/2019

**Historic Name:**  
**Original Use:** Residential **Present Use:** Residential  
**Original Owner:** **Architect/Builder:**

**Significance**  
**Pacific Grove Historic Context Statement Theme:** Residential Development

**Period of Development:** Pacific Grove Comes of Age (1903-1926) **Period of Significance:** Not Applicable  
**Integrity:** No Historic Integrity **Level of Significance:** Not Applicable  
**Eligible for Pacific Grove HRI:** No  
**Appears Individually Eligible for National Register and/or California Register:** No  
**California Historic Resource Status Codes:** 6Z  
**Evaluation Notes:** Second-story addition overwhelms historic house. Original form and massing is obscured. Cumulative additions and alterations have resulted in the loss of historic integrity.

National/ California Register	PG Municipal Code §23.76	Significance	Discussion of Individual Eligibility
A/1	A, B	Events, Patterns & Trends	Not found to be eligible under these criteria during the course of this survey.
B/2	C	Persons	Not found to be eligible under these criteria during the course of this survey.
C/3	D, E, F, G, H, I	Architecture & Design	Not found to be eligible under these criteria during the course of this survey due to loss of historic integrity.
D/4		Information Potential	Properties were not evaluated for significance under these criteria as part of this survey.

**References:** Page & Turnbull. *City of Pacific Grove Historic Context Statement*. Prepared for City of Pacific Grove, CA.  
 Approved by City Council October 19, 2011.





**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alyson Hunter, Senior Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Historic Determination to Remove 212 4th St. from the Historic Resources Inventory  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

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**RECOMMENDATION**

Remove the property from the Historic Resources Inventory due to loss of historic significance and/or historic integrity.

Based on the Department of Recreation Form 524 prepared for the property (Page & Turnbull, Aug. 2018), the structure has lost its original historic integrity through numerous additions and other alterations, including the addition of vinyl windows.

**Attachments**

DPR Form

State of California - The Resources Agency  
 DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary # \_\_\_\_\_  
 HRI # \_\_\_\_\_  
 Trinomial \_\_\_\_\_  
 NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
 Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2 \*Resource Name or #: 212 4th St (APN 006254003000)

**P1. Other Identifier:** 212-A 4th St, 212-B 4th St

\***P2. Location:**  Not for Publication  Unrestricted \*a. **County:** Monterey

\*b. **USGS Quad(s):** Monterey, California (1997)

c. **Address:** 212 4th St, Pacific Grove, CA 93950 (APN 006254003000)

d. **UTM:**

e. **Other Locational Data:** Latitude, Longitude (Decimal Degrees) 36.6183828540543, -121.909801415372

\***P3a. Description:**

- Architectural Style(s): Craftsman
- Construction Type: Wood Frame
- Number of Stories: 2
- Basement: Yes
- Garage: Attached
- Roof Type(s): Gable
- Roof Material(s): Asphalt Shingle
- Wall Material(s): Wood Shingle
- Window Type(s): Casement
- Window Material(s): Wood, Vinyl
- Architectural Features: Chimney, Open Porch, Bay Window(s)
- Decorative Details: Brackets, Gable Trim
- Alterations: Incompatible Addition, Altered Form or Roofline, Replacement Window(s)
- Additional Remarks:

\***P3b. Resource Attributes:** HP02 (Single family property); HP04 (Ancillary building)

\***P4. Resources Present:**  Building  Structure  Object  Site  District  Element of District  Other (isolates, etc.)

**P5a. Photo**



\***P5b. Description of Photo:**

Primary façade, 8/1/2018.

\***P6. Date Constructed/Age & Sources:**

- Prehistoric  Protohistoric  
 Historic  Unknown

1920. Sources: PG HRI Database (6/19/18).

\***P7. Owner and Address:**

Zellmer Lloyd Gene & Barbara Anne Tr  
 25845 S Carmel Hills  
 Carmel, CA 93923

\***P8. Recorded by:**

Hannah Simonson, Page & Turnbull  
 170 Maiden Lane, 5th Floor  
 San Francisco, CA 94108

\***P9. Date Recorded:** 8/1/2018

Finalized: 10/18/2019

\***P10. Survey Type:** Reconnaissance

\***P11. Citation:** Page & Turnbull. "Pacific Grove Historic Resource Inventory (HRI) Survey Report." Prepared for the City of Pacific Grove, October 18, 2019 [Final Report].

\* **Attachments:**  None  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other:

Page 2 of 2 \*Resource Name or #: 212 4th St (APN 006254003000)

\*Recorded By: Hannah Simonson

\*Date Recorded: 8/1/2018 Finalized: 10/18/2019

**Historic Name:**

**Original Use:** Residential

**Present Use:** Residential

**Original Owner:**

**Architect/Builder:**

**Significance**

***Pacific Grove Historic Context Statement Theme:*** Residential Development

**Period of Development:** Pacific Grove Comes of Age (1903-1926)

**Integrity:** No Historic Integrity

**Period of Significance:** Not Applicable

**Eligible for Pacific Grove HRI:** No

**Level of Significance:** Not Applicable

**Appears Individually Eligible for National Register and/or California Register:** No

**California Historic Resource Status Codes:** 6Z

**Evaluation Notes:** Cumulative alterations, including several additions and vinyl windows, have resulted in loss of historic integrity.

National/ California Register	PG Municipal Code §23.76	Significance	Discussion of Individual Eligibility
A/1	A, B	Events, Patterns & Trends	Not found to be eligible under these criteria during the course of this survey.
B/2	C	Persons	Not found to be eligible under these criteria during the course of this survey.
C/3	D, E, F, G, H, I	Architecture & Design	Not found to be eligible under these criteria during the course of this survey due to loss of historic integrity.
D/4		Information Potential	Properties were not evaluated for significance under these criteria as part of this survey.

**References:** Page & Turnbull. *City of Pacific Grove Historic Context Statement*. Prepared for City of Pacific Grove, CA. Approved by City Council October 19, 2011.





**CITY OF PACIFIC GROVE**  
 300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alex Othon, Assistant Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** An Architectural Permit for 135 18th Street.  
**CEQA:** Categorical Exemption, CEQA Guidelines 15331, Historical Resources Restoration/Rehabilitation

**From:** Alex Othon, Assistant Planner

**RECOMMENDATION**

Staff recommends that the Historic Resources Committee approve Architectural Permit 20-0062 subject to findings, conditions of approval, and Classes 1 and 31 CEQA Categorical Exemptions.

**BACKGROUND**

**Site Description**

The subject property is 1,800 square feet in size and zoned R-3-PGR. The site is currently developed with an approximately 554 sf existing one-story residence, a 174 sf Accessory Dwelling Unit (ADU) and a 99 sf shed. City records indicate the residence was constructed in 1905. According to the provided Phase II report (Urban Programmers, November 2019), the ADU in the rear was constructed sometime around 1921. The Folk-Victorian home is included on the Historic Resources Inventory (HRI).

As described in the attached Phase II Historic Assessment (Urban Programmers, November 2019), the proposed alterations will not significantly affect the historic resource as the project will retain the home's historically significant elevations. The report concludes that the proposal is in compliance with the Secretary of the Interior's Standards for Rehabilitation and that the Class 31 CEQA exemption is appropriate.

Per the Local Coastal Program Implementation Plan Section 23.90.040 (A), this project is exempt from a Coastal Development Permit.

**Surrounding Land Uses**

The property is on the east side of 18th Street, between Union St. and Central Avenues. The property is surrounded by an eclectic mix of one- and two-story single family dwellings on small lots in the Pacific Grove Retreat.

**DISCUSSION**

## **Applicable General Plan Policies**

The Pacific Grove General Plan provides a framework for future growth and development within the City. The Land Use Element includes goals and policies that call for orderly, well-planned, and balanced development consistent with the historic nature of Pacific Grove, the capacity of the City's infrastructure, and ability to assimilate new growth. The property has a general plan designation of Residential High-Density with an allowed density of up to 19.8 dwelling units per acre.

## **Applicable Zoning Code Regulations**

General Plan goals and policies are implemented by Title 23 of the Pacific Grove Municipal Code (PGMC). Chapter 23.26 of the PGMC describes the permitted uses and development standards of the R-3-PGR zoning district. Per Section [23.26](#) of the PGMC, the intent of this chapter is to regulate uses within the single-family zoning district. The applicant has provided a Project Data Sheet indicating that the development standards of the zoning district, including building coverage, site coverage and gross floor area, have been met. The project is asking for no exceptions to the zoning code.

## **Architecture and Historic Resources**

The applicant enlisted Urban Programmers to prepare a Phase II historic assessment to address the proposed modifications. This report (attached) concluded that the impact of the proposed alterations will not cause a significant change to the historic building and will not create a significant adverse effect on the environment

The proposed changes reflect the City's Architectural Review Guidelines for Historic Buildings (Appendix 1) and Windows (Appendix IV) including, but not limited to:

- Placing the modifications on an inconspicuous side of rear elevation so that the new work does not result in a radical change to the form and character of the historic building;
- Additions and remodels should be compatible with the original historic buildings in forms, scale, and materials and not compromise the architectural integrity of the original.

In addition to the aforementioned Guidelines for Historic Buildings, the project conforms to several of the standard Guidelines which relate to general neighborhood compatibility.

**Guideline No. 27: A building should be in scale with its site.**

The proposed addition is smaller than the portion to be demolished and will not negatively impact the site or result in a building which is out of scale with its site.

**Guideline No. 28: An addition should complement and balance the overall form, mass, and composition of the existing building.**

The proposed addition is smaller than the portion of the building to be demolished and will complement the form, composition, and mass of the existing building.

**Guideline No. 31: Additions should be designed so that the pitch of the new roof matches or complements the pitch of the existing roof lines.**

The existing shed roof will be demolished and the proposed addition will be constructed with a gable roof that matches the pitch of the existing single-family residence.

**RESPECTFULLY SUBMITTED:**



**Alex Othon, Assistant Planner**

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**Attachments**

Application

135 18th St DPR Form

Phase II Report

Notice of Exemption

Plan Set

Architectural Permit 20-0062

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# CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

## Permit Application

Application # AP 20-0062

Date: 2/5/2020

Total Fees: \$4507.70

APPLICANT/OWNER:

Project Address: 135 18<sup>TH</sup> STREET APN: 006-163-013

Project Description: REBUILO REAR BATHROOM

Will the project create, add, or replace impervious surface?  Yes  No

Will the project impact any tree(s) on site?  Yes  No

### Applicant

Name: JAMES SMITH

Phone: 915-9519

Email: JAMES@JNSAIA.COM

Mailing Address: 716 WOOD HOUSE  
P.G. CA. 93950

### Owner

Name: McFarlane and McFarlane

Phone: 415-351-8406

Email: ashley@ashleygamble.com

Mailing Address: 122 17<sup>TH</sup> STREET  
Pacific Grove, CA 93950

PLANNING STAFF USE ONLY:

### Permit Request:

- CRD: Counter Determination
- AP: Architectural Permit
- AAP: Administrative AP
- ADC: Arch Design Change
- ASP: Admin Sign Permit
- SP: Sign Permit
- UP: Use Permit
- AUP: Administrative UP
- ADU: Acc. Dwelling Unit
- LLA: Lot Line Adjustment
- IHS: Initial Historic Screening
- HPP: Historic Preservation
- A: Appeal
- TPD: Tree Permit W/ Dev't
- EIR: Environmental Impact
- VAR: Variance
- MMP: Mitigation Monitoring
- Stormwater Permit
- Other: \_\_\_\_\_
- Other: \_\_\_\_\_

### CEQA Determination:

- Exempt
- Initial Study & Mitigated Negative Declaration
- Environmental Impact Report

### Review Authority:

- Staff
- ZA
- SPRC
- ARB
- DHRC
- PC
- CC
- \_\_\_\_\_

### Active Permits:

- Active Planning Permit
- Active Building Permit
- Active Code Violation Permit #: \_\_\_\_\_

### Overlay Zones:

- Butterfly Zone
- Coastal Zone
- Area of Special Biological Significance (ASBS)
- Environmentally Sensitive Habitat Area (ESHA)

### Property Information

Lot: 9 Block: 50 Tract: PG Retreat  
 ZC: R-3-OER GP: HDR Lot Size: 1,822

- Historic Resources Inventory
- Archaeologically Sensitive Area

### Staff Use Only:

Received by: AO

Assigned to: \_\_\_\_\_

RECEIVED  
 FEB 05 2020  
 CITY OF PACIFIC GROVE  
 COMMUNITY DEV DEPT

**\$ PAID**  
4,507.70  
 2-5-2020

**INDEMNIFICATION CONDITION**

In consideration for City review and approval of application in this matter, the Owner/Applicant shall indemnify, defend, protect and hold harmless the City, its elected and appointed officials, officers, agents, and employees (collectively "Indemnitees"), using counsel approved in writing by the City, from and against, any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorneys' fees and disbursements which may accrue against Indemnitees by reason of the City's processing, approval or denial of the request and application in this matter. Indemnification shall include, but shall not be limited to any action, or proceeding brought to attack, set aside, void, annul, limit, or inhibit the approval of the application referenced above, and shall expressly include causes of action under the California Environmental Quality Act (CEQA), or the National Environmental Policy Act (NEPA).

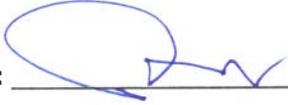
The obligation to indemnify shall include, but not be limited to, all costs relating to preparing administrative records, investigations, responses to discovery, retention of experts, and other costs, including attorney's fees or obligations related to this matter, including actions brought by the Owner/Applicant and also extend to any expense incurred in establishing the City's right to indemnification. City expenses shall be paid by Owner/Applicant upon City request notwithstanding final disposition of the matter has not yet occurred. If the City is later determined to not be entitled to indemnification, the City shall repay amounts so advanced.

This indemnification condition is the Owner/Applicant's inducement to the City to process and approve the application, which approval would otherwise be withheld by City due to its concern for liability or expense that may result from performance of the City's duties. Should any dispute arise regarding interpretation of this condition, the prevailing party shall recover all reasonable costs incurred, including court costs, attorney fees and related expenses. Recovery of expenses shall be as additional costs awarded to the prevailing party, and shall not require initiation of a separate legal proceeding.

This indemnification condition shall not require the Owner/Applicant to indemnify the City or other Indemnities: (a) to the extent that an obligation is actually paid by an insurer pursuant to an insurance policy; (b) in connection with any remuneration paid to the City, if it shall be finally adjudged that such remuneration was in violation of law; or (c) on account of the City's misconduct if such misconduct shall be finally adjudged to have been knowingly fraudulent, deliberately dishonest or willful.

Any permit or other approval given by the City to the Owner/Applicant Guarantor shall be valid only so long as this indemnification condition is given full force and effect. If this indemnification condition is revoked, the permit or other approval of the City shall then become null and void.

Owner/Applicant represents it (and any subsidiary) is (a) duly formed and organized, (b) validly existing and in good standing under state law, and (c) has all necessary power to execute and deliver this document and perform its obligations. Owner/Applicant also represents it is authorized to enter into this agreement by all requisite partnership, corporate or other action, and its terms are a valid and legally binding obligation. Neither execution nor delivery of this document nor performance of its obligations will violate any law or provision of any agreement, articles of incorporation, by-laws or other organizational or governing documents relating to Owner/Applicant, nor conflict with any court order relating to Owner/Applicant.

**Applicant Signature:** 

**Date:** 2-5-20

**Owner Signature (Required):** 

**Date:** 2.5.20



**CITY OF PACIFIC GROVE**

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cdd

Application # AP 20-0062

**Planning Permit Fee Calculation**

*HRC Review*

Permit	Select	Fee
Architectural Permit – Single Family	<input checked="" type="checkbox"/>	\$3,052
Administrative Architectural Permit	<input type="checkbox"/>	\$1,469
Architectural Design Change	<input type="checkbox"/>	\$1,469
Counter Review & Determination – no new square footage	<input type="checkbox"/>	\$212
Counter Review & Determination – new square footage	<input type="checkbox"/>	\$856
Initial Historic Screening	<input type="checkbox"/>	\$452
Sign Permit	<input type="checkbox"/>	\$2,241
Administrative Sign Permit	<input type="checkbox"/>	\$1,241
Use Permit and Amendments – Single Family	<input type="checkbox"/>	\$1,832
Major Administrative Use Permit	<input type="checkbox"/>	\$1,184
Minor Administrative Use Permit	<input type="checkbox"/>	\$1,199
Variance and Amendment	<input type="checkbox"/>	\$2,548
Administrative Variance and Amendment	<input type="checkbox"/>	\$1,425
Inquiry Fee	<input type="checkbox"/>	\$334
Historic Preservation Permit	<input type="checkbox"/>	\$1,735
Accessory Dwelling Unit Permit	<input type="checkbox"/>	\$1,783
Tree Permit with Development	<input type="checkbox"/>	\$272
Appeal	<input type="checkbox"/>	25% of base permit fee or \$1,045 whichever is greater plus noticing costs
Other	<input type="checkbox"/>	

**Additional Fees**

General Plan Update Fee	5% of Permit Fee	<input checked="" type="checkbox"/>	\$152.60
CEQA Exemption Fee	\$278	<input checked="" type="checkbox"/>	\$278
Butterfly Buffer Zone	5% of Permit Fee	<input type="checkbox"/>	
Coastal Zone	25% of Permit Fee	<input checked="" type="checkbox"/>	\$763
Area of Special Biological Significance	5% of Permit Fee	<input checked="" type="checkbox"/>	\$152.60
Environmentally Sensitive Habitat Area	15% of Permit Fee	<input type="checkbox"/>	
Noticing – Mailings	\$0.55 * (# of Mailings)	<input checked="" type="checkbox"/>	\$5.50
Noticing – Herald Ad	\$349	<input type="checkbox"/>	
Stormwater Fee	Varies	<input type="checkbox"/>	
County filing fee	Varies	<input checked="" type="checkbox"/>	\$50
File maintenance fee	Varies	<input checked="" type="checkbox"/>	\$54
Other	Varies	<input type="checkbox"/>	

**Total Fees:** \$4,507.70

**PROJECT DATA SHEET**

Project Address: 135 18th ST. Submittal Date: 2-6-20  
 Applicant(s): JAMES SMITH Permit Type(s) & No(s): \_\_\_\_\_

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District		R-1		
Building Site Area		1800 SF.		
Density (multi-family projects only)		2	2	
Building Coverage		833	833	45%
Site Coverage		833	833	46%
Gross Floor Area		734	734	
Square Footage not counted towards Gross Floor Area				
Impervious Surface Area Created and/or Replaced		—	—	
Exterior Lateral Wall Length to be demolished in feet & % of total*	_____	_____	_____ ft/ _____ %	
Exterior Lateral Wall Length to be built	_____	15		
Building Height		13'-7"	13'-7"	
Number of stories		1	1	
Front Setback		4'	4'	
<u>SOUTH</u> Side Setback (specify side)		5'	5'	
<u>NORTH</u> Side Setback (specify side)		8'	8'	
Rear Setback		15'6"	15'6"	
Garage Door Setback		NA	NA	
Covered Parking Spaces		—	—	
Uncovered Parking Spaces		—	—	
Parking Space Size (Interior measurement)	9' x 20'			
Number of Driveways	1	—	—	
Driveway Width(s)		—	—	
Back-up Distance		—	—	
Eave Projection (Into Setback)	3' maximum	2'	N/A	12' EAVES
Distances Between Eaves & Property Lines	3' minimum			
Open Porch/Deck Projections			NA	
Architectural Feature Projections				
Number & Category of Accessory Buildings				
Accessory Building Setbacks				
Distance between Buildings	15' 31'-6"	31'-6"		
Accessory Building Heights		12' 6'	12' 6'	
Fence Heights				

\*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.

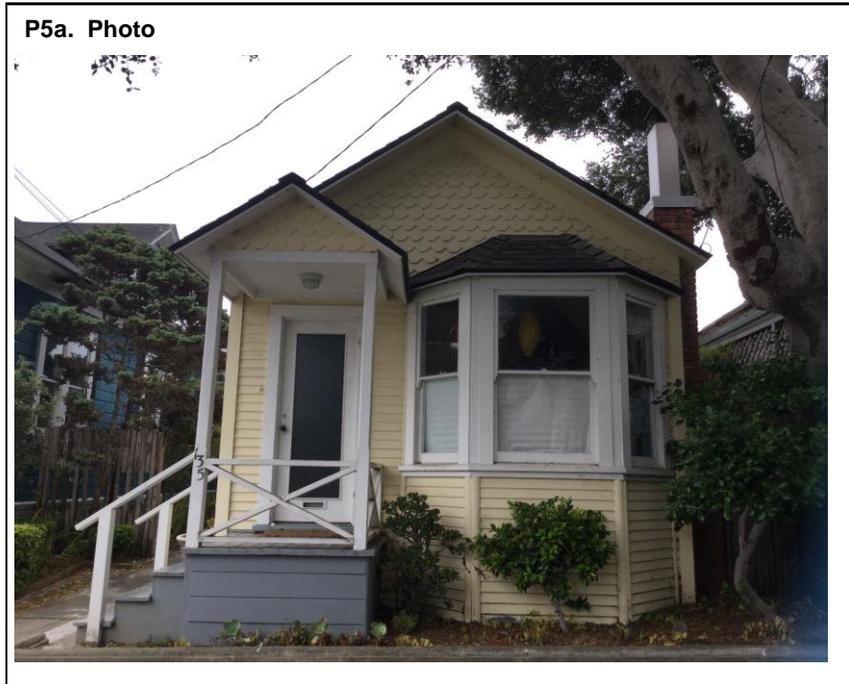
<b>State of California - The Resources Agency</b> <b>DEPARTMENT OF PARKS AND RECREATION</b> <b>PRIMARY RECORD</b>	<b>Primary #</b> _____ <b>HRI #</b> _____ <b>Trinomial</b> _____ <b>NRHP Status Code</b> <u>5S1, 3S, 3CS</u>
<b>Other Listings</b> _____ <b>Review Code</b> _____ <b>Reviewer</b> _____ <b>Date</b> _____	

Page 1 of 2 \*Resource Name or #: 135 18th St (APN 006163013000)

- P1. Other Identifier:**
- \***P2. Location:**  Not for Publication  Unrestricted \*a. **County:** Monterey
- \*b. **USGS Quad(s):** Monterey, California (1997)
- c. **Address:** 135 18th St, Pacific Grove, CA 93950 (APN 006163013000)
- d. **UTM:**
- e. **Other Locational Data:** Latitude, Longitude (Decimal Degrees) 36.623092026825, -121.918556089855
- \***P3a. Description:**

- |  |  |
|--|--|
| <ul style="list-style-type: none"> <li>- Architectural Style(s): Folk Victorian</li> <li>- Construction Type: Wood Frame</li> <li>- Number of Stories: 1</li> <li>- Basement: Not Visible</li> <li>- Garage: None</li> <li>- Roof Type(s): Gable</li> <li>- Roof Material(s): Asphalt Shingle</li> <li>- Wall Material(s): Wood Shingle, Wood Bevel</li> <li>- Window Type(s): Hung</li> <li>- Window Material(s): Wood</li> </ul> | <ul style="list-style-type: none"> <li>- Architectural Features: Chimney, Bay Window(s), Entry Portico</li> <li>- Decorative Details: Elaborated Gable End</li> <li>- Alterations:</li> <li>- Additional Remarks:</li> </ul> |
|--|--|

- \***P3b. Resource Attributes:** HP02 (Single family property); HP04 (Ancillary building)
- \***P4. Resources Present:**  Building  Structure  Object  Site  District  Element of District  Other (isolates, etc.)



- \***P5b. Description of Photo:**  
Primary façade, 8/2/2018.
- \***P6. Date Constructed/Age & Sources:**  
 Prehistoric  Protohistoric  
 Historic  Unknown  
 1907. Sources: PG HRI Database (6/19/18).
- \***P7. Owner and Address:**  
 Mc Farlane & Mc Farlane  
 PO Box 1079  
 Clovis, CA 93613
- \***P8. Recorded by:**  
 Katherine Wallace, Page & Turnbull  
 170 Maiden Lane, 5th Floor  
 San Francisco, CA 94108
- \***P9. Date Recorded:** 8/2/2018  
 Finalized: 10/18/2019
- \***P10. Survey Type:** Reconnaissance

- \***P11. Citation:** Page & Turnbull. "Pacific Grove Historic Resource Inventory (HRI) Survey Report." Prepared for the City of Pacific Grove, October 18, 2019 [Final Report].
- \* **Attachments:**  None  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other:

Page 2 of 2 \*Resource Name or #: 135 18th St (APN 006163013000)

\*Recorded By: Katherine Wallace \*Date Recorded: 8/2/2018    Finalized: 10/18/2019

**Historic Name:**  
**Original Use:** Residential **Present Use:** Residential  
**Original Owner:** **Architect/Builder:**

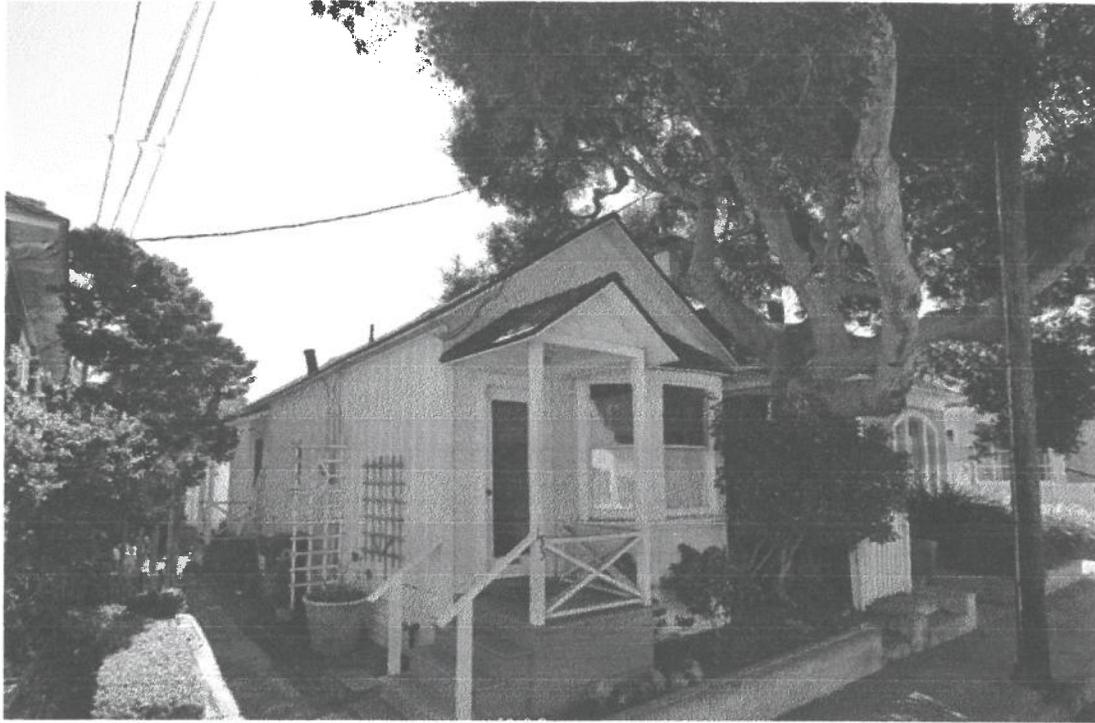
**Significance**  
**Pacific Grove Historic Context Statement Theme:** Residential Development

**Period of Development:** Pacific Grove Comes of Age (1903-1926) **Period of Significance:** 1907  
**Integrity:** Good **Level of Significance:** Local  
**Eligible for Pacific Grove HRI:** Yes **Appears Individually Eligible for National Register and/or California Register:** Yes  
**California Historic Resource Status Codes:** 5S1, 3S, 3CS  
**Evaluation Notes:**

National/ California Register	PG Municipal Code §23.76	Significance	Discussion of Individual Eligibility
A/1	A, B	Events, Patterns & Trends	Not found to be eligible under these criteria during the course of this survey.
B/2	C	Persons	Not found to be eligible under these criteria during the course of this survey.
C/3	D, E, F, G, H, I	Architecture & Design	Eligible for the Pacific Grove HRI, and appears eligible for listing on the California Register/National Register. Significant for Folk Victorian design expressed by intact stylistic features, forms and/or construction methods. Good example of type and/or style from Pacific Grove Comes of Age (1903-1926) development period and retains historic integrity.
D/4		Information Potential	Properties were not evaluated for significance under these criteria as part of this survey.

**References:** Page & Turnbull. *City of Pacific Grove Historic Context Statement*. Prepared for City of Pacific Grove, CA. Approved by City Council October 19, 2011.

**135 18<sup>th</sup> Street  
Pacific Grove, Monterey County, California  
Phase Two Assessment**



**Assessment Prepared for:** Ashley Gamble  
135 18<sup>th</sup> Street  
Pacific Grove, CA

**Assessment Prepared by:** Urban Programmers in Association with  
MBA Architects  
1176 Lincoln Avenue  
San Jose CA 95125

**Date Completed:** November 4, 2019



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## Section C. INTRODUCTION

The following provides the data set for the subject property;

**Owner:** McFarlane and McFarlane  
Po Box 1079,  
Clovis CA 93613-1079

**Applicant:** Ashley Gamble  
135 18<sup>th</sup> Street  
Pacific Grove, CA

**Proposed Project Location:** 135 18<sup>th</sup> Street, Pacific Grove  
APN: 006-163-013-000

**Description of the proposed project:** The proposed project is to rehabilitate the small house that has no foundation, has termite damage in the framing an inadequate roof structure and lacks lateral seismic resistance. In addition, the electrical and plumbing systems are deteriorated and contain modifications that are not within the Building Code tolerance. The proposed project will provide a new perimeter concrete foundation, repair or replace-in-kind the damaged framing members and provide interior plywood for sheer values. The framing of the roof will be strengthened with an interior ridge beam. The rehabilitation will include new electrical and plumbing systems. These are shown in the architectural plan set, Sheets A1-A4. The building has a chimney that was added after the original construction and has been poorly repaired with noticeable changes in the pointing and is separating from the building. It is proposed to remove the chimney and eliminate the potential fire hazards described in the Phase II report by Cypress Sweeps Chimney Service, Inspection report June 26, 2019. The proposed project does not replace the brick chimney.

### **Names and Qualifications of Professionals Completing the Assessment**

The primary assessment of the history and background of the property was conducted by Urban Programmers, Bonnie Bamberg, who has compiled assessment report, National Register of Historic Places nominations and surveys or evaluations of historic resources for over 35 years. Others in the team include Walt Nagle, legal document research. The assessment of the proposed rehabilitation of the building was conducted by Marvin Bamberg AIA, Historic Architect, with over 50 years of experience in historic preservation.

The period of the assessment was August 2019 through October 2019

**Methodology:** The methodology for historical research and fact-finding followed traditional methods of studying legal property documents, research using the Pacific Grove Historic Context Statement, various publications and interviews with the current owners. The physical assessment relied upon the set of drawings designed by James Newsom Smith and prepared by Paul Henri Carvelho, Cad Drafting and Consulting Services, dated November 7, 2019.

MBA Architects (Historic Architects NWIC) reviewed the drawings for conformance with the Secretary of the Interiors Standards for Rehabilitation, building methods and codes contained on the drawings.

**Current Historical Resource Listing** The house at 135 18<sup>th</sup> Street is listed in the Pacific Grove Historic Resource Inventory. It was recommended for retention in the inventory August 2019. The property appears eligible for listing in the NRHP, CRHR and Pacific Grove Historic Resource Inventory through the survey process ( prior to this report).

**Executive Summary:** Urban Programmers confirmed that the property was eligible for listing in the National Register of Historic Places, the California Register of Historic Resources and the Pacific Grove Historic Resource Inventory. The proposed project is to rehabilitate the small house and to continue the residential use. The architectural plans reviewed, were found to be in compliance with the Secretary of the Interior's Standards. Conversations with the architect and conversations with the architect, James N. Smith, confirmed the methods and specifications were in compliance with the Standards.

## Section D. HISTORICAL BACKGROUND

The Pacific Grove Historical Context Statement<sup>1</sup> shows the habitation by the Native Population existed in the area of Pacific Grove well before the Spanish Period. However, during the Spanish Period Research shows only a small fortification at Point Pinos.<sup>2</sup> Further understanding of events that may have occurred in the area will be tied to uncovering archeological or pre-history materials.

### **The Mexican Era 1821-1848**

This period was marked by the Mexican Revolution and the granting of large ranchos to individuals by the Mexican Governors, secularization of the Mission lands and increase in settlers from across the nation and the world. The granting of Rancho Punto de las Pinos by Mexican Governor Jose Figuera to Jose Maria Armenta, a soldier from the presidio at Monterey.

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<sup>1</sup> City of Pacific Grove Historical Context Statement, Prepared by Page & Turnbull Inc. October 31,2011

<sup>2</sup> Ibid page 31.

In 1833 the grant included 2, 667 acres, all of Pacific Grove. After his death a year later, the land was enmeshed in several transfers until 1862 when it was patented. A fishing camp was established by Chinese immigrants on the coast at Point Aulones in what became Pacific Grove. The second important war was The Mexican-American War that established Much of Alta Mexico as California with the signing of the Treaty of Guadalupe Hildago in 1848,

#### **Early American Era 1849-1872.**

California became a territory and was admitted to the union as a state in 1850. Almost immediately the Coast Survey (1852) was undertaken to chart navigation along the coast and the harbor in Monterey Bay as it was already a significant port of commerce, and for the influx of fortune seekers coming to the gold fields. To improve safety entering the harbor, Point Pinos Light House was constructed and put into operation in 1855.

The only visible evidence of this era is the Point Pinos Lighthouse (1854). With land available for private ownership, entrepreneurs were attracted to the area, establishing the early framework for the City. David Jacks was one of these who saw the potential in Pacific Grove.

With statehood came the need to perfect titles to the land originally granted by Spain or Mexico. The City of Monterey was successful in the claim presented by Delos Rodeyn Ashley. It has been reported that Ashley submitted a bill for his services that was \$991.50, a sum the City could not pay.<sup>3</sup> To settle the bill the City sold former pueblo and mission lands of approximately 30,000 acres in 1859, to David Jacks, a Scotsman, who put up barely enough to pay the attorney. This clever entrepreneur continued to acquire land, often through a loan followed by foreclosure, until he held approximately 100,000 acres including Punta de los Pinos Rancho and what became Pacific Grove. While most of the land remained grazing land for cattle, the coast was leased to Chinese fishing and shell operations. Sending dried fish or shrimp to China were large operations requiring fishermen and shore labors. A community developed around the industry that is lost except in history.

#### **Early Development of Pacific Grove 1873-1902.**

The City of Pacific Grove began as a Methodist Retreat-a campground similar to those of the east coast. In September 1874, David Jacks' offer of 100 acres for a summer campground was accepted by the 23rd California Annual Conference of the Methodist Church. A leader in the process was the Reverend A. C. McDougall who subsequently constructed a house on the land. Located at 142 Pacific Avenue, this is the oldest house in Pacific Grove. The next year articles of incorporation were filed in Monterey for the Pacific Grove Retreat Association sponsored by the Methodist Church. Within a year the land had been plotted with a 5 acre site for the Christian camp and the rest in lots to be sold or rented through a profit sharing agreement between Jacks and the Pacific Grove Retreat Association to whom the land was sold for \$1.

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<sup>3</sup> City of Pacific Grove Historical Context Statement, Prepared by Page & Turnbull Inc. October 31,2011,page 39

The first subdivision map of Pacific Grove was recorded in July 1875 showing 64 blocks with most lots 30 X 60. The central meeting space was octagonal in shape with canted streets leading into the center where sermons and preaching could be delivered to a congregation sitting on raised benches. The first meeting was held in August 1875, and lots were sold at the close of the meeting. One of the initial buyers, James A. Clayton, was not only a pillar of the First Methodist Church of San Jose but the founding owner of the leading real estate firm in that city as well as the first abstract (title company), and the First National Bank where he served as President. <sup>4</sup> When the financing plan between Pacific Grove Retreat Association and Jacks ended in foreclosure those lots already sold remained with their owners including Clayton. From the beginning Jacks provided various infrastructure and improvements to enhance the sale of lots. An ill-fated narrow-gauge railroad connected Pacific Grove to Salinas, a water delivery system and maintaining the property's system of roads and trails. A boon to the area was the Chautauqua Literary and Science Circle that brought large summer crowds to Pacific Grove after 1880, but also constructed Chautauqua Hall (State Landmark 839). At the same time Christian denominations besides the Methodists, began using the facilities for conclaves. The 1880s also saw the first museum (natural history) and performing music added to the cultural spectrum of Pacific Grove. During this busy decade the Pacific Improvement Company, an off shot of the Southern Pacific Railroad acquired land in and adjacent to Pacific Grove to develop the Hotel, Del Monte, and additional resort facilities. It was the Pacific Improvement Company that installed a water system, complete with a dam on the Carmel River and granite lined storage reservoir. They also improved streets and constructed 6 small cottages west of Grand Avenue.<sup>5</sup> In 1887, survey maps were recorded to expand the size of Pacific Grove with the First, Second and Third Additions. This extended the boundaries from First Street to 19<sup>th</sup> Street, The "City" was changing from the retreat and camp to a more urban configuration with full time residents, a fire house, school and library. Commercial businesses to support both the summer and year-round residents were located along Light House Avenue. At the end of the decade, 1889, the City of Pacific Grove was incorporated. Within the subdivisions, larger stylish homes were constructed closer to the water and the small cottages replacing the tent frames further out, the last appear along 17<sup>th</sup> and 18<sup>th</sup> Streets<sup>6</sup> (the subject property is on 18<sup>th</sup> Street).

### **Pacific Grove Comes of Age 1903-1926**

During the twenty-three years Pacific Grove experienced gradual expansion and growth in commercial development as well as residential buildings, civic buildings and infrastructure improvements.

The automobile that fueled California's passion for independent travel was a large factor in the development of the waterfront entertainment area, auto camps, and hotels. Within the residential additions lots were sold, and houses constructed, many in the then fashionable

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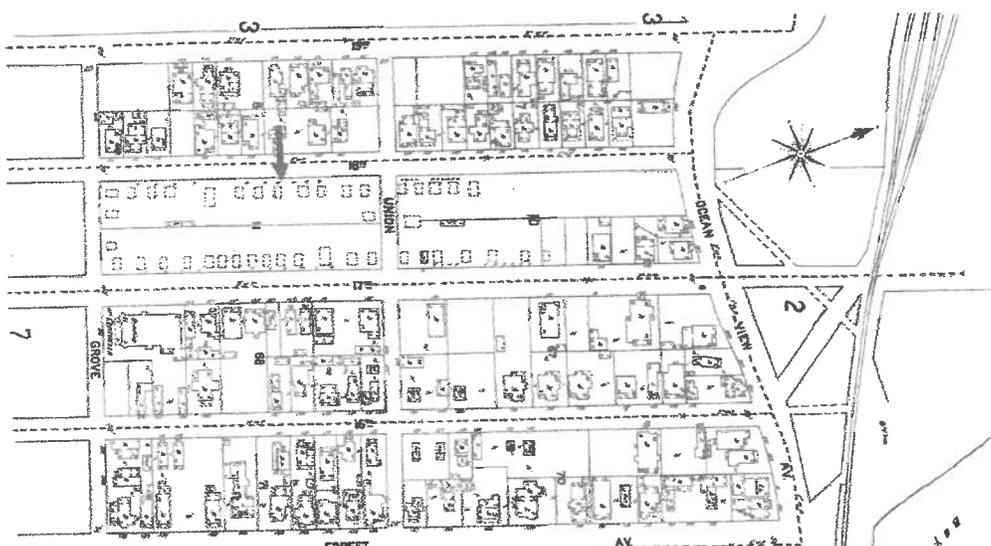
<sup>4</sup> Arbuckle, Clyde, *Clyde Arbuckle's History of San Jose*, Smith & Mckay, 1986, page

<sup>5</sup> City of Pacific Grove Historical Context Statement, Prepared by Page & Turnbull Inc. October 31, 2011, page 59

<sup>6</sup> Sanborn Map of Pacific Grove 190

Period Revival styles which became economical by the availability of stucco for cladding even the smallest wood frame house. The feeling of early California was replicated in the Mission and versions of Spanish Colonial Revival styles- styles heavily promoted by the Southern Pacific Railroad and its publication *Sunset Magazine*. The publication was sent throughout the nation to encourage growth along its rail lines in California.

At the beginning of this era the tent cabins were replaced with small wood buildings that followed essentially the form and shape of the tents. It appears that some of the tent frames were simply covered with wood siding on the outside and "beaver board" on the inside.<sup>7</sup> The use appears to have been similar to the former tent cabins as many were rented furnished or unfurnished. The *Pacific Grove Review* of February 1904 reported that in "the last year upwards of one hundred new cottages have been built in the Grove and about twenty moved and repaired."<sup>8</sup>



The Sanborn Map of Pacific Grove for 1905 (above, portion of page 4) Shows 18<sup>th</sup> Street was still was a street of tent cabins. The arrow indicated the parcel with a tent that became 135 18<sup>th</sup> Street.

### 135 18<sup>th</sup> Street, Pacific Grove

The prior history of Pacific Grove tells the story of what led to the construction of the house at 135 18<sup>th</sup> Street.<sup>9</sup> The parcel was created by the Pacific Grove Retreat in Block 50 as Lot 9. The

<sup>7</sup> Destructive testing on the house at 135 18<sup>th</sup> Street confirms this.

<sup>8</sup> City of Pacific Grove Historical Context Statement, Prepared by Page & Turnbull Inc. October 31, 2011, page 152

<sup>9</sup> Because many small houses were moved in Pacific Grove research compared the 1905 and updated to 1926 Sanborn Maps for the blocks around the subject parcel. We could not identify a prior site for this house.

use was tent cabins that persisted after the land was acquired by the Pacific Improvement Company, and until after the turn of the century. In 1906-07 the tent was strengthened to become a small house.<sup>10</sup> The house appears to have been constructed after 1905 and after the Pacific Improvement Company sold the property to Eunice Platt.<sup>11</sup>

According to a handwritten account of the history by Margaret Sprague a later owner, there was a small house, and another small building was joined to the rear creating the narrow, linear house seen today.<sup>12</sup> The owner of the property in 1908 was Eunice B. Platt. In 1834, Mrs. Platt was born Eunice Buckley Foote in Painesville, Ohio. After her marriage to Hiram Platt in Indiana, the couple moved to San Jose where Hiram was listed as a real estate agent in the 1870 and 1880 U.S. Census and in the City Directories. During his career he invested in land and in mortgages which were inherited by Eunice when he passed away after an accident in 1888.<sup>13</sup> It appears that Eunice Platt began living with her daughter Emily Alice in Pacific Grove prior to purchasing the subject property. After Emily married Clarence Haydock, Eunice continued to live with them. They lived in Pacific Grove for a while and then moved to Los Angeles, before returning to San Jose.<sup>14</sup> Eunice Platt lived to the age of 87, passing away in San Jose April 27, 1921. Records indicate the house in Pacific Grove was converted to a duplex after the family returned to San Jose by creating a unit in a small building in the rear.<sup>15</sup> The property was investment property and rented until Eunice Platt passed away.

In 1921, the property was inherited by Emily Platt Haydock. Emily and her husband and daughter moved into the house briefly in 1926, before moving to a larger house at 176 Lighthouse Ave. After a period where it was vacant, probably when it was enlarged and refurbished, it was again rented. This appears to be when the board and batt siding was added, and the addition placed on the rear. The materials and design of the front façade indicate that it is at least 20 years older and does not appear to have been altered over the years. Clarence Haydock passed away in 1938 and the property was sold to Vahe Ashton.

Dr. Ashton attended the University of California (Berkeley and San Francisco) where he earned his Doctor of Dentistry degree in 1931.<sup>16</sup> His first office was in Salinas. On September 4, 1937 he married Ann Owens and moved his home and office to 580 Munras Monterey. The 18<sup>th</sup> Street property remained an investment/ rental property. In 1952, there were simultaneous transactions; Vahe Ashton sold it to Jack and Helen Armor and in another transaction the same day it was sold to Fred and Helen Fry. The Frys held the property for a year before selling it to Harry J. Murry July 2, 1953. Harry John Murphy lived in San Francisco where he was a real

<sup>10</sup> Interior destructive testing in 2019, shows evidence of fabric within the wall. This indicates the front and sides were added to the tent structure.

<sup>11</sup> The Assessment records show an improvement in 1908 with an assessment of \$300. The note indicated the property was owned by Pacific Improvement Company prior to 1908. This conflicts with the deed to Mrs. Platt.

<sup>12</sup> Letter from Margaret Sprague-undated

<sup>13</sup> Santa Clara County Probate Records, File No 74 16225-74 16251 of the Estate of Hiram W. Platt,

<sup>14</sup> Emily A, Platt married Clarence Heydock who was from San Jose and became a Rail Road Agent.

<sup>15</sup> Remembrance of Margaret Sprague in an undated note about the property.

<sup>16</sup> U.C. California Berkeley, Blue and Gold Yearbook 1930,1931.

estate salesman. The Pacific Grove property remained an investment. In 1960, seven years later, the property was sold. Harry John Murphy passed away in San Francisco in 1974. The next owners were J. Russell and Margaret Sprague, who owned and lived in the house next door at 133 18<sup>th</sup> Avenue. John Russell Sprague, worked for Hawaiian Construction and was well known in Pacific Grove for his business ventures which included taking over his father's business of renting the glass bottom "Swan Boats" at Lovers Point in 1948. These paddle boats had been operated by his father Nathaniel Sprague for over 50 years. His father Nathaniel, in partnership with S.A. Ely and John Birks, built the Bath House (Bath House Restaurant). During the WWII years, and before moving to Pacific Grove, Margaret lived in Carmel where she was a nurse at the Carmel Hospital.<sup>17</sup> The property remained an investment during the time the Spragues owned it. At some point, Margaret Sprague wrote a note describing the house and how it was enlarged.<sup>18</sup> J. Russell Sprague passed away in 1968, and Margaret in 1985. The property passed to Effleda Sprague and Russell Fairbanks who both immediately deeded the property to Cheryl Ann Lugo, niece of Margaret and J. Russell Sprague.<sup>19</sup> McFarlane and McFarlane purchased the property in April 2010. Since then the property has been rented or vacant awaiting rehabilitation.

Pacific Grove continued to grow in population and to develop as a recreational destination with improvements to the infrastructure and to the waterfront. In creating the atmosphere of a charming small city, there have been several rehabilitations of historic buildings that include houses converted to bed and breakfast inns as well as other small hotels. The primary industry is tourism and the City has balanced the needs of tourists with those of permanent residents. The property at 135 18<sup>th</sup> Street has been witness to the growth in the City. First as a tent structure and then as a small house with a second unit in the rear. During its history the property has remained, a part of the residential stock, as rental property. The history does not show persons of significance associated with the property.

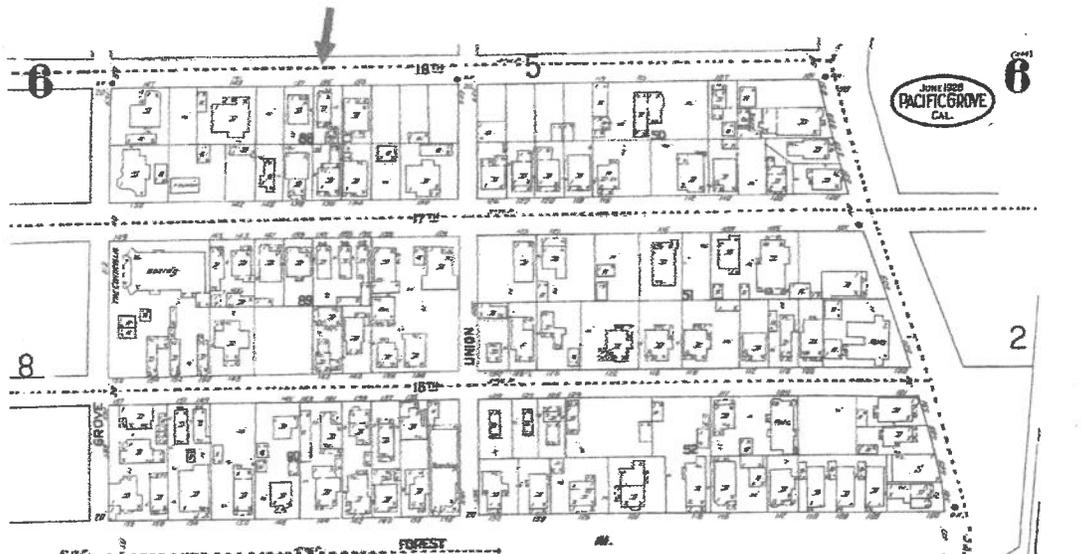
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<sup>17</sup> Monterey City Directory 1939

<sup>18</sup> A copy of the note appears in the appendix to this report

<sup>19</sup> Obituary of Charles Robert Barrett, Salinas CA, Struveandl & Laport Funeral Home.

[www.stuvendalaporite.com/obituary/charles-Robert-Barrett/Salinas CA](http://www.stuvendalaporite.com/obituary/charles-Robert-Barrett/Salinas%20CA)



The Sanborn Insurance Map 1905-1926 : (Section of page 6 ) shows the block of tent cabins on 18<sup>th</sup> street was filling in with wood frame houses some in the same form and mass as the tent cabins. The arrow points to 135 18<sup>th</sup> Street.

## Section E. DESCRIPTION OF THE PROPERTY

Located in a residential area that is completely built out, the property at 135 18<sup>th</sup> Street is a narrow parcel, 30 feet wide by 70 feet (.07 acre). The terrain is flat without features other than the single-story house of 725 square feet and a single-story ADU in the rear. The site has a walkway on the south on the side leading to the rear unit. Landscaping is minimal and confined to a very small patch in the front and in the rear. Overall the site is crowded with the buildings. The wood-frame building with a combination of beveled horizontal board in the front and board and batt siding on the sides and rear appears to have been maintained in reasonable condition and painted recently. However, rehabilitation will be necessary to construct a foundation and repair or remove the chimney. Other repairs include strengthening the side walls and roof framing to prevent further structural failure.

Constructed in a simple rectangle form, the Folk Victorian Style house has a front facade (west) that exhibits a slanted bay window with a triangle shaped shed roof and projecting porch that is covered with a pitched roof matching the style of the pitched roof of the house (front facing gables). The front porch as been rebuilt and consists of a horizontal board sided box at floor level and three wood, bull-nose stairs and a concrete pad at the bottom. The pitched porch roof is supported by square posts and a c.1950s Ranch Style cross brace is the railing for the two sides of the porch. Plain wood railings supported by square posts completes stair railing and the later construction. The face of the building exhibits horizontal beveled-board siding with fish scale shingles in the peaks of the house and porch gables. A plain frieze on the front facade transitions to a very narrow one under the eaves on the sides. Composition shingles cover the

roof and all minor roofs. The slanted bay, wood window assembly, frames and sash appear to be original and although operation is restricted by over painting, the systems are in relatively good, and repairable condition. The glass has minor ripples indicating it is decades old.

The north and south sides are relatively plain with the second entry mid-way on the northside. This entry extends into what was the driveway and has a raised porch with three steps and the same style railing as the front porch. A small shed roof covers the porch with square post supports. The entry door does not appear to be original and the porch appears to have been rebuilt. The south side façade is covered in board and batt. Two vertical double-hung windows in wood frames are spaced on this wall and a brick chimney is toward the front of the building. The chimney appears to have been extensively repaired with poor workmanship that is failing. Sections of the brick work have been pointed using incompatible grout.<sup>20</sup>

The rear (east) has a “dog-house” addition with a low shed roof. The addition has a small window on the south side. Board and bat siding cover the rear wall and shed addition. There are no windows or openings on the rear wall. This is the back of a section added to the original Folk Victorian Style house. The construction continues the pitched roof of the original building and the cut shingles in the peak. The shed addition is utilitarian and typical for enclosing space, but it does not contribute to the Folk Victorian style of the front building.

The character defining features of the building consist of the following:

- 1 Single-story wood frame, and front facade with a slanted bay.
2. Horizontal siding on the front face of the building
3. Fish-scale shingles in the peaks of the house and porch.
4. Wood frame and wood sash- hung windows in the slanted bay
5. Board and Batt wood siding on the sides of the building

**Features to be Altered or Changed:**

1. Chimney. Added c mid-1920s The chimney is not a character defining feature because it was added decades after the tent became a wood sided house. The Chimney was surveyed by Cypress Sweeps and Chimney Service and found to be failing in several areas. The proposal is to remove the chimney and close the opening through the wall with board and bat siding to match the rest of the wall.
2. Rear shed addition roof to be reformed to a gable roof- retain horizontal board in the peaks.
3. Front Porch railings to be replaced with -simple square, vertical balusters and cap rail.

All repair, painting and replacement of historic materials should follow the Preservation Briefs published by the National Park Service and available on the internet.

- Preservation Brief 9-Repair of Wood Windows,
- Preservation Brief 10- Exterior Paint Problems on Historic Wood,

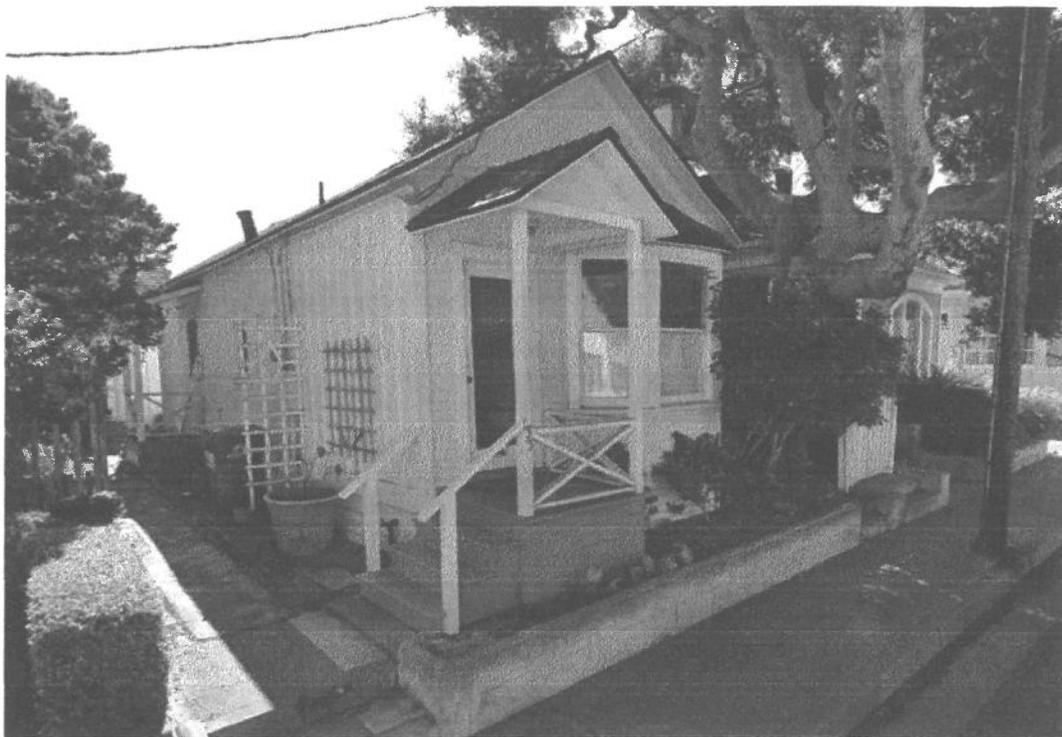
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<sup>20</sup> Reference the conditions report by Cypress Sweeps Chimney Service, June 2019

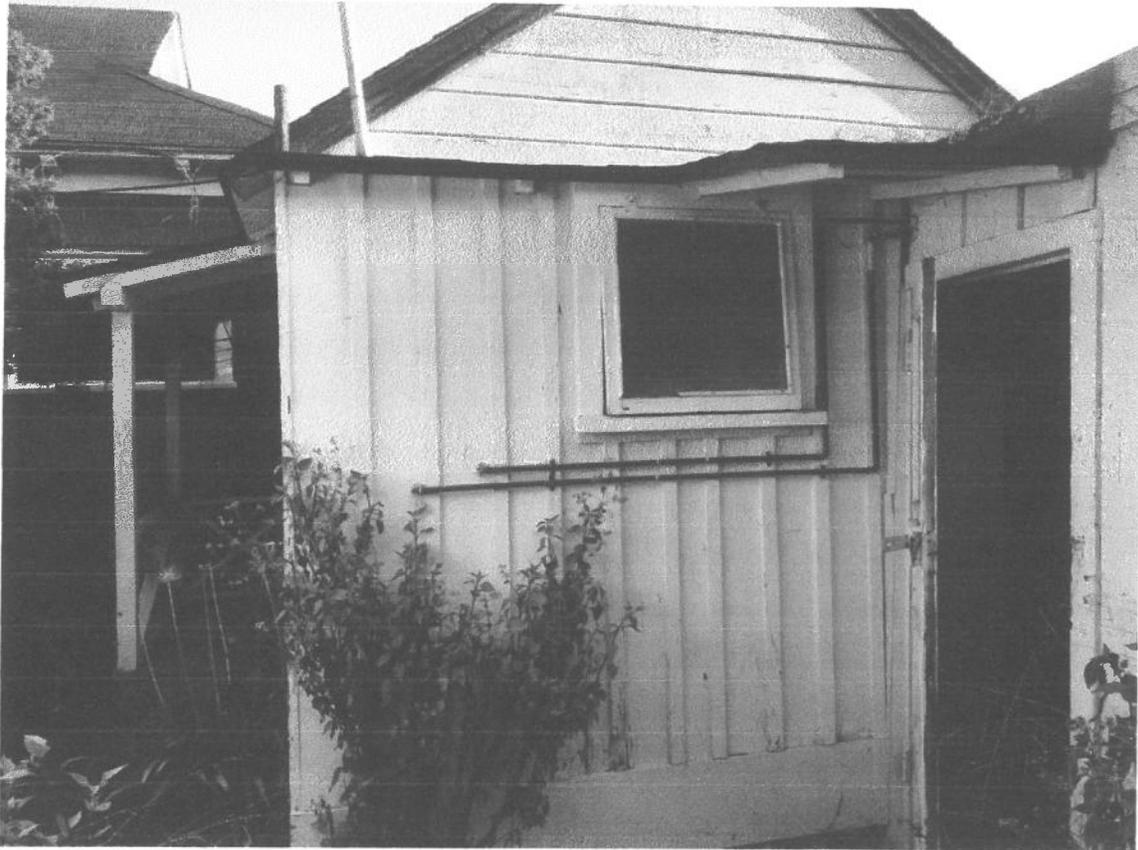
- **Preservation Brief 37- Appropriate Methods of Reducing Lead-Paint Hazards in Historic Housing,**
- **Preservation Brief 41- The Seismic Rehabilitation of Historic Buildings,**
- **Preservation Brief 45- Preserving historic Wood Porches,**
- **Preservation Brief 47 -Maintaining the Exterior of Small and Medium Size Historic Buildings.**



**Photograph 1 135 18<sup>th</sup> Street Pacific Grove  
View: Front facade**



**Photograph 2 135 18<sup>th</sup> Street Pacific Grove**  
**View: Front and side facades with the second entrance on the left.**



**Photograph 3 135 18<sup>th</sup> Street Pacific Grove  
View: Rear of the building (rear addition)**



**Photograph 4 135 18<sup>th</sup> Street Pacific Grove**  
**View: Rear and side façade showing the shed addition to the rear.**

## **Section F. EVALUATION OF SIGNIFICANCE**

### **The National Register of Historic Places:**

The "Register" is a division of the U.S. Department of the Interior, the National Park Service, Cultural Resources Division. It is responsible for maintaining a register (listing) of the Nation's historic resources including National Historic Landmarks and the National Register of Historic Places. It considers the quality of significance in American history, architecture, archeology, engineering, and culture that are present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and are evaluated for the National Register according to the following criteria:

Criterion A: that are associated with events that have made a significant contribution to the broad patterns of our history; or

Criterion B: that are associated with the lives of persons significant in our past; or

Criterion C: that embody the distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or that possesses high artistic values, or that represents a significant and distinguishable entity whose components may lack individual distinction; or

Criterion D: that have yielded, or may be likely to yield, information important in prehistory or history.

The criteria is similar to that of the California Register of Historic Resources, with the difference that the National Register has a more narrow interpretation. If a property is not eligible for listing in the California Register of Historic Resources, it is not eligible for listing in the National Register of Historic Places.

**Criterion A** The property is one of the remaining buildings associated with the early tent neighborhoods that were developed to attract and house the summer conclave members. This contributed to the broad local pattern that led to the founding of Pacific Grove. The property is part of a large subdivision of land that was originally owned by Pacific Grove Retreat Inc. and used for tent cabins. The land was transferred to the Pacific Grove Improvement Company with the same use. It was sold to Eunice Platt in 1905 and the tent structure modified to a small house in 1906-07. The property continued a similar use, vacation rental or year-round rental housing ever since. The broad pattern of residential development in Pacific Grove is significant for the subject property.

**Criterion B** . The property at 135 18th Street was not found to have a significant association with persons important in local, California or national history. The property has been, vacation rental or year short term round rental housing. No person of importance in local, state or national history is associated with the property.

**Criterion C.** The building exhibits Folk Victorian architectural style from the turn of the century when it was modified from a tent structure. The original house was a fine example of the style. Located in Pacific Grove the building communicates the history by the narrow, yet detailed front façade describing the vacation or part-time nature in a community with an artistic culture. The Folk Victorian style is a vernacular execution using the popular elements from the Queen Anne Style; mixed materials, decoration in the peak of the pitched roof and a slanted bay. The building is economical in the design and use of materials while providing an excellent example of the style. The porches have been replaced with railings from a later period, detracting a little from the style. However, it would be easy and inexpensive to provide a balustrade and rail of appropriate design. The addition to the rear of the house has not diminished the style, although it changed the size of the building and likely added board and batton siding. The building is not the work of a master, nor does it possess high artistic values. It is the vernacular Folk Victorian design that embodies distinctive characteristics of the vacation rental houses of the early nineteenth century that were scaled like the tent cabin predecessor and at one time prolific in the Monterey Bay and Pacific Grove region. With few areas where

there is a concentration of the style this building is an important example of the historic style within the setting of the block between Central Avenue and Ocean View. The block of 18th Street contains several houses with late Nineteenth Century and early twentieth century styles that provide a compatible setting and may be considered as a historic district .

Criterion D. The excavation and construction of the house, garage, driveway, and retaining walls have removed the native soil from most of the property. It is unlikely that the property would yield significant information in prehistory. The building may provide information of the materials and methods of construction in the first decade of the twentieth century. It is unlikely this would be of significance because the methods are already well known.

**Conclusion:** The house at 135 18th Street appears eligible for listing individually in the National Register of Historic Places, under criterion A & C, and would also be a contributing building in a historic district of late nineteenth-early twentieth century residential architecture developed at the end of the Early Development in Pacific Grove 1873-1902 and beginning of Pacific Grove Comes of Age 1903-1926

### **California Register of Historic Resources**

The State Historical Resources Commission has designed this program for use by state and local agencies, private groups and citizens to identify, evaluate, register and protect California's historical resources. The Register is the authoritative guide to the state's significant historical and archeological resources.

The California Register program encourages public recognition and protection of resources of architectural, historical, archeological and cultural significance, identifies historical resources for state and local planning purposes, determines eligibility for state historic preservation grant funding and affords certain protections under the California Environmental Quality Act. <sup>21</sup>

#### Criteria for Designation:

Criterion 1 Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States.

Criterion 2 Associated with the lives of persons important to local, California or national history.

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<sup>21</sup> California Office of Historic Preservation, Technical Assistant Series No. 7, How to Nominate a Resource to the California Register of Historic Resources (Sacramento, CA: California Office of State Publishing, 4 September 2001)

Criterion 3 Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values.

Criterion 4 Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation.

To be eligible for listing in the California Register of Historic Resources must retain sufficient integrity to communicate the reason for its significance.

**The historical documentation and description of the property at 135 18th Street are the basis for the following consideration of each of the criteria for designation to the California Register of Historic Resources. The period of significance is within the era, "Pacific Grove Comes of Age 1903-1926, and the theme is Residential Architecture.**

**Criterion 1. The property is directly associated with the Pacific Grove Retreat ownership and the part-time residential development in Pacific Grove, a significant event that has contributed to the broad patterns of local history. The property is part of a large subdivision of land that was originally owned by Pacific Grove Retreat Inc. and used for tent cabins. The land was transferred to the Pacific Grove Improvement Company with the same use. It was sold to Eunice Platt in 1905 when the tent structure was made into a small house c. 1906-07. The property continued a similar use, rental housing ever since. No association with the Pacific Grove Retreat and the tent area contributes in an important way to the history of Pacific Grove.**

**Criterion 2. The property at 135 18th Street was not found to have a significant association with persons important in local, California or national history. The property has been, vacation rental or year short term round rental housing. No person of importance in local, state or national history is associated with the property.**

**Criterion 3. The building exhibits Folk Victorian architectural style from the turn of the century. The original house was a fine example of the style. Located in Pacific Grove the building communicates the history by the narrow, yet detailed front façade describing the vacation or part-time nature in a community with an artistic culture. The Folk Victorian style is a vernacular execution using the popular elements from the Queen Anne Style; mixed materials, decoration in the peak of the pitched roof and a slanted bay. The building is economical in the design and use of materials while providing an excellent example of the style. The porches have been replaced with railings from a later period, detracting a little from the style. However, it would be easy and inexpensive to provide a balustrade and rail of appropriate design. The addition to the rear of the house has not diminished the style, although it changed the size of the building and likely added board and batton siding. The building is not the work of a master, nor does it posse high artistic values. It is the vernacular Folk Victorian design that embodies distinctive characteristics of the vacation rental houses of the early nineteen hundreds that were scaled like the tent cabin predecessor and at one time**

prolific in the Monterey Bay and Pacific Grove region. With few of the style this building is an important example of the historic style. The block of 18<sup>th</sup> Street also contains several houses with Folk Victorian styles that provide a compatible setting.

Criterion 4. The excavation and construction of the house, garage, driveway, and retaining walls have removed the native soil from most of the property. It is unlikely that the property would yield significant information in prehistory. The building may provide information of the materials and methods of construction in the first decade of the twentieth century. It is unlikely this would be of significance because the methods are already well known.

**Conclusion:** The property at 135 18th Street meets criteria 1 & 3 and is eligible for listing in the California Register of Historic Resources, individually and/or as a contributing element in a historic district.

**Pacific Grove Zoning Chapter 23; Section 23.76.025 Evaluation criteria.**



The following shall be utilized as criteria as required in this chapter.

(a) Whether the structure has significant character, interest or value as part of the development, heritage or cultural characteristics of the city of Pacific Grove, the state of California, or the United States;

The house is a Folk Victorian style with significant character and value in depicting the development and architectural heritage of Pacific Grove. The property was an investment property following the historic uses of tent cabins it was rental property

(b) Whether it is the site of a significant historic event;

Research did not uncover an individual historical event associated with the property.

(c) Whether it is strongly identified with a person who, or an organization which, significantly contributed to the culture, history or development of the city of Pacific Grove;

The house is not strongly identified with a person who significantly contributed to the culture, history or development of the city of Pacific Grove. Most of the owners identified with the property were investors and did not occupy the property.

(d) Whether it is a particularly good example of a period or style;

The house is a fine example of Folk Victorian, a vernacular design likely constructed by a carpenter/builder for the owner Eunice Platt and is a particularly good example of the style. Alterations to the porches and the rear addition have slightly diminished the design of the original small building.

(e) Whether it is one of the few remaining examples in the city of Pacific Grove possessing distinguishing characteristics of an architectural type or specimen;

**There are many iterations of the Folk Victorian style in Pacific Grove. The 100 Block of 18th Street has sufficient examples and integrity (visual survey) for a historic district to which the house at 135 18th Street would be a strong contributor. The transformation from a tent structure to a small house may make it one of the few remaining such buildings.**

(f) Whether it is a notable work of an architect or master builder whose individual work has significantly influenced the development of the city of Pacific Grove;

**The house was not designed by a notable architect. Most likely, a carpenter/builder designed and constructed the house.**

(g) Whether it embodies elements of architectural design, detail, materials or craftsmanship that represent a significant architectural innovation;

**The house is wood frame construction that covered the tent structure. While not innovative it does show the progression of residential development in Pacific Grove and the City came of Age.**

(h) Whether it has a unique location or singular physical characteristics representing an established and familiar visual feature of a neighborhood, community, or of the city of Pacific Grove;

**The subject house is set amid a block of buildings from the same era and together they exhibit physical characteristics that are familiar in Pacific Grove. AS one of the last blocks of tents that was transformed to small houses the block is a feature in the neighborhood where many of the properties were part of the tent city.**

(i) Whether a resource with historical or cultural significance retains historic integrity.

**The building retains integrity of the front façade, the primary design element of the building. Hidden in the side walls and roof are remnants of the tent structure.**

(j) Whether it contributes to the architectural aesthetics and continuity of the street;

**The house is a strong contributor to the architectural aesthetics and turn of the century architectural continuity of 18th street.**

(k) Whether it is located within a geographically definable area possessing a concentration of historic properties which visually contribute to each other and are unified aesthetically. [Ord. 01-25 § 1, 2001; Ord. 97-23 § 1, 1997].

**The 100 block of 18th Street was determined by visual survey to be a concentration of residential buildings- houses – that is a definable area possessing concentration of historic properties representing turn of the century residential development and architectural styles.**

**Conclusion:** When compared to the criteria contained in the Pacific Grove Municipal Code Section 23.76.025 the house at 135 18th Street is described by the criteria A, D, E, H ,I, J and K. . The house at 135 18th Street qualifies as a historic resource in Pacific Grove.<sup>22</sup>

**Integrity:** To be eligible for listing in the NRHP,CRHR or the Pacific Grove Historic Resources Inventory a resource must retain integrity. Integrity is defined by California Office of Historic Preservation as “the authenticity of an historic resource’s physical identity evidenced by the survival of characteristics that existed during the resource’s period of significance.”<sup>23</sup> The National Park Service states that “the evaluation of integrity is sometimes a subjective judgment, but it must always be grounded in an understanding of a property’s physical features and how they relate to its significance.”<sup>24</sup> The process of determining integrity is nearly identical for both the National Register and the California Register. Each uses the same seven variables or aspects that define integrity: location, design, setting, materials, workmanship, feeling and association. However, the National Park Services also includes “historic Character.” The National Park Service defines character as “all those visual aspects and physical features that comprise the appearance of every historic building.”<sup>25</sup> According to the National Register Bulletin: How to Apply the National Register Criteria for Evaluation, these seven characteristics are defined as follows:

- Location is the place where the historic property was constructed or the place where the historic event occurred. The original location of a property, complemented by its setting, is required to express the property’s integrity of location.
- Design is the combination of elements that create the form, plans, space, structure and style of the property. Features which must be in place to express a property’s
- Setting addresses the physical environment of the historic property inclusive of the landscape and spatial relationships of the building(s). Features which must

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<sup>22</sup> Confirms the conclusion of the Page & Turnbull, HRI Update 2019

<sup>23</sup> California Office of Historic Preservation, Technical Assistant Series No. 7, How to Nominate a Resource to the California Register of Historic Resources (Sacramento, CA: California Office of State Publishing, 4 September 2001) p.11

<sup>24</sup> U.S. Department of the Interior, National Park Service. National Register Bulletin: How to Apply the National Register Criteria for Evaluation (rev, 2002).

<sup>25</sup> National Park Service, Technical Preservation Services. Preservation Brief 17: Architectural Character. (US Department of the Interior. Washington D.C.: 1988).

be in place to express a property's integrity of setting are its location, relationship to the street, and intact surroundings (i.e. neighborhood or rural).

- Materials refer to the physical elements that were combined or deposited during a particular period of time and in a particular pattern of configuration to form the historic property. Features which must be in place to express a property's integrity of materials are its construction method and architectural details.
- Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history. Features which must be in place to express a property's integrity of workmanship are its construction method and architectural details.
- Feeling is the property's expression of the aesthetic or historic sense of a particular period of time. Features which must be in place to express a property's integrity of feeling are its overall design quality, which may include form, massing, architectural style, architectural details, and surroundings.
- Association is the direct link between an important historic event or person and a historic property. Features which must be in place to express a property's integrity of association are its use and its overall design quality.

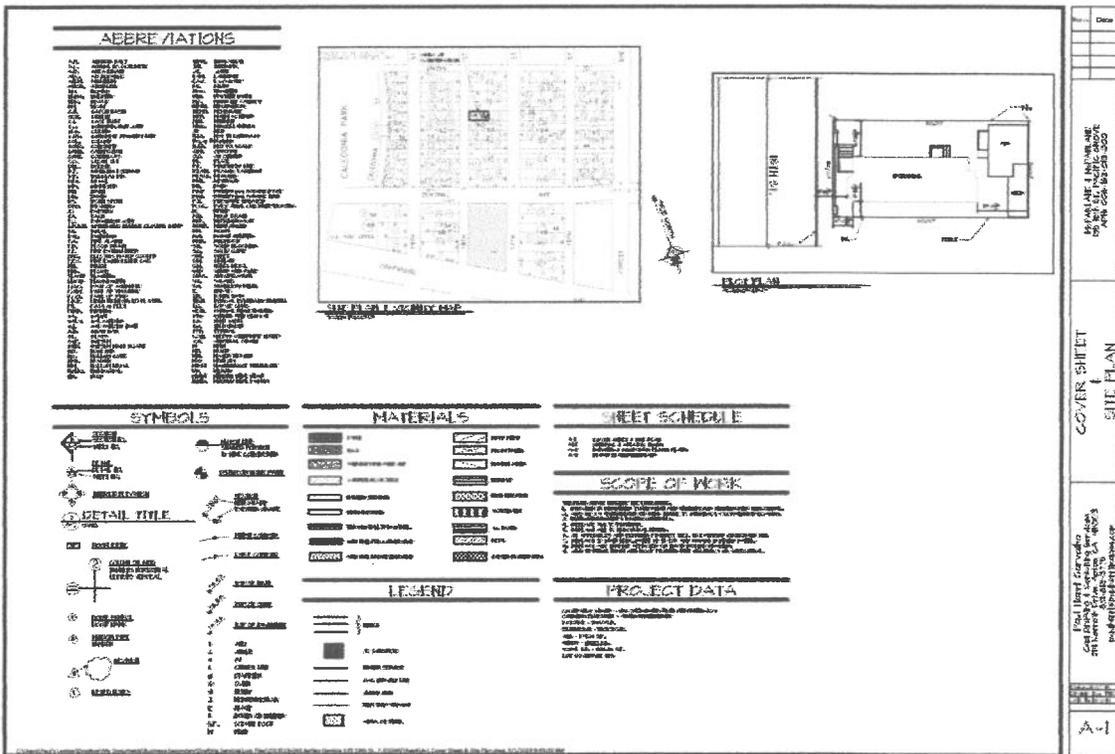
**Conclusion: The house at 135 18th Street retains the original design characteristics of a Victorian Folk architectural style as seen in the narrow building with a slanted bay, pitched roof, and the mix of materials, horizontal board siding, fish-scale shingles and trim around the windows. The building is set within a compatible neighborhood where the houses are of the same era contributing to the integrity of setting and feeling. Research based upon interior destructive testing determined the building was constructed on the property enclosing a tent structure. The Tent structure does not retain integrity and is part of the historical changes to the property.**

## **G. IMPACTS OF THE PROPOSED REHABILITATION PROJECT**

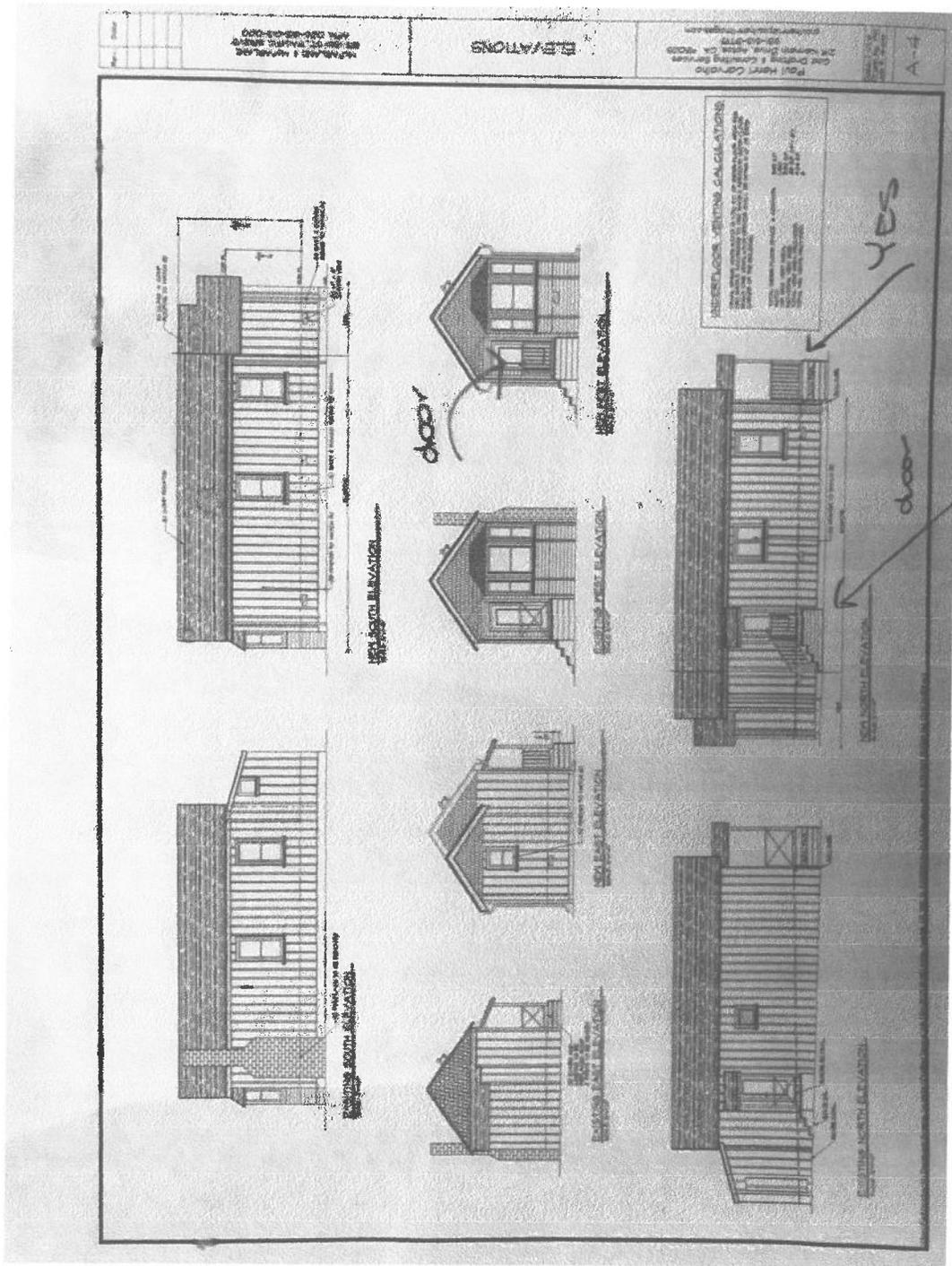
The review is of the proposed rehabilitation shown in the design and structural rehabilitation plans of architect James N. Smith and transcribed to drawings by Paul Henri Cavalho, Cad Drafting and Consulting Services, 291 Kenneth Drive Aptos CA.

The major aspects of the rehabilitation are to

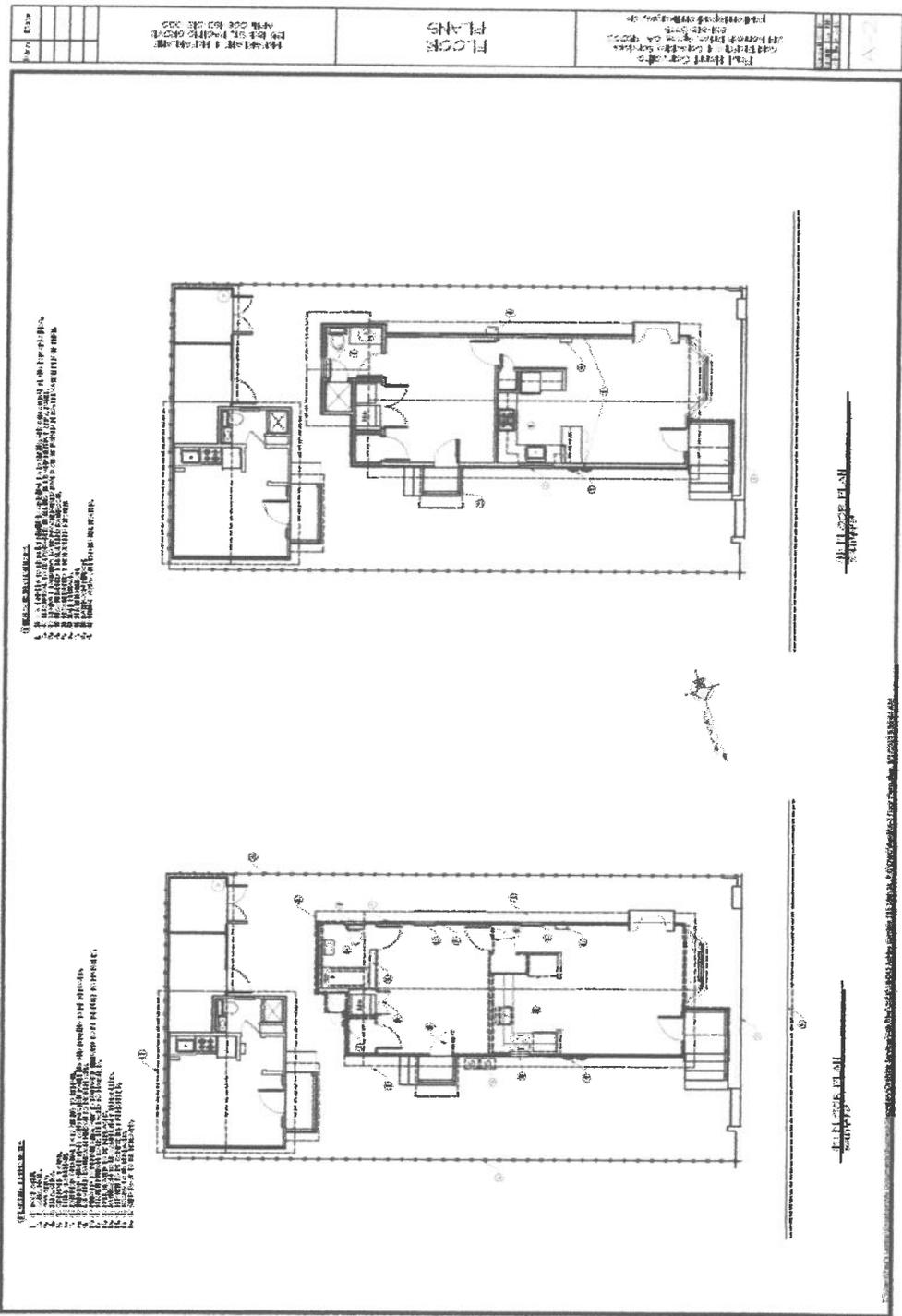
1. proposal is to provide a concrete perimeter foundation for the building.
2. Remove non-significant addition and construct a new addition to the rear of the building
3. Remove and replace the electrical and plumbing systems in the building.
4. Repair the deterioration on the front facade
5. Replace the deteriorated siding with the same material and style, wood board and batt siding.
6. Remove a non-original chimney (no replacement)



Architectural Figure 1 135 18<sup>th</sup> Street Pacific Grove  
Architectural Sheet A.1



Architectural Figure 2 135 18<sup>th</sup> Street Pacific Grove  
Architectural Sheet A.4 Showing the existing exterior and the proposed exterior



Architectural Figure 3 135 18<sup>th</sup> Street Pacific Grove  
 Architectural Sheet A.3 Showing the existing interior floor plan and the proposed floor plan

## Section I. Mitigation: The Secretary of the Interior's Standards.

The proposed rehabilitation of a building listed in the Pacific Grove Historic Resource Inventory and that was found through the Survey Process to be eligible for listing in the National Register of Historic Places and the California Register of Historic Resources creates a potential for adverse changes to the environment under the California Environment Quality Act (CEQA).

Generally, a project that complies with the Secretary of the Interior's Standards for the Treatment of Historic Property is considered to have mitigated the changes to less than significant.

The Secretary of the Interior's Standards for the Treatment of Historic Properties were initially created to address projects listed in the National Register whose owners sought Investment Tax Credits or where the property were in federal ownership or impacted by a federally involved project. The "Standards" include four levels of treatment; Stabilization (maintaining the condition of a property until the plans are approved), Restoration (returning a property to its condition during the period of significance using tools, methods and materials of the original), Rehabilitation (returning a property to a useful condition while maintaining the features of its significance) and Reconstruction (when a property is destroyed or beyond rehabilitation and the loss impacts other properties or the understanding of history).

The intent of the Standards is to assist the long-term preservation of a property's significance through the preservation of historic materials and features. The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and interior of the buildings. They also encompass related landscape features and the building's site and environment, as well as attached, adjacent, or related new construction. To be certified for Federal tax purposes, a rehabilitation project must be determined by the Secretary to be consistent with the historic character of the structure(s), and where applicable, the district in which it is located.

**The Standards for Rehabilitation** (codified in 36 CFR 67 address the most prevalent treatment. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values."

As stated in the definition, the treatment "rehabilitation" assumes that at least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features or finishes that are important in defining the building's historic character. For example, certain treatments--if improperly applied--may cause or accelerate physical deterioration of the historic building. This can include using improper repointing or exterior masonry cleaning techniques, or introducing insulation that damages historic fabric. In almost all of these situations, use of these materials and treatments will result in a project that does

not meet the Standards. Similarly, exterior additions that duplicate the form, material, and detailing of the structure to the extent that they compromise the historic character of the structure will fail to meet the Standards.

The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

**At the time of this review, specifications for materials to be used in cleaning the building or in specific repairs were not available. Where necessary the review gives specific direction.**

**1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**

**The house at 135 18<sup>th</sup> Street has always been a residence; the proposed rehabilitation will continue that use.**

**2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.**

**The proposed rehabilitation will retain historic materials and existing spaces on the exterior that characterize the property.**

**1. The exterior front façade will be cleaned in a gentle manner to remove dirt and where necessary over painting. The process will not use sandblasting or high-pressure water.**

**2. The building will be lifted following the standards for raising historic wood frame buildings and a concrete perimeter foundation created under the building and following the footprint of the existing building. The shed attachment in the rear has not gained historical significance and may be removed. Similarly, the chimney will need to be removed to lift the building. The chimney will not be reconstructed. The conditions are described in the Chimney Survey mentioned earlier in the report. The building will be lowered and attached to the new foundation.**

**3. Consider energy conservation methods such as A moisture barrier on exposed dirt in a crawlspace is strongly recommended to prevent ground moisture from entering the building envelope. Whenever feasible, pouring a concrete slab over a moisture barrier in crawlspaces or basements with exposed dirt floors should be considered. (National Park Service Preservation Brief #3**

**4. The exterior siding on the sides of the house is deteriorating and not of special historical significance. The siding may be replaced with vertical board or vertical board and batt siding. Wood frame windows in good repair should be retained and reused. If**

windows on the sides can not be repaired they must be replaced with windows of the same materials in the same style (vinyl clad or metal frames are not acceptable).

5. If insulation is to be inserted in the wall cavity, follow the direction in Preservation Brief # 3 Improving Energy Efficiency in Historic Buildings. The wall and ceiling conditions will dictate the best materials for insulating the small house.

6 Repair to the structural system shall be done from the inside. Retain where possible the sections of the tent structure and materials. Cover any historic materials with new dry-wall and note the locations.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The proposed rehabilitation does not include changes that create a false sense of historical development. The only new construction is the rear facade where non-significant shed is to be removed and a new section with a gable roof will be added. The use of cut shingles and siding is compatible, following the older materials, but does not mimic the front of the house.

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

The front facade is the primary significant section of the exterior. On the front the cross-brace porch railings are not significant features and detract from the design of the facade. Changes that added shed roofs, chimney and "doghouse" additions are not significant to the original tent shape and mass of the structure and early small house.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

It appears the house was created from a platform tent. To the extent practical, remnants of the early construction that can be encapsulated in the wall sections should be retained. These areas should be marked on the permit set of plans.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Repair as required using the same materials and copying the design for any deterioration on the front façade.

The strengthening of the roof structure with a new ridge beam will be done retaining as much of the original structure as possible.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Harsh chemicals or high-pressure water or air cleaning shall not be undertaken.

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

It is unlikely significant archeological material will be uncovered. If such material is found in the shallow excavation for the foundation, work must stop and protocols adopted by the City of Pacific Grove and the State of California must be followed.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

An addition is proposed for rear of the building where a non-significant shed addition will be removed. This addition will be constructed of wood, a compatible material and will have a gable roof, a compatible design. The addition does not mimic the front design of slanted bay, or beveled horizontal siding.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed addition is attached to the rear addition to the historic part of the building. The rear is not the significant section and if the proposed addition were to be removed the repair of the wood stud wall could be done without further damage to the structure of the original section of the building.

#### **The California Environmental Quality Act (CEQA) and Historic Properties**

The California Environmental Quality Act (CEQA) Guidelines Section 15064.5 states; "Generally, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1995 as amended) shall be considered as mitigated to a level of less than a significant impact on the historical resource.

**Appendix - Documents not included in the text of the report:**

**Exhibit A. Sources Consulted**

**Exhibit B. DPR 523 A & B dated**

**Exhibit c. Handwritten notes from Margaret Sprague**

**Exhibit A Sources Consulted:**

Deed from Lugo Family Trust to McFarlane and McFarlane # 22603, April 23, 2010

Deed from Cheryl A. Lugo to Lugo Family Trust, # 80904 December 17, 2009

Deed from Russell Fairbanks to Cheryl Ann Lugo recorded 12/18/1985 Book 1910 Official Records, page 275.

Deed from Eflida Spague to Cheryl Ann Lugo recorded 12/18/1985 in Book 1910 Official Records page 274.

Decree out of the Estate a of Margareth E. Sprague aka Margareth Elizabeth Sprague, deceased, to Eflida Sprague and Russell Fairbanks recorded 12/18/1985 in Book 1910 Official Records page 269.

Decree Terminating Joint Tenant interest of John Russell. Sprague recorded 9/13/1968 in Book 573 Official Records page 38.

Deed from Harry J. Murray (Mary D.). To J. Russell. Sprague and Margareth E. Sprague recorded 6/2/1960 in Book 2956 Official Records page 587.

Deed from Fred X. Fry and Helen M. Fry to Harry J. Murray recorded 7/2/1953 in Book 1459 Official Records page 120.

Deed from Jack Amor and Helen D. Amor to Fred X. Fry and Helen M. Fry recorded 2/4/1952 in Book 1357 Official Records page 425.

Deed from Vahe A. Ashton and Ann Ashton. To Jack Amor and Helen D. Amor recorded 2/4/1952 in Book 1357 Official Records page 424.

**Other sources:**

Arbuckle, Clyde, Clyde Arbuckle's History of San Jose, Smith McKay, 1984

California Office of Historic Preservation, Technical Assistant Series No. 7, How to Nominate a Resource to the California Register of Historic Resources (Sacramento, CA: California Office of State Publishing, 4 September 2001)

California State Library; Sacramento, California; *Great Register of Voters, 1900-1968-Pacific Grove roll 001*

City of Pacific Grove, Historic Context Statement, October 31, 2011 (Page & Turnbull)

Cypress Sweep and Chimney Service. Conditions Survey, 2019

Monterey City Directory 1935-1950

Monterey County Assessment Rolls 1905-

Pacific Grove, City Directories, multiple years

Sanborn Insurance Publishing Company Map, Pacific Grove 1905, 1902-1926

Sprague, Margaret, Undated note

Struveandl & Laport Funeral Home, Obituary of Charles Robert Barrett, Salinas CA,  
[www.stuvendalaporte .com>obituary>charles-Robert-Barrett>Salinas CA](http://www.stuvendalaporte.com/obituary/charles-Robert-Barrett-Salinas-CA)

United States Census Records, online through Ancestry.com

United States Department of the Interior, National Park Service, Cultural Resources, National Register Bulletin, How to apply the National Register Criteria for Evaluation, 1995

United States Department of the Interior, National Park Service, Cultural Resources, Secretary of the Interiors Standards for the Treatment of Historic Property.

Exhibit B

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary# \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 5S1, 3S, 3CS

Other Listings  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2 \*Resource Name or #: 135 18th St (APN 006163013000)

**P1. Other Identifier:**

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Monterey

\*b. USGS Quad(s): Monterey, California (1997)

c. Address: 135 18th St, Pacific Grove, CA 93950 (APN 006163013000)

d. UTM:

e. Other Locational Data: Latitude, Longitude (Decimal Degrees) 36.623092026825, -121.918556089855

**\*P3a. Description:**

- Architectural Style(s): Folk Victorian
- Construction Type: Wood Frame
- Number of Stories: 1
- Basement: Not Visible
- Garage: None
- Roof Type(s): Gable
- Roof Material(s): Asphalt Shingle
- Wall Material(s): Wood Shingle, Wood Bevel
- Window Type(s): Hung
- Window Material(s): Wood
- Architectural Features: Chimney, Bay Window(s), Entry Portico
- Decorative Details: Elaborated Gable End
- Alterations:
- Additional Remarks:

\*P3b. Resource Attributes: HP02 (Single family property); HP04 (Ancillary building)

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (isolates, etc.)

**P5a. Photo**



**\*P5b. Description of Photo:**

Primary façade, 8/2/2018.

**\*P6. Date Constructed/Age & Sources:**

- Prehistoric  Protohistoric  
 Historic  Unknown

1907. Sources: PG HRI Database (6/19/18).

**\*P7. Owner and Address:**

Mc Farlane & Mc Farlane  
PO Box 1079  
Clovis, CA 93613

**\*P8. Recorded by:**

Katherine Wallace, Page & Turnbull  
417 Montgomery Street, 8th Floor  
San Francisco, CA 94104

\*P9. Date Recorded: 8/2/2018

\*P10. Survey Type: Reconnaissance

\*P11. Citation: Page & Turnbull. Pacific Grove Historic Resource Inventory (HRI) Survey Report. Prepared for the City of Pacific Grove, February 19, 2019 [PUBLIC REVIEW DRAFT].

\*Attachments:  None  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other:

State of California - The Resources Agency  
 DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
 HRI # \_\_\_\_\_  
 Trinomial \_\_\_\_\_

Page 2 of 2 \*Resource Name or #: 135 18th St (APN 006163013000)

\*Recorded By: Katherine Wallace

\*Date: 8/2/2018

Historic Name:

Original Use: Residential

Present Use: Residential

Original Owner:

Architect/Builder:

**Significance**

**Pacific Grove Historic Context Statement Theme:** Residential Development

Period of Development: Pacific Grove Comes of Age (1903-1926)

Integrity: Good

Period of Significance: 1907

Eligible for Pacific Grove HRI Yes

Appears Individually Eligible for National Register/California Register: Yes

Level of Significance: Local

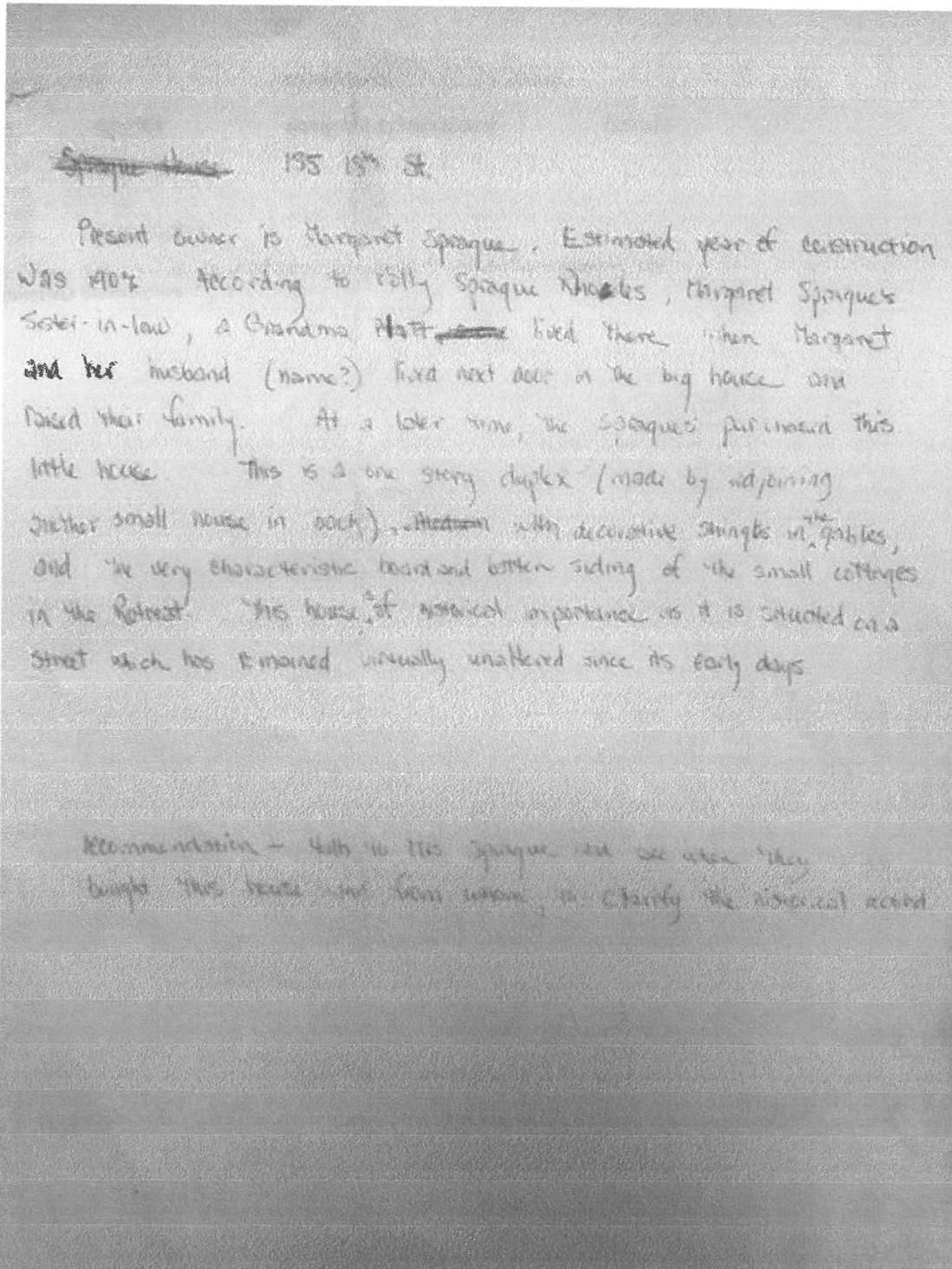
California Historic Resource Status Codes: 5S1, 3S, 3CS

Evaluation Notes:

National/ California Register	PG Municipal Code §23.76	Significance	Discussion
A/1	A, B	Events, Patterns & Trends	Not found to be eligible under these criteria during the course of this survey.
B/2	C	Persons	Not found to be eligible under these criteria during the course of this survey.
C/3	D, E, F, G, H, I	Architecture & Design	Eligible for Pacific Grove HRI, and appears eligible for listing on the California Register/National Register. Significant for Folk Victorian design expressed by intact stylistic features, forms and/or construction methods. Good example of type and/or style from Pacific Grove Comes of Age (1903-1926) development period and retains historic integrity.
D/4		Information Potential	Properties were not evaluated for significance under these criteria as part of this survey.

References: Page & Turnbull. *City of Pacific Grove Historic Context Statement*. Prepared for City of Pacific Grove, CA. Approved by City Council October 19, 2011.

## Exhibit C. Handwritten note from Margaret Sprague (undated)



# Notice of Exemption

# Appendix E

To: Office of Planning and Research  
P.O. Box 3044, Room 113  
Sacramento, CA 95812-3044

County Clerk  
County of: Monterey

From: (Public Agency): City of Pacific Grove  
300 Forest Ave  
Pacific Grove, CA 93950

(Address)

Project Title: 135 18th St Addition

Project Applicant: McFarlane & McFarlane

Project Location - Specific:

**135 18th St, between Union St and Central Ave.**

Project Location - City: Pacific Grove Project Location - County: Monterey

Description of Nature, Purpose and Beneficiaries of Project:

To demolish 51 sq. ft. from the rear of a single-family residence and construct a 45 sq. ft. addition in the same location. The home is listed on the City of Pacific Grove's Historic Resources Inventory.

Name of Public Agency Approving Project: City of Pacific Grove

Name of Person or Agency Carrying Out Project: James Newhall Smith

Exempt Status: **(check one):**

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- Categorical Exemption. State type and section number: 15301(e) and 15331
- Statutory Exemptions. State code number: \_\_\_\_\_

Reasons why project is exempt:

Section 15301 (e) allows for additions that are less than 50% of the existing footprint, and Section 15331 allows for rehabilitation to historic resources that are consistent with the Secretary of the Interior's Standards.

Lead Agency  
Contact Person: Alex Othon Area Code/Telephone/Extension: 831-648-3190

**If filed by applicant:**

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project?  Yes  No

Signature: \_\_\_\_\_ Date: \_\_\_\_\_ Title: Assistant Planner

Signed by Lead Agency  Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.  
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

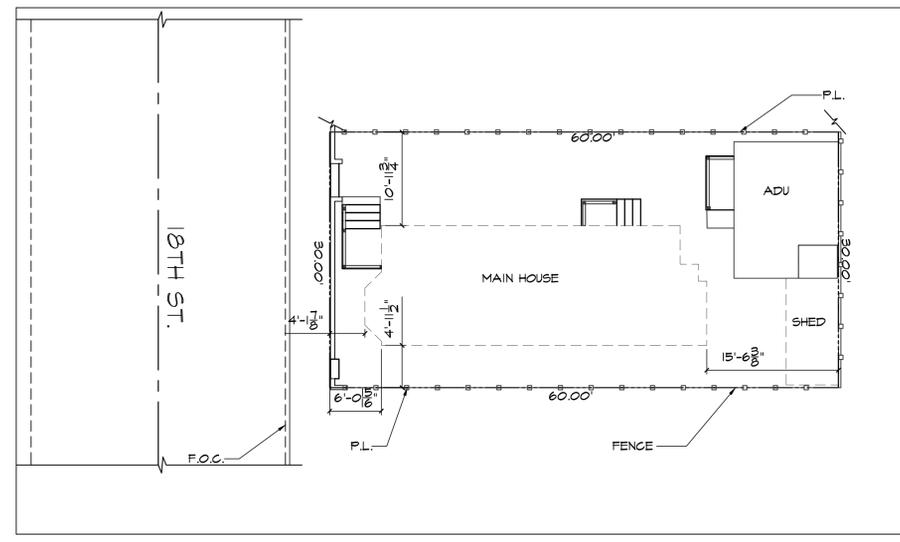
Date Received for filing at OPR: \_\_\_\_\_

# ABBREVIATIONS

A.B.	ANCHOR BOLT	INSUL.	INSULATION
A.C.	ASPHALTIC CONCRETE	INT.	INTERIOR
A.D.	AREA DRAIN	JT.	JOINT
ADJ.	ADJUSTABLE	LAM.	LAMINATE
ALUM.	ALUMINUM	LAV.	LAVATORY
ANOD.	ANODIZED	LT.	LIGHT
BD.	BOARD	MAX.	MAXIMUM
BLDG.	BUILDING	M.B.	MACHINE BOLT
BLK.	BLOCK	M.C.	MEDICINE CABINET
BM.	BEAM	MECH.	MECHANICAL
C.B.	CATCH BASIN	MEMB.	MEMBRANE
CEM.	CEMENT	MFR.	MANUFACTURER
C.I.	CAST IRON	MIN.	MINIMUM
C.J.	CONSTRUCTION JOINT	MISC.	MISCELLANEOUS
CLG.	CEILING	(N)	NEW
C.M.U.	CONCRETE MASONRY UNIT	N.I.C.	NOT IN CONTRACT
COL.	COLUMN	NO. OF #	NUMBER
CONG.	CONCRETE	N.T.S.	NOT TO SCALE
CONN.	CONNECTION	OBST.	OBSTRUCTION
CONT.	CONTINUOUS	O.C.	ON CENTER
C.O.	CLEAN OUT	PL.	PLATE
DBL.	DOUBLE	P.L.	PROPERTY LINE
D.F.	DRINKING FOUNTAIN	P.LAM.	PLASTIC LAMINATE
D.F.	DOUGLAS FIR	PLAST.	PLASTER
DET.	DETAIL	PWD.	PLYWOOD
DIA.	DIAMETER	FR.	PAIR
DN.	DOWN	P.S.F.	POUNDS PER SQUARE FOOT
DR.	DOOR	P.S.I.	POUNDS PER SQUARE INCH
DS.	DOWN SPOUT	P.T.	PRESSURE TREATED
DWS.	DRAINING	P.V.C.	POLY VINYL CHLORIDE PLASTIC
(E)	EXISTING	R.	RISER
EA.	EACH	R.D.	ROOF DRAIN
E.J.	EXPANSION JOINT	REF.	REFRIGERATOR
E.P.D.M.	SYNTHETIC RUBBER CLOSURE STRIP	REINF.	REINFORCED
EQ.	EQUAL	RM.	ROOM
EXT.	EXTERIOR	R.O.	ROUGH OPENING
H.C.	FIRE ALARM	RWD.	REDWOOD
F.D.	FLOOR DRAIN	S.B.	SOLID BLOCKING
F.E.	FIRE EXTINGUISHER	S.C.	SOLID CORE
EWC.	ELECTRIC WATER COOLER	SHT.	SHEET
F.E.C.	FIRE EXTINGUISHER CAB	SIM.	SIMILAR
FIN.	FINISH	S.M.	SHEET METAL
FLR.	FLOOR	S4P.	SHELF AND POLE
FLASH.	FLASHING	SPEC.	SPECIFICATION
FLUOR.	FLUORESCENT	SQ.	SQUARE
F.O.C.	FACE OF CONCRETE	S.S.	STAINLESS STEEL
F.O.M.	FACE OF MASONRY	T.	TREAD
F.O.S.	FACE OF STUD	T.B.	TOKEN BAR
F.R.P.	FIBER REINFORCED PLASTIC	T.B.N.	TYPICAL BOUNDARY NAILING
FT.	FOOT or FEET	T.C.	TOP OF CURB
FURR.	FURRING	T.E.N.	TYPICAL EDGE NAILING
GA.	GAUGE	T&G	TONGUE AND GROOVE
GALV.	GALVANIZED	T.S.	TUBE STEEL
G1.	GALVANIZED IRON	T.V.	TELEVISION
G.B.	GRAB BAR	TYP.	TYPICAL
GL.	GLASS	U.O.N.	UNLESS OTHERWISE NOTED
GYP.	GYPSON	V.S.	VERTICAL GRAIN
GWB.	GYPSON WALL BOARD	W/	WITH
H.B.	HOSE BIB	W.	WOOD
H.C.	HOLLOW CORE	W.H.	WATER HEATER
HDR.	HEADER	W/O	WITH OUT
H.M.	HOLLOW METAL	W.P.M.	WATERPROOF MEMBRANE
HORIZ.	HORIZONTAL	WT.	WEIGHT
HR.	HOUR	W.W.M.	WELDED WIRE MESH
		W.W.F.	WELDED WIRE FABRIC



SITE PLAN & VICINITY MAP  
SCALE: 1"=100'-0"



PLOT PLAN  
SCALE: 1"=40'-0"

CITY COMMENTS

# SYMBOLS

	SECTION SECTION NO. SHEET NO.		MATCH LINE SHADED PORTION IS SIDE CONSIDERED
	DETAIL DETAIL NO. SHEET NO.		DATUM OR WORK POINT
	INTERIOR ELEVATION		SECTION NEW GRADE EXISTING GRADE
	DETAIL TITLE SCALE		FINISH CONTOUR
	ROOM IDENT.		EXIST. CONTOUR
	COLUMN OR GRID NUMBERS HORIZONTAL LETTERS VERTICAL		TOP OF WALL
	DOOR SYMBOL DOOR MARK		TOP OF CURB
	WINDOW TYPE NUMBER		TOP OF PAVEMENT
	REVISION		AND
	KEYED NOTES		ANGLE
			AT
			CENTER LINE
			DIAMETER
			OVER
			PENNY
			PERPENDICULAR
			PLATE
			POUND OR NUMBER
			SQUARE FOOT
			WITH

# MATERIALS

	EARTH		WOOD FINISH
	ROCK		WOOD FRAMING
	SAND/MORTAR/PLASTER, GNB		WOOD BLOCKING
	CONCRETE BLOCK, BRICK		PLYWOOD
	EXISTING STUD WALL		RIGID INSULATION
	REMOVE EXISTING		ACOUSTIC TILE
	NEW STUD WALL W/ BATT INSUL.		A.C. PAVING
	STUD WALL 1 HR. CONSTRUCTION		METAL
	STUD WALL W/ BATT INSULATION		EXISTING PLANTED AREA

# LEGEND

	FENCE		(E) CONCRETE
	WATER SERVICE		AREA OF WORK
	GAS SERVICE LINE		
	SEWER LINE		
	ELECTRIC SERVICE		

# SHEET SCHEDULE

- A-1 COVER SHEET & SITE PLAN
- A-1.1 GENERAL & SPECIFIC NOTES
- A-2 FLOOR PLANS
- A-3 FLOOR PLAN DIMENSIONS, ROOF PLAN & SCHEDULES
- A-4 ELEVATIONS
- A-5 SECTIONS & DETAILS

# SCOPE OF WORK

- THE WORK SHALL INCLUDE THE FOLLOWING:
1. PROVIDE (N) PERIMETER FOUNDATION AND UNDERFLOOR GIRDERS PER STRUCTURAL.
  2. ADD (N) 2 X 4 PERIMETER FRAMING INSIDE (E) ORIGINAL 1 X 12 EXTERIOR BOARDS.
  3. REFRAME KITCHEN & BATHROOM WALLS.
  4. REPLACE ALL (E) PLUMBING.
  5. REPLACE ALL (E) ELECTRICAL WIRING.
  6. (N) APPLIANCES AND PLUMBING FIXTURES, INCL. (N) EXTERIOR ON-DEMAND W.H.
  7. REPLACE (E) MAIN ELEC. PANEL W/ (N) 125 AMP SQUARE D METER PANEL.
  8. REPLACE ANY TERMITE AFFECTED OR WOOD ROTTED FRAMING.
  9. ADD (N) RIDGE BEAM AND ROOF FRAMING PER ARCHITECT OR STRUCTURAL.

# PROJECT DATA

OCCUPANCY GROUP - SFD ON EXISTING NONCONFORMING LOT  
 ZONING - R-3-PGR  
 CONSTRUCTION TYPE - V-B/U-N-SPRINKLERED  
 LOT SIZE - 1800 S.F.  
 MAIN HOUSE - 554.75 S.F.  
 ADU - 174.24 S.F.  
 AREA TO BE REMOVED - 51 S.F.  
 AREA TO BE ADDED - 45 S.F.  
 SHEDS - 99.21 S.F.  
 TOTAL S.F. - 833.36 S.F.  
 LOT COVERAGE 46%

Rev: Date

03-04-20

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COVER SHEET & SITE PLAN

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Date: 11-07-18  
 Drawn by: FHC  
 Job #: 18-043

A=1

## ELECTRICAL NOTES

- KITCHEN MUST HAVE A MINIMUM OF TWO 20 AMP BRANCH CIRCUITS PROVIDED FOR ALL RECEPTACLE OUTLETS PER CEC 210.11(C). LAUNDRY TO HAVE ONE 20 AMP BRANCH CIRCUIT, AND BATHROOM TO HAVE A MINIMUM OF ONE 20 AMP BRANCH CIRCUIT. ADDITIONALLY, GFCI PROTECTION IS REQUIRED FOR ALL RECEPTACLES WITHIN 6'-0" OF ALL SINKS. THIS NOW INCLUDES THE RECEPTACLE FOR THE GARBAGE DISPOSAL BELOW THE SINK (CEC 210.8(A)(7)) AND FOR THE DISHWASHER (CEC 210.8(D)), AS WELL AS ANY REFRIGERATOR IF APPLICABLE AND RECEPTACLES AT BAR/PENINSULA.
- RECEPTACLES SHALL BE INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY ALONG THE WALL SHALL BE MORE THAN 6 FT. FROM A RECEPTACLE OUTLET, AND ANY WALL SPACE 2'-0" OR MORE SHALL HAVE A RECEPTACLE.
- ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS (I.E. RECEPTACLES, LIGHTS, SMOKE ALARMS, ETC.) TO BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER (AFCI) LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT PER CEC 210.12 (A) & (B) ALSO, ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION IS NOW REQUIRED IN KITCHENS IN ADDITION TO GFCI PROTECTION. COMBINATION BREAKER TO BE PROVIDED AT MAIN PANEL.
- ALL 125-VOLT, 15-AMP, AND 20-AMP RECEPTACLES SHALL BE LISTED AS TAMPER-RESISTANT RECEPTACLES. (§ 406.12(A) CEC).
- ALL LIGHTING MUST BE HIGH EFFICACY.
- AT LEAST ONE LUMINAIRE IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS MUST BE CONTROLLED BY A VACANCY SENSOR. (CA ENERGY STANDARD 150(K)(2)(J)).
- EXTERIOR LIGHTING, ATTACHED TO ANY BUILDING SHALL BE CONTROLLED BY A MOTION SENSOR WITH PHOTOCONTROL, OR CONTROLLED WITH AN ASTRONOMICAL TIME CLOCK.
- KITCHEN SHALL HAVE A MINIMUM OF 100 CFM LOCAL EXHAUST FAN, WHICH MAY BE ACHIEVED BY A RANGE HOOD. (CA ENERGY STANDARD 150(O)/ASHRAE STANDARD 62.2).
- DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING NO LESS THAN 3'-0" FROM OPENINGS INTO THE BUILDING AND HAVE A BACK-DRAFT DAMPER. DUCT SHALL BE MINIMUM 4" DIAMETER, SMOOTH, METAL DUCT. (§504.3 & 504.5 CMC)
- JAB MARKING IS REQUIRED FOR THE FOLLOWING:
  - ALL LIGHT SOURCES IN CEILING RECESSED DOWNLIGHT LUMINAIRES. NOTE THAT CEILING RECESSED DOWNLIGHT LUMINAIRES SHALL NOT HAVE SCREEN BASES REGARDLESS OF LAMP TYPE AS DESCRIBED IN SECTION 150.0(K)(1)(C).
  - 6U-24 SOCKETS CONTAINING LED LIGHT SOURCES. A 6U24 LAMP FITTING IS A TWO-PIN CONNECTOR FOR COMPACT FLUORESCENT LAMPS (CFL) OR LED LAMPS THAT USES A BAYONET MOUNT-LIKE TWIST-LOCK TWO-PIN CONNECTOR INSTEAD OF AN EDISON SCREEN FITTING.
  - ANY LIGHT SOURCE NOT OTHERWISE LISTED ABOVE AND CERTIFIED TO THE COMMISSION AS COMPLYING WITH JOINT APPENDIX 8.
- FIXTURES RECESSED INTO CEILINGS SHALL BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT (IC), HAVE A LABEL THAT CERTIFIES THAT THE FIXTURE IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCAL'S (AT), BE SEALED WITH A GASKET OR CAULK TO THE CEILING, HAVE ACCESSIBLE BALLASTS/DRIVERS IF HARDWIRED, AND NOT CONTAIN A SCREEN BASE SOCKETS. THEY SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH REFERENCES JOINT APPENDIX 8, INCLUDING THE ELEVATED TEMPERATURE REQUIREMENTS, AND THAT ARE MARKED "JAB-2106-E". (CEC 150.0(K)(1)(C)).
- A MINIMUM 50 CFM INTERMITTENT BATHROOM EXHAUST FAN IS REQUIRED FOR EACH BATHROOM HAVING A SHOWER AND/OR TUB. THESE FANS SHALL BE ENERGY STAR RATED AND WHEN NOT PART OF THE WHOLE HOUSE VENTILATION SYSTEM SHALL HAVE A HUMIDISTAT CONTROL. (CA ENERGY STANDARD 150(O)/ASHRAE 62.2 AND CALGREEN 4.506.1)
- DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX 8 PER TABLE 150.0-A. EXCEPTIONS ARE PROVIDED FOR CLOSETS SMALLER THAN 10 FT<sup>2</sup> IN FLOOR AREA AND LIGHT FIXTURES FOR HALLWAYS. PLEASE SHOW FOR TRACK LIGHTING FIXTURES. (CA ENERGY 150.0(K)(2)(K))
- AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OWNER AT THE COMPLETION OF THE PROJECT. (4.410.1)
- NOTE THAT GROUNDING ELECTRODE SYSTEMS IN ALL NEW BUILDINGS SHALL BE AN ELECTRODE ENCASED BY AT LEAST TWO INCHES OF CONCRETE LOCATED WITHIN AND NEAR THE BOTTOM OF A CONCRETE FOUNDATION OR FOOTING THAT IS IN DIRECT CONTACT WITH EARTH. THE ELECTRODE SHALL CONSIST OF AT LEAST 20 FEET OF ONE OR MORE STEEL REINFORCING BARS OR RODS, OF NOT LESS THAN 1/2 INCH DIAMETER.
- ALL PERMANENTLY INSTALLED LUMINAIRES WITH INTERCHANGEABLE LAMPS MUST CONTAIN LAMPS THAT COMPLY WITH THE REQUIREMENTS OF JOINT APPENDIX 8 (JAB) AND BE APPROPRIATELY MARKED TO BE CONSIDERED "HIGH EFFICACY LUMINAIRES."
- THE MARKING "JAB-2016" IS REQUIRED FOR COMPLIANCE AND SHALL ONLY BE USED ON LAMPS THAT MEET THE REQUIREMENTS OF JOINT APPENDIX 8 AND ARE LISTED IN THE ENERGY COMMISSION JAB DATABASE.
- THE MARKING "JAB-2016-E" INDICATES THAT IN ADDITION TO THE REQUIREMENTS ABOVE FOR A JAB-2016 LIGHT SOURCE, THE LIGHT SOURCE HAS BEEN TESTED TO PROVIDE LONG LIFE AT ELEVATED TEMPERATURES. LIGHT SOURCES MUST BE MARKED "JA 8-2016-E" IF THEY ARE TO BE USED IN ENCLOSED OR RECESSED LUMINAIRES.
- RECESSED DOWNLIGHT LUMINAIRES AND ENCLOSED LUMINAIRES ARE REQUIRED TO CONTAIN A JAB COMPLIANT LAMP THAT MEETS THE ELEVATED TEMPERATURE REQUIREMENT. RECESSED DOWNLIGHT LUMINAIRES WITH SCREEN BASED SOCKETS ARE NO LONGER PERMITTED TO BE INSTALLED.
- THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".
- APPLIANCES IN GARAGES AND IN ADJACENT SPACES THAT OPEN TO THE GARAGE SHALL BE INSTALLED SO THAT BURNERS AND BURNER-IGNITION DEVICES ARE LOCATED NOT LESS THAN 18" ABOVE THE FLOOR. (CMC 305.1, CFC 507.13, NFPA 54.4.1.10.1)
- THE WHOLE HOUSE FAN SHALL BE CONTINUOUSLY ON, UNLESS THERE ARE EXTERIOR AIR CONTAINMENTS PRESENT. THE ON/OFF MECHANISM SHALL BE LABELED TO IDENTIFY IT AS CONTROLLING THE WHOLE HOUSE VENTILATION SYSTEM. THE WHOLE HOUSE FAN SHALL BE SOUND RATED FOR MAXIMUM 1 SONE.
- SMOKE DETECTORS SHALL BE LISTED TO COMPLY WITH UL 217. INSTALLATION SHALL BE IN ACCORDANCE WITH NFPA 72 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. (§R314 CRC)

## PLUMBING NOTES

- THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF 2.0 GPM AT 80 PSI. LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.2 GPM AT 60 PSI, BUT NOT LESS THAN 0.8 AT 20 PSI. KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GPM AT 60 PSI, BUT MAY HAVE A TEMPORARY FLOW RATE OF 2.2 GPM AT 60 PSI AND DEFAULT TO 1.8 GPM AT 60 PSI. (CAL. GREEN 4.303)(CFC 403.7).
- UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, BATH FANS MUST BE ENERGY STAR RATED AND CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. (C69C 4.506.1).
- AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OWNER AT THE COMPLETION OF THE PROJECT. (4.410.1).
- THE WATER CLOSET SHALL BE A MINIMUM OF 15 INCHES FROM ITS CENTER TO A SIDE WALL (30" TOTAL WIDTH). THE CLEAR SPACE IN FRONT OF A WATER CLOSET SHALL BE NOT LESS THAN 24 INCHES. (CFC 402.5).
- SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FEET ABOVE THE FLOOR. (§ R307.2 CRC ) -TYPICAL OF ALL SHOWERS.
- SHOWER DOOR ENCLOSURE SHALL HAVE TEMPERED SAFETY GLAZING PER CRC R308.4. THIS CAN BE NOTED AS TYPICAL OF ALL SHOWER ENCLOSURES.
- SHOWERS AND TUB-SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION. (§408.3 CFC).
- ALL NEW HOT WATER LINES 3/4 INCH OR LARGER AND ALL NEW HOT WATER LINES TO THE KITCHEN SHALL BE INSULATED. CENC 150(J)2.A. (MINIMUM INSULATION TABLE 1203.3-A).
- ANY NEW APPLIANCES (INSTALLED AS PART OF ANY REMODEL, ADDITION OR NEW CONSTRUCTION) SHALL BE ENERGY STAR APPLIANCES PER SANTA CRUZ COUNTY CODE 4.201.1.2.
- THE CLEAR SPACE IN FRONT OF A WATER CLOSET SHALL BE NOT LESS THAN 24" (CFC 402.5).
- FOR ALL REMODELS, INSULATION MEETING THE MANDATORY FEATURE REQUIREMENTS IN THE CALIFORNIA ENERGY CODE SHALL BE INSTALLED AT CEILINGS, WALLS, FLOORS AND WATER PIPES, WHEN THESE AREAS ARE EXPOSED DURING REMODELING. (§12.10.250(A)2 SCCG).
- PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREEN SECTION 301.1, FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET CURRENT FLOW RATES WILL BE REPLACED.
- WATER CLOSETS WITH A FLOW RATE IN EXCESS OF 1.6 GPF WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MAXIMUM FLOW RATE OF 1.28 GPF.
- SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH A MAXIMUM 2.0 GPM SHOWER HEAD.
- LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.5 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).
- PLUMBER TO PROVIDE GAS LINE DIAGRAM AT FRAMING INSPECTION.
- HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
- PROTECT ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS. (4.406.1).
- 

## GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AS FOLLOWS:
  - 2016 CALIFORNIA BUILDING CODE
  - 2016 CALIFORNIA RESIDENTIAL CODE
  - 2016 CALIFORNIA FIRE CODE
  - 2016 CALIFORNIA MECHANICAL CODE
  - 2016 CALIFORNIA ELECTRICAL CODE
  - 2016 CALIFORNIA PLUMBING CODE
  - 2016 CALIFORNIA ENERGY CODE
  - 2016 CALGREEN

ALONG WITH ANY APPLICABLE LOCAL, STATE LAWS AND REGULATIONS.

- THE CONTRACTOR SHALL GUARANTEE WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION, INSPECTION AND ACCEPTANCE OF HIS/HER WORK.
- THE GENERAL CONTRACTOR SHALL CALL FOR ALL ARCHITECTURAL, STRUCTURAL AND GOVERNMENTAL INSPECTIONS AS REQUIRED AND AS IN THESE SPECIFICATIONS PROVIDE 1 DAY MINIMUM NOTICE FOR ALL SITE REVIEWS BY OWNER/DESIGNER.
- ALL MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS OR AS DESCRIBED IN THE SPECIFICATIONS. SUBSTITUTIONS OF MATERIALS OR EQUIPMENT FOR THOSE DESIGNATED MAY BE MADE ONLY UPON APPROVAL OF THE DESIGNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL BUILDING SYSTEMS INCLUDING BUT NOT LIMITED TO: ARCHITECTURAL, STRUCTURAL, LANDSCAPE, PLUMBING, MECHANICAL, ELECTRICAL AND FIRE SUPPRESSION SYSTEMS WITH PARTICULAR ATTENTION PAID TO THE COORDINATION OF FRAMING WITH ELECTRICAL & MECHANICAL SYSTEMS.
- WRITTEN DIMENSIONS AND NOTES TAKE PRECEDENCE OVER SCALED DIMENSIONS AND LINE DIAGRAMS. DO NOT SCALE DRAWINGS. REFER TO THE WRITTEN SPECIFICATIONS.
- CONTRACTOR TO VERIFY SPECIFIED DIMENSIONS ON SITE. DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.
- WHERE DETAILS ARE NOT SPECIFICALLY INDICATED, SIMILAR DETAILS (OR DESCRIPTIONS) SHALL APPLY. ANY DESIRED MODIFICATIONS, OR OPENINGS IN STRUCTURAL MEMBERS, SHOULD BE DISCUSSED WITH AND APPROVED BY THE ENGINEER BEFORE PROCEEDING.
- DRAWINGS OF EXISTING SITE CONDITIONS ARE TO BE USED AS GUIDELINES. ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN VARIOUS PARTS OF CONSTRUCTION SHALL BE BROUGHT TO THE CONTRACTOR/DESIGNER'S ATTENTION PRIOR TO PROCEEDING WITH CONSTRUCTION.
- STRUCTURAL OBSERVATIONS MAY BE REQUIRED BY THE ENGINEER FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS. SEE STRUCTURAL SPECIFICATIONS FOR INSPECTION AND OBSERVATION REQUIREMENTS.
- COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION. (4.504.1).
- ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS. (4.504.2.1).
- PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS. (4.504.2.2).
- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS (4.504.2.3). VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.3)
- MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4.
- PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSIONS STANDARDS (4.504.5).
- INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (4.505.2).
- CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE (4.505.3).
- CONTRACTOR TO CONFIRM ALL DIMENSIONS PRIOR TO COMPLETION OF ANY NEW WORK.

## SPECIFIC NOTES

- DEMOLITION**
- STRUCTURAL STEEL & CARPENTRY: IN THE COURSE OF THE WORK, SHOULD ANY SUBCONTRACTOR BE EMPLOYED IN EXPOSING FORMERLY COVERED FRAMING, ANY UNFORESEEN STRUCTURAL DEFECT WHICH MIGHT JEOPARDIZE ANY PART OF THE EXISTING BUILDING OR THE NEW WORK, THE SUBCONTRACTOR SHALL SHORE UP OR OTHERWISE SUPPORT THE EXPOSURE FOR EASE OF INSPECTION BY THE GENERAL CONTRACTOR/ STRUCTURAL ENGINEER WHO WILL DIRECT REPAIR. ADDITIONAL COMPENSATION WILL BE MADE BY THE OWNER FOR SUCH WORK.
  - PLUMBING, HVAC & ELECTRICAL: IN ANY CASE WHERE A NEW LINE MAY TIE INTO AND EXTEND AN EXISTING LINE WITHIN THE LIMITS OF THE WORK, THAT SUBCONTRACTOR SHALL EXAMINE THE ENTIRE EXISTING LINE AND DETERMINE WHETHER THE NEW WORK WILL BE ADVERSELY AFFECTED BY IT, AND NOTIFY THE CONTRACTOR OF ANY SUCH DEFECT BEFORE TYING IN.
- NEW WORK**
- BUILDING INSULATION: BUILDING INSULATION SHALL BE COTTON BATTS IN THICKNESS(ES) AND LOCATIONS NOTED ON THE DRAWINGS, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. FOIL (IF ANY) SHALL FACE DOWN AT UPSIDE OF ROOF AND INSULATION SHALL BE UNFACED ELSEWHERE.
  - DIMENSIONS:
    - ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE.
    - ALL DIMENSIONS ARE TO THE FACE OF STUD UNLESS OTHERWISE NOTED.
    - CEILING HEIGHT DIMENSIONS ARE FROM FINISH FLOOR SLAB TO FINISH FACE OF CEILING.
  - DRAWINGS AND SPECIFICATIONS: KEEP AT LEAST ONE COPY OF THE DRAWINGS AND SPECIFICATIONS, SHOP DRAWINGS, FIELD ORDERS AND ALL CHANGE ORDERS AVAILABLE AT THE SITE AT ALL TIMES.
  - THE PROJECT SITE SHALL BE MAINTAINED IN A REASONABLY NEAT AND ORDERLY CONDITION AND KEPT FREE FROM RUBBISH AND ACCUMULATIONS OF WASTE MATERIAL.
  - INSTALL HOUSE WRAP UNDER (N) SIDING.

## FIRE SAFETY NOTES

- THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2016) AS AMENDED BY THE AUTHORITY HAVING JURISDICTION.
- THE JOB COPIES OF BUILDING AND FIRE SYSTEMS PLANS (WHERE REQUIRED) AND PERMITS MUST BE ONSITE DURING INSPECTIONS.
- VERIFY EXISTING OR INSTALL LISTED SMOKE DETECTORS AND CARBON MONOXIDE ALARMS OR COMBINATION SMOKE AND CARBON MONOXIDE DETECTORS/ALARMS IN THE EXISTING DWELLING.

Rev: Date

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GENERAL  
&  
SPECIFIC NOTES

Paul Henri Carvalho  
Cad Drafting & Consulting Services  
219 Kenneth Drive, Aptos, CA 95003  
831-818-3775  
paulhenri@paulhenriimages.com

Date: 11-07-18  
Drawn by: PHC  
Job #: 18-043

A=1.1

EXISTING & DEMO NOTES

1. (E) ROOF OTLN.
2. (E) CONG. WALL.
3. (E) GAS SERV.
4. (E) ELEC. SERV.
5. (E) SIDEWALK & CURB.
6. (E) FENCE TO REMAIN.
7. (E) EXTERIOR ORIGINAL 1 X 12 SIDING TO REMAIN.
8. (E) INTERIOR SINGLE WALL CONSTRUCTION, PANELING AND FURRING TO BE REMOVED.
9. (E) LOUVERED BATHROOM WINDOW TO BE REMOVED.
10. (E) WINDOWS TO REMAIN UNO, (ANY (E) DAMAGED WINDOWS TO BE RE-BUILT TO MATCH (E).
11. (E) KITCHEN WINDOW TO BE REPLACED TO MATCH (E).
12. (E) WALL HEATER TO BE REPLACED.
13. (E) BATHROOM TO BE COMPLETELY REMODELED.
14. (E) KITCHEN TO BE COMPLETELY REMODELED.
15. (E) DOORS TO BE REPLACED.
16. (E) SHED ROOF TO BE REMOVED.
17. (E) SECTION OF STORAGE SHED, HX HEATER, DOORS & ROOF TO BE REMOVED.
18. (E) LANDING, GUARDRAIL & STAIRS TO BE REMOVED.

NEW CONSTRUCTION NOTES

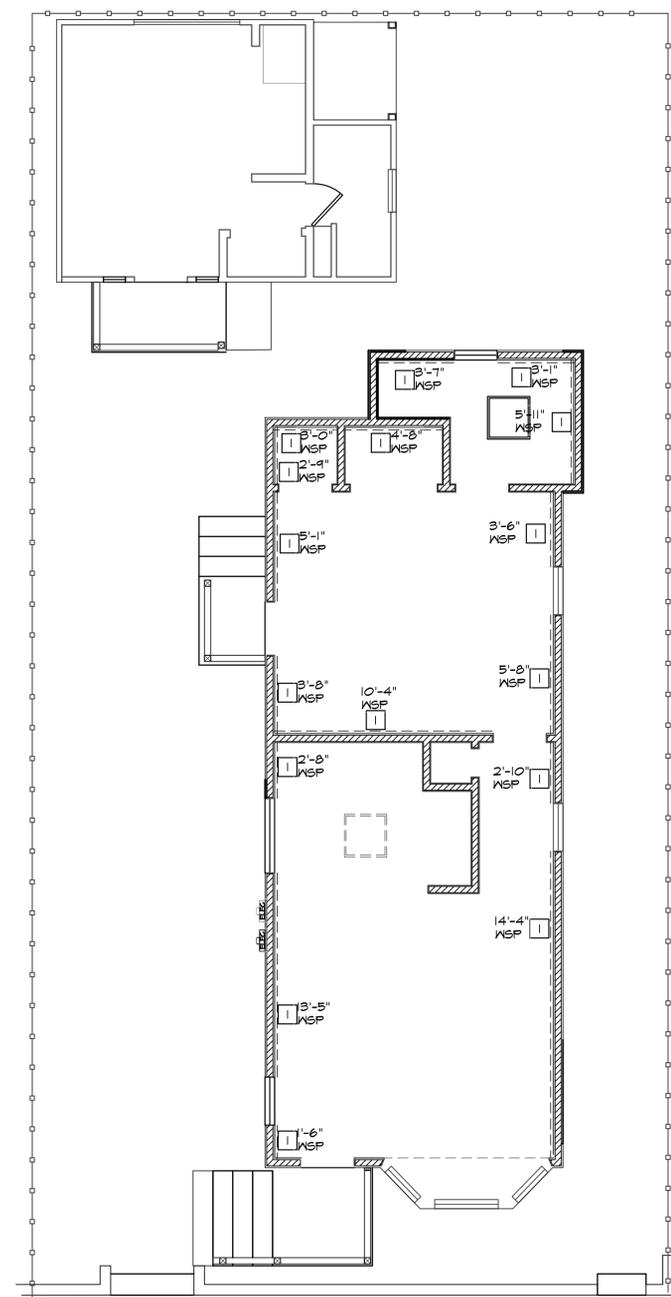
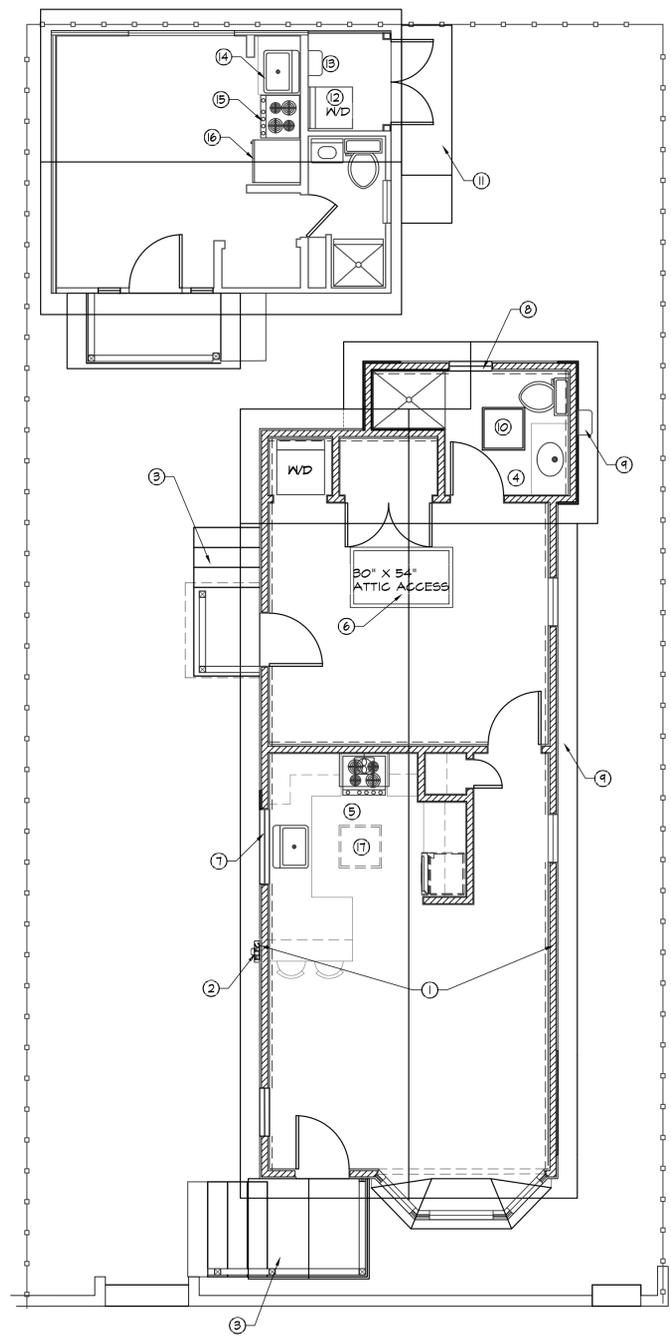
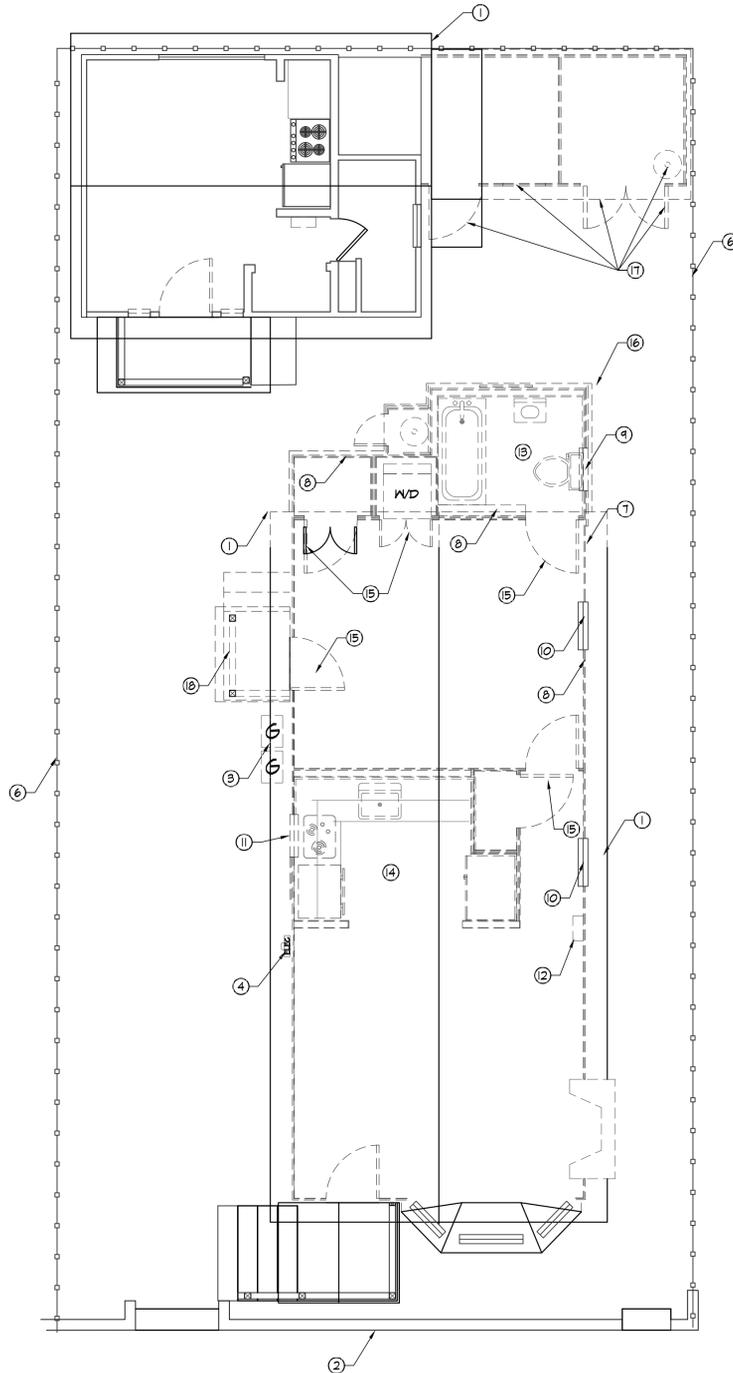
1. (N) 2 X 4 WALLS TO BE BUILT WITHIN (E) ORIGINAL 1 X 12 SIDING. SEE STRUCTURAL PLANS FOR SPECIFICS.
2. (E) ELECTRICAL TO BE UPGRADED INCLUDING (N) 125 AMP METER & SERV. PANEL.
3. (N) STAIRS & LANDING, & GUARDRAILS.
4. (N) RECONFIGURED & REMODELED BATHROOM.
5. (N) RECONFIGURED & REMODELED KITCHEN.
6. (N) FAU IN ATTIC SPACE THROUGH (N) ATTIC ACCESS.
7. (N) KITCHEN WINDOW.
8. (N) BATHROOM WINDOW.
9. (N) NAVIEN ON DEMAND H.H. HEATER.
10. (N) 24" X 24" VELUX FIXED CURB MOUNT SKYLIGHT.
11. (E) SECTION OF ROOF TO REMAIN.
12. (N) STACKABLE W/D UNIT.
13. (N) NAVIEN ON DEMAND WATER HEATER.
14. (N) SINK.
15. (N) STOVETOP.
16. (N) UNDERCOUNTER FRIDGE.
17. (N) 24 X 24 SKYLIGHT

SHEAR WALL NAILING SCHEDULE

SYMBOL	SHEATHING	ANCHOR BOLTS	NAILING	SILL	TOP PLATE FRAMING CLIPS
1	1/2" CDX, U.N.O.	N/A	8D COMMON, 6" EDGE, 12" FIELD	N/A	N/A

SHEAR NOTE:

CONTRACTOR TO CONFIRM EXACT WIDTH OF EACH SECTION WHICH ARE APPROX. BUT MIN. WIDTHS ARE SHOWN.



Rev: Date

McFARLANE & MCFARLANE  
135 18th ST., PACIFIC GROVE  
APN: 006-163-013-000

FLOOR PLANS

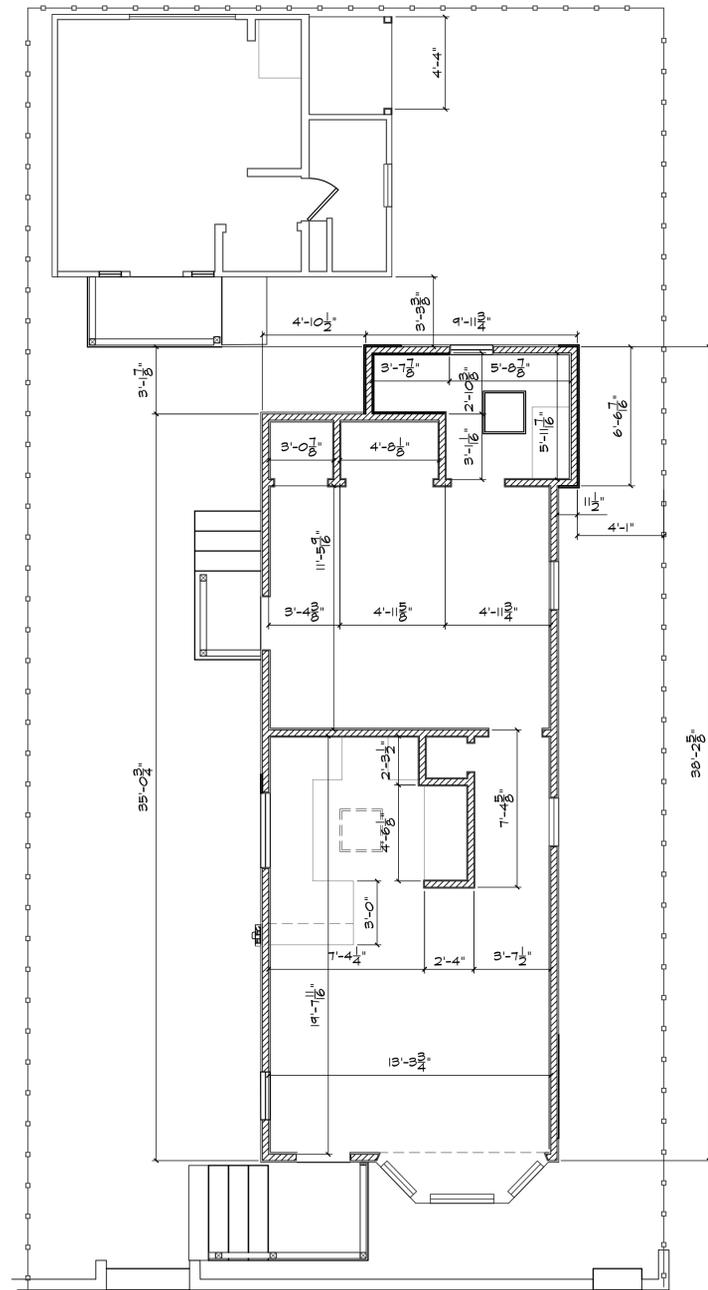
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Date: 11-07-18  
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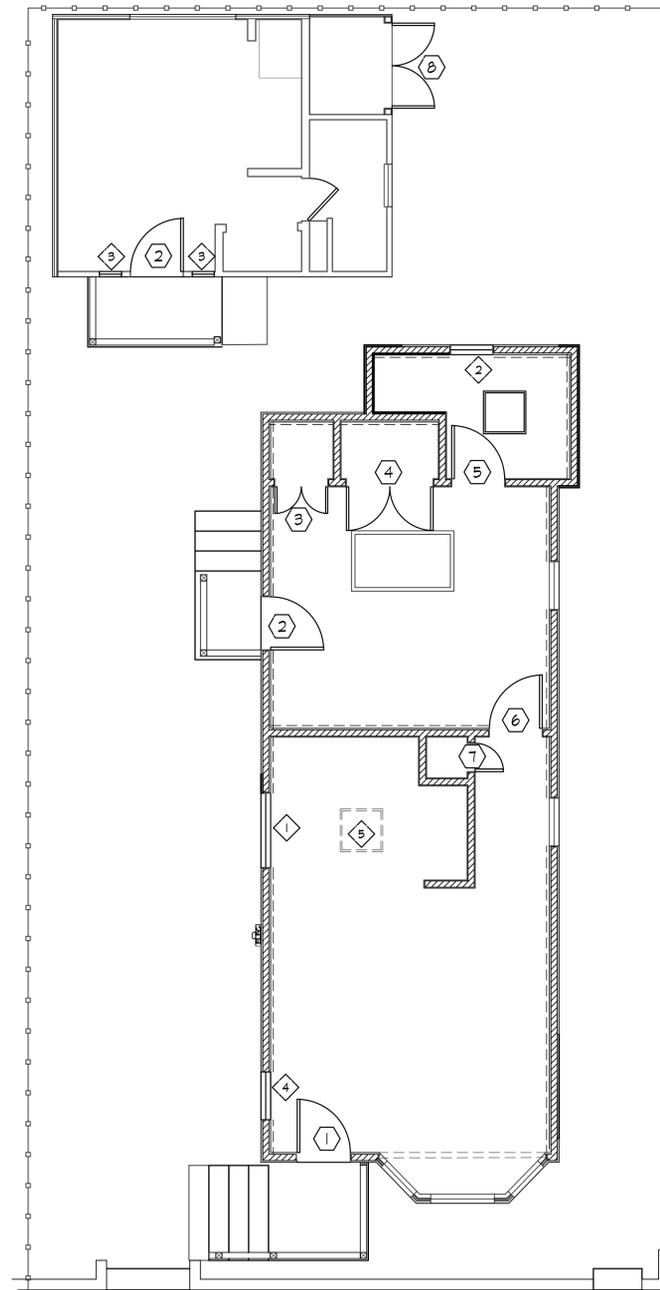
A-2

WINDOW SCHEDULE				
WINDOW		SIZE		REMARKS
NO.	TYPE	WIDTH	HEIGHT	
1	DOUBLE CASEMENT	3'-6"	3'-0"	MATCH LOOK OF EXISTING
2	S.H.	2'-0"	3'-0"	MATCH LOOK OF EXISTING
3	FIXED	1'-0"	6'-8"	SIDELIGHTS
4	S.H.	2'-3"	5'-0"	MATCH SIZE & LOOK ON THAT WALL
5	SKYLIGHT	2'-0"	2'-0"	

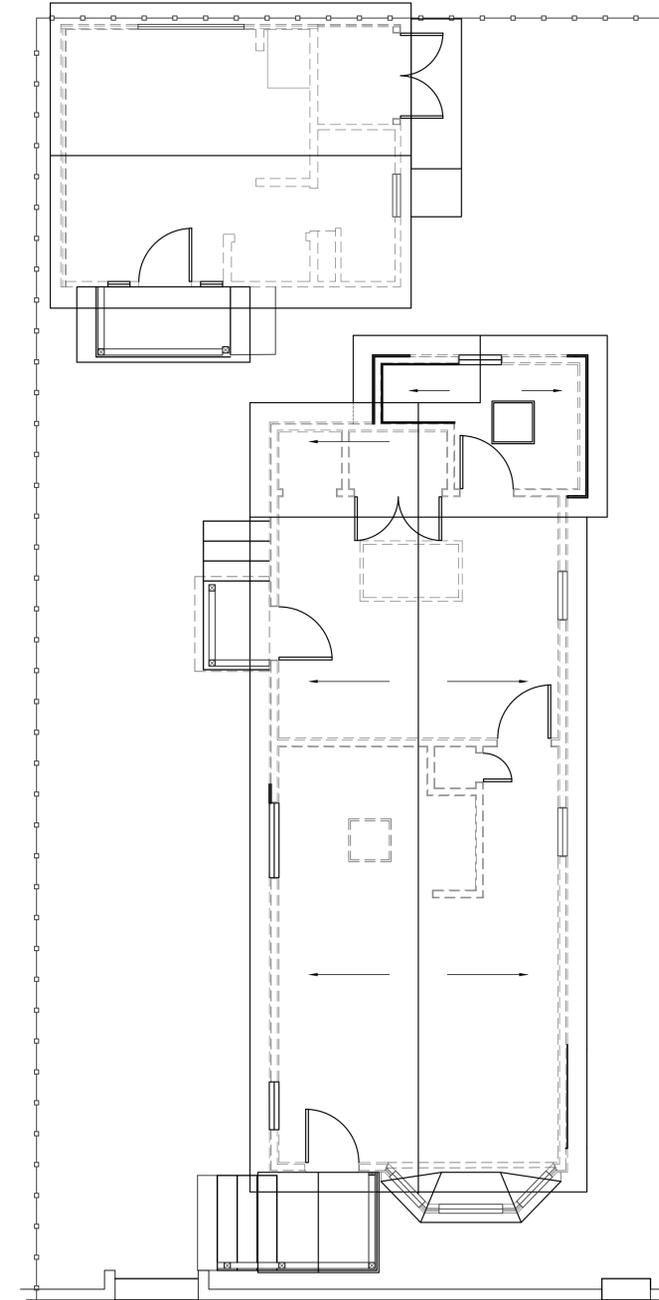
DOOR SCHEDULE					
DOOR		SIZE			REMARKS
NO.	TYPE	WIDTH	HEIGHT	THICKNESS	
1	ENTRY	3'-0"	6'-8"	1 3/8"	SOLID DUTCH DOOR
2	ENTRY	2'-6"	6'-8"	1 3/8"	SINGLE LIGHT DUTCH DOOR
3	CLOSET	2'-6"	6'-8"	1 3/8"	RE-USE (E)
4	CLOSET	4'-0"	6'-8"	1 3/8"	2 DOORS EA. 2'-0"
5	PRIVACY	2'-6"	6'-8"	1 3/8"	RE-USE (E)
6	PASSAGE	2'-6"	6'-8"	1 3/8"	RE-USE (E)
7	CLOSET	1'-4"	6'-8"	1 3/8"	
8	CLOSET	4'-0"	6'-8"	1 3/8"	2 DOORS EA. 2'-0"



(N) FLOOR PLAN DIMENSIONS  
SCALE: 1/4"=1'-0"



(N) DOOR AND WINDOW PLAN  
SCALE: 1/4"=1'-0"



(N) ROOF PLAN  
SCALE: 1/4"=1'-0"

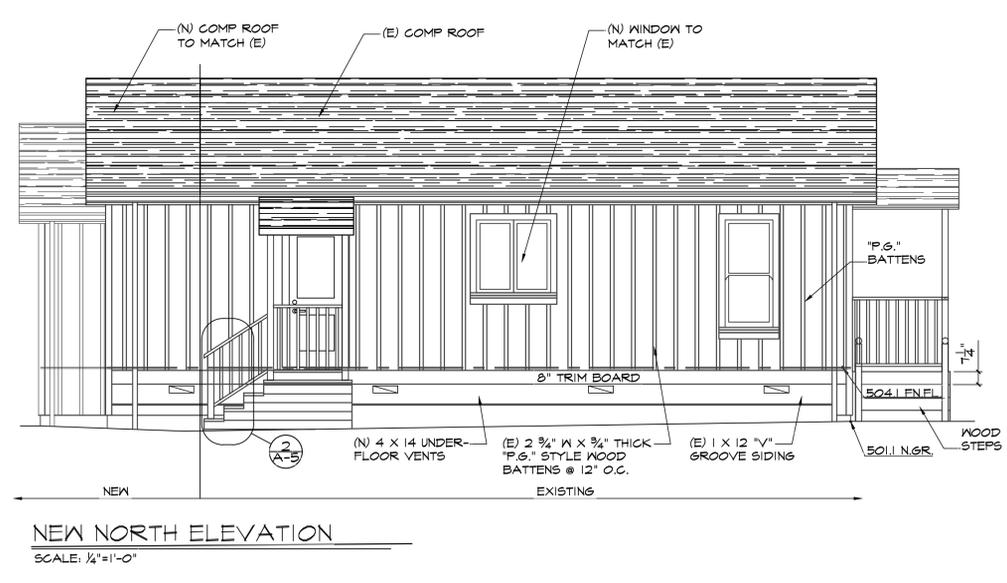
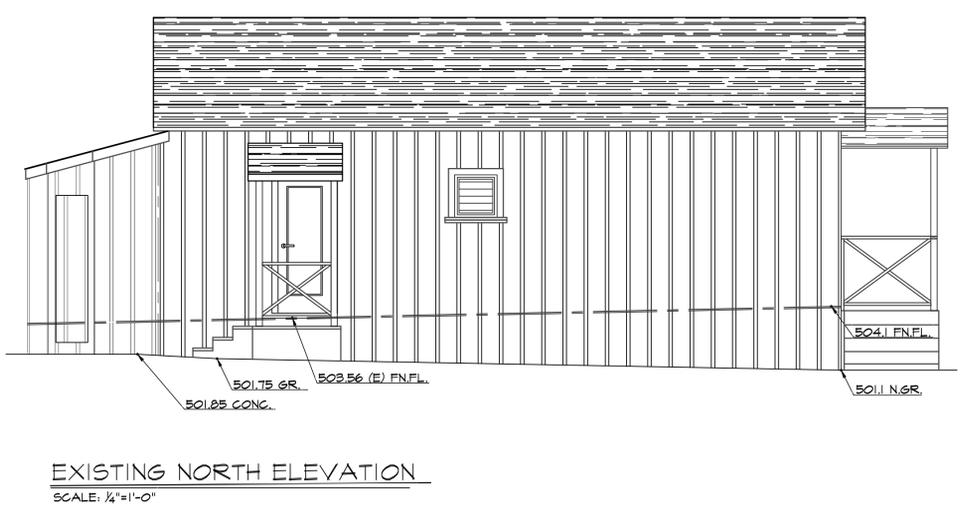
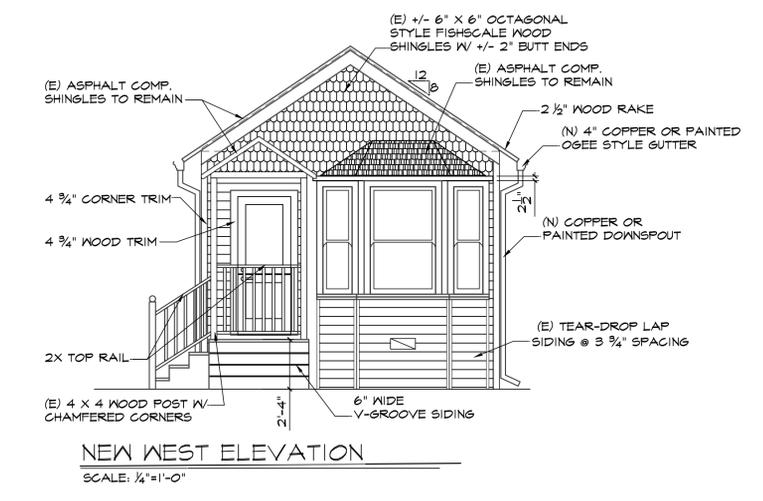
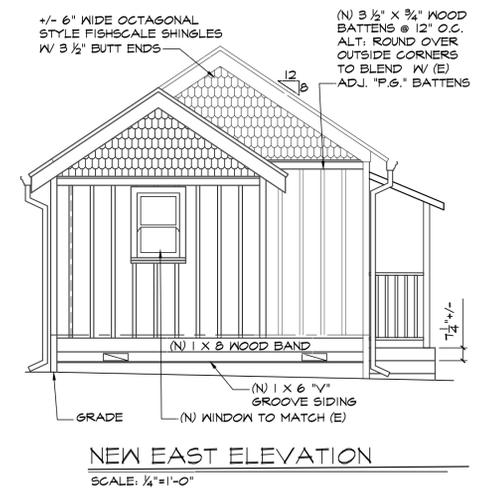
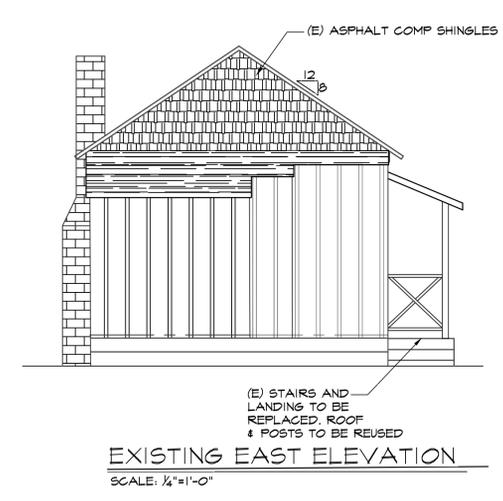
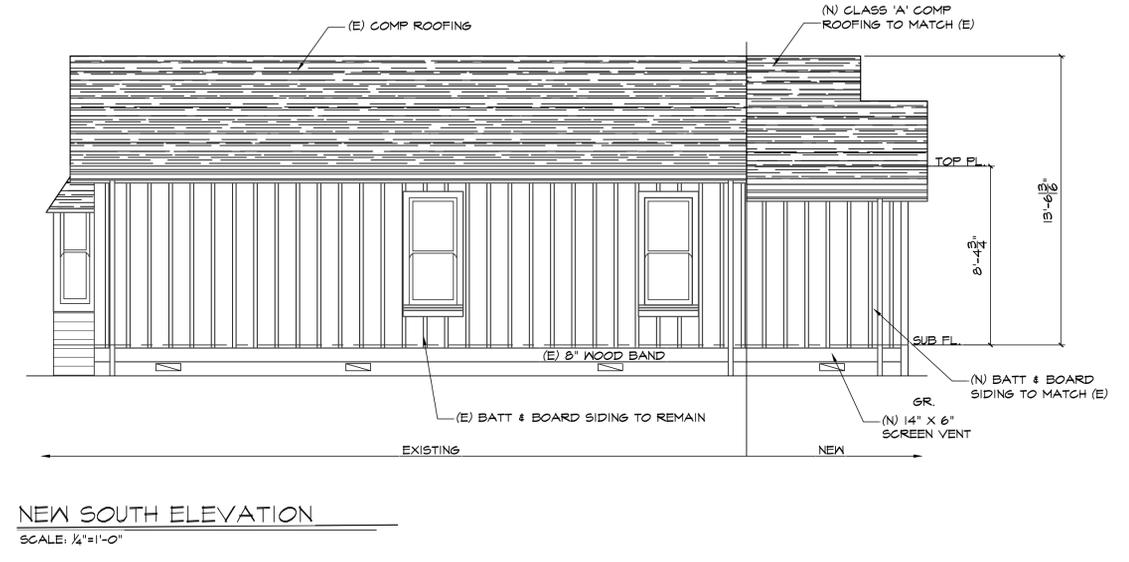
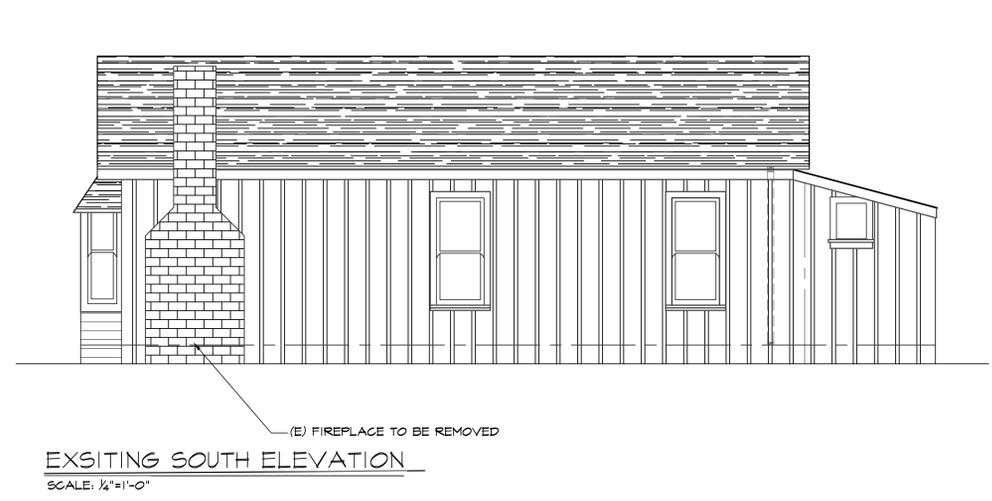
Rev: Date  
McFARLANE & McFARLANE  
135 18th ST., PACIFIC GROVE  
APN: 006-163-013-000

FLOOR PLAN  
DIMENSIONS, ROOF PLAN  
& SCHEDULES

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Date: 11-07-18  
Drawn by: PHC  
Job #: 18-043

A-3

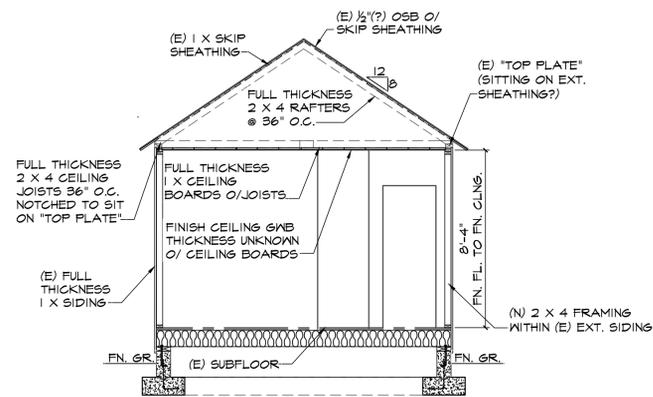


**UNDERFLOOR VENTING CALCULATIONS**

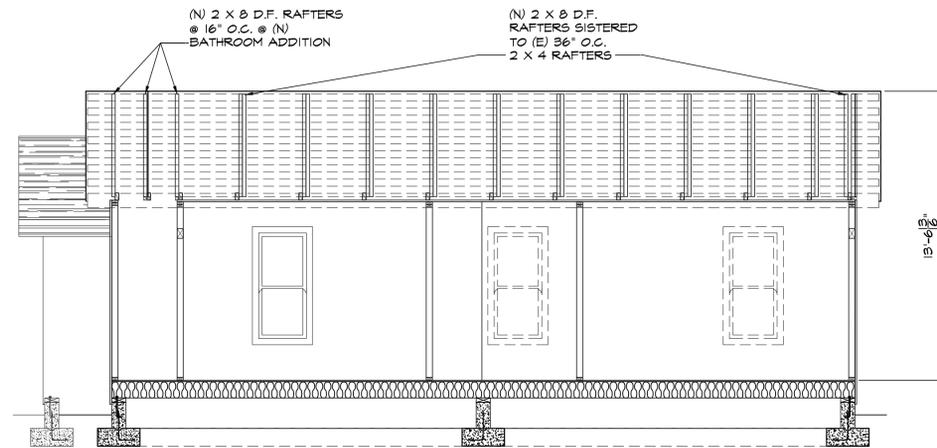
CRAWL SPACE VENTS RATIO IS 1:150 S.F. OF UNDER-FLOOR AREA PER CRC R408.2. ACCORDING TO CRC R408.2 ADEQUATE UNDER-FLOOR SPACE (ONE VENTILATION OPENING SHALL BE WITHIN 3'-0" OF EACH CORNER OF THE BUILDING).

TOTAL UNDER-FLOOR SPACE @ ADDITION:	543 S.F.
RATIO	1:150
MIN. REQ. VENT AREA:	3.62 S.F.
INDIVIDUAL VENT SIZE:	36 S.F. (14' X 4')
TOTAL VENT AREA PROVIDED:	3.08 S.F.
TOTAL MIN. VENTS PROVIDED:	10

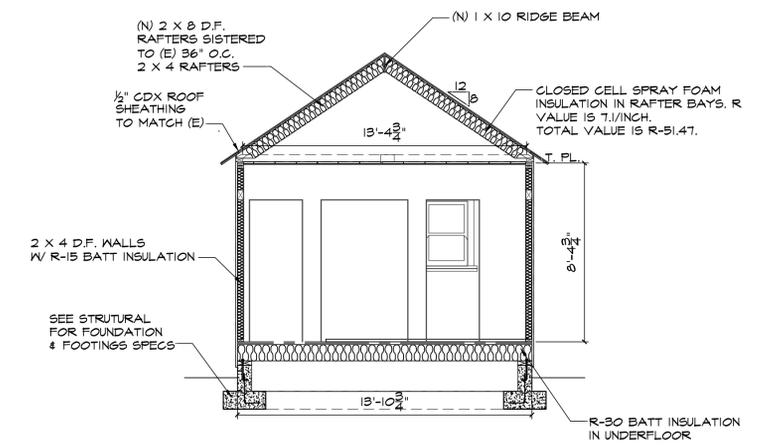
Rev:	Date



SECTION A-A (EXISTING)  
SCALE: 1/4"=1'-0"



SECTION B-B  
SCALE: 1/4"=1'-0"



SECTION C-C (NEW)  
SCALE: 1/4"=1'-0"

McFARLANE & McFARLANE  
135 18th ST., PACIFIC GROVE  
APN: 006-163-013-000

SECTIONS  
&  
DETAILS

Paul Henri Carvalho  
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831-818-5775  
paulhenri@paulhenriimages.com

Date: 11-07-18  
Drawn by: PHC  
Job #: 18-043

A-J



## CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • [www.ci.pg.ca.us/cdd](http://www.ci.pg.ca.us/cdd)

**ARCHITECTURAL PERMIT (AP) 20-0062  
FOR A PROPERTY LOCATED AT 135 18<sup>th</sup> STREET TO ALLOW THE DEMOLITION OF AN  
EXISTING 51 SF BATHROOM AT THE REAR OF AN EXISTING SINGLE-FAMILY RESIDENCE  
TO BE REPLACED WITH A 45 SF BATHROOM. THE PROPERTY IS LISTING ON THE  
HISTORIC RESOURCES INVENTORY.**

### FACTS

1. The subject site is located at 135 18<sup>th</sup> Street, Pacific Grove, APN 006-163-013
2. The subject site has a designation of High Density Residential (19.8 du/ac) on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-3-PGR zoning district.
4. The subject site is 1,800 square feet.
5. The subject site is developed with a single family dwelling and a detached accessory structure.
6. The project has been determined to be exempt from a Coastal Development Permit per Local Coastal Program Implementation Plan Section 23.90.040 (A).
7. This project has been determined to be CEQA Exempt under CEQA Guidelines 15301 (e) & 15331 – Existing Facilities and Historical Resource Rehabilitation.

### AP FINDINGS

1. The proposed development will meet the development regulations set forth in the R-3-PGR zoning district including building coverage and height requirements;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines Nos. 27, 28, 31, and Appendix 1 of the Design Guidelines (Buildings on the Historic Resources Inventory);
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. The exterior alteration of the structure on the Historic Resources Inventory is consistent with the Secretary of the Interior's Standards for Rehabilitation of Historic Buildings, as determined by the Phase II Historic Report (Urban Programmers in Association with MBA Architects, November, 2019)

### PERMIT

Architectural Permit (AP) 20-0062 to allow the demolition of an existing 51 sf bathroom at the rear of an existing single-family residence to be replaced with a 45 sf bathroom. The property is listing on the Historic Resources Inventory.

### CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within two (2) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.

2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Historic Resources Committee approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approved plans for “135 18<sup>th</sup> St Addition” dated March 4, 2020 on file with the Community Development Department and to the Building Code, with the exception of any subsequently approved changes.
6. **Tree Protection Standards During Construction.** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
7. **Lighting.** All exterior lighting must conform to Architectural Review Guidelines Nos. 10 - 12
8. **Story Poles and Netting.** Following the 10 day appeal period all story poles and netting are required to be removed.
9. **Building Plans.** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.
10. **Archeology.** If cultural resources or human remains are discovered during construction, work shall be halted within 50 meters of the find until it can be evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated, with the concurrence of the City of Pacific Grove staff, and implemented.

**NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:**

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes approval of AP 20-0062 to allow the demolition of an existing 51 sf bathroom at the rear of an existing single-family residence to be replaced with a 45 sf bathroom. The property is listing on the Historic Resources Inventory.
3. This permit shall become effective upon the expiration of the 10-day appeal period.

4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Historic Resources Committee of the City of Pacific Grove on the 27<sup>th</sup> day of May, 2020, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

\_\_\_\_\_  
Claudia Sawyer, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

\_\_\_\_\_  
McFarlane & McFarlane, Owner

\_\_\_\_\_  
Date





**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alyson Hunter, Senior Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Deletion of 138 9th St. from the City's Historic Resources Inventory (HRI)  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

**From:** Alyson Hunter, Senior Planner

---

**RECOMMENDATION**

Delete the property from the Historic Resources Inventory (HRI) due to loss of historic integrity.

**BACKGROUND**

On November 20, 2019, the City Council accepted the Final Historic Resources Inventory (HRI) Survey Update, including the recommendations for deletion, and directed the Historic Resources Committee (HRC) to begin the removal process.

**DISCUSSION**

The 1914 Sanborn map indicates that the original building was a one-story, rectangular-plan residence with an open front porch. Between 1914 and 1926 a small, one-story projecting side bay was added. At an unknown date after 1962, the building was significantly expanded with a 2.5-story addition, a new stone chimney was constructed, and stone cladding was added to the base of the porch. The original design, form, massing, and footprint of the original c. 1914 building are no longer legible, resulting in a loss of historic integrity. (Page & Turnbull, 2019)

CEQA Status: Given that the subject properties are not historic resources, their removal from the Inventory does not constitute an individual nor cumulative significant negative effect on the environment. The administrative act of removing non-historic resources from the Inventory is not a "Project" per § 15378 of the California Environmental Quality Act (CEQA) Guidelines.

---

**Attachments**

DPR Form for 138 9th St.

---

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2 \*Resource Name or #: 138 9th St (APN 006202002000)

**P1. Other Identifier:**

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Monterey

\*b. USGS Quad(s): Monterey, California (1997)

c. Address: 138 9th St, Pacific Grove, CA 93950 (APN 006202002000)

d. UTM:

e. Other Locational Data: Latitude, Longitude (Decimal Degrees) 36.6203150204925, -121.911766666221

\*P3a. Description:

- Architectural Style(s): Craftsman, Vernacular
- Construction Type: Wood Frame
- Number of Stories: 2.5
- Basement: Not Visible
- Garage: None
- Roof Type(s): Gable
- Roof Material(s): Asphalt Shingle
- Wall Material(s): Wood Bevel, Wood Shingle
- Window Type(s): Hung
- Window Material(s): Vinyl, Wood
- Architectural Features: Chimney, Open Porch, Overhanging Eaves
- Decorative Details: Brackets, Masonry Base and/or Porch
- Alterations: Incompatible Addition, Altered Form or Roofline, Replacement Window(s)
- Additional Remarks: See evaluation notes. Building was originally one-story. Chimney is not original and stone cladding at base of the porch is not original.

\*P3b. Resource Attributes: HP02 (Single family property)

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (isolates, etc.)

**P5a. Photo**



\*P5b. Description of Photo:

Primary façade, 8/3/2018.

\*P6. Date Constructed/Age & Sources:

- Prehistoric  Protohistoric  
 Historic  Unknown

Circa 1914. Sources: Sanborn Maps; PG HRI Database (6/19/18).

\*P7. Owner and Address:

Carter Brant M & Jacquelyn R Trs  
131 7th St  
Pacific Grove, CA 93950

\*P8. Recorded by:

Hannah Simonson, Page & Turnbull  
170 Maiden Lane, 5th Floor  
San Francisco, CA 94108

\*P9. Date Recorded: 8/3/2018

Finalized: 10/18/2019

\*P10. Survey Type: Reconnaissance

\*P11. Citation: Page & Turnbull. "Pacific Grove Historic Resource Inventory (HRI) Survey Report." Prepared for the City of Pacific Grove, October 18, 2019 [Final Report].

\* Attachments:  None  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other:

Page 2 of 2 \*Resource Name or #: 138 9th St (APN 006202002000)

\*Recorded By: Hannah Simonson

\*Date Recorded: 8/3/2018

Finalized: 10/18/2019

**Historic Name:**

**Original Use:** Residential

**Present Use:** Residential

**Original Owner:**

**Architect/Builder:**

**Significance**

***Pacific Grove Historic Context Statement Theme:*** Residential Development

**Period of Development:** Pacific Grove Comes of Age (1903-1926)

**Integrity:** No Historic Integrity

**Period of Significance:** Not Applicable

**Eligible for Pacific Grove HRI:** No

**Level of Significance:** Not Applicable

**Appears Individually Eligible for National Register and/or California Register:** No

**California Historic Resource Status Codes:** 6Z

**Evaluation Notes:** The 1914 Sanborn map indicates that the original building was a one-story, rectangular-plan residence with an open front porch. Between 1914 and 1926 a small, one-story projecting side bay was added. At an unknown date after 1962, the building was significantly expanded with a 2.5-story addition, a new stone chimney was constructed, and stone cladding was added to the base of the porch. The original design, form, massing, and footprint of the original c. 1914 building are no longer legible, resulting in a loss of historic integrity.

National/ California Register	PG Municipal Code §23.76	Significance	Discussion of Individual Eligibility
A/1	A, B	Events, Patterns & Trends	Not found to be eligible under these criteria during the course of this survey.
B/2	C	Persons	Not found to be eligible under these criteria during the course of this survey.
C/3	D, E, F, G, H, I	Architecture & Design	Not found to be eligible under these criteria during the course of this survey due to loss of historic integrity.
D/4		Information Potential	Properties were not evaluated for significance under these criteria as part of this survey.

**References:** Page & Turnbull. *City of Pacific Grove Historic Context Statement*. Prepared for City of Pacific Grove, CA. Approved by City Council October 19, 2011.



**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alyson Hunter, Senior Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Deletion of 150 13th St. from the City's Historic Resources Inventory (HRI)  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

**From:** Alyson Hunter, Senior Planner

---

**RECOMMENDATION**

Delete 150 13th St. from the City's Historic Resources Inventory (HRI) due to loss of historic integrity.

**BACKGROUND**

On November 20, 2019, the City Council accepted the Final Historic Resources Inventory (HRI) Survey Update, including the recommendations for deletion, and directed the Historic Resources Committee (HRC) to begin the removal process.

**DISCUSSION**

Prominent flat roof front addition is not compatible and results in loss of historic integrity. (Page & Turnbull, 2019)

CEQA Status: Given that the subject properties are not historic resources, their removal from the Inventory does not constitute an individual nor cumulative significant negative effect on the environment. The administrative act of removing non-historic resources from the Inventory is not a "Project" per § 15378 of the California Environmental Quality Act (CEQA) Guidelines.

---

**Attachments**

DPR Form for 150 13th St.

---

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6L

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2 \*Resource Name or #: 150 13th St (APN 006176012000)

**P1. Other Identifier:**

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Monterey

\*b. USGS Quad(s): Monterey, California (1997)

c. Address: 150 13th St, Pacific Grove, CA 93950 (APN 006176012000)

d. UTM:

e. Other Locational Data: Latitude, Longitude (Decimal Degrees) 36.6207737607356, -121.914968773518

\*P3a. Description:

- Architectural Style(s): Folk Victorian
- Construction Type: Wood Frame
- Number of Stories: 1
- Basement: No
- Garage: Detached
- Roof Type(s): Flat, Gable
- Roof Material(s): Asphalt Shingle
- Wall Material(s): Wood Drop, Wood Shingle, Wood Vertical
- Window Type(s): Fixed, Hung, Sliding
- Window Material(s): Vinyl, Wood
- Architectural Features: Bay Window(s), Entry Portico
- Decorative Details: Decorative Porch Detailing, Elaborated Gable End
- Alterations: Incompatible Addition, Altered Form or Roofline
- Additional Remarks: Vertical wood siding at front addition. Wood shingles in gable ends.

\*P3b. Resource Attributes: HP03 (Multiple family property); HP04 (Ancillary building)

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (isolates, etc.)

**P5a. Photo**



\*P5b. Description of Photo:

Primary façade, 8/3/2018.

\*P6. Date Constructed/Age & Sources:

- Prehistoric  Protohistoric  
 Historic  Unknown

1905. Sources: PG HRI Database (6/19/18).

\*P7. Owner and Address:

Mason Paul J  
150 13th St  
Pacific Grove, CA 93950

\*P8. Recorded by:

Katherine Wallace, Page & Turnbull  
170 Maiden Lane, 5th Floor  
San Francisco, CA 94108

\*P9. Date Recorded: 8/3/2018

Finalized: 10/18/2019

\*P10. Survey Type: Reconnaissance

\*P11. Citation: Page & Turnbull. "Pacific Grove Historic Resource Inventory (HRI) Survey Report." Prepared for the City of Pacific Grove, October 18, 2019 [Final Report].

\* Attachments:  None  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other:

Page 2 of 2 \*Resource Name or #: 150 13th St (APN 006176012000)

\*Recorded By: Katherine Wallace \*Date Recorded: 8/3/2018      Finalized: 10/18/2019

**Historic Name:**  
**Original Use:** Residential **Present Use:** Residential  
**Original Owner:** **Architect/Builder:**

**Significance**  
*Pacific Grove Historic Context Statement Theme:* Residential Development

**Period of Development:** Pacific Grove Comes of Age (1903-1926) **Period of Significance:** Not Applicable  
**Integrity:** No Historic Integrity **Level of Significance:** Not Applicable  
**Eligible for Pacific Grove HRI:** No  
**Appears Individually Eligible for National Register and/or California Register:** No  
**California Historic Resource Status Codes:** 6L  
**Evaluation Notes:** Prominent flat roof front addition is not compatible and results in loss of historic integrity.

National/ California Register	PG Municipal Code §23.76	Significance	Discussion of Individual Eligibility
A/1	A, B	Events, Patterns & Trends	Not found to be eligible under these criteria during the course of this survey.
B/2	C	Persons	Not found to be eligible under these criteria during the course of this survey.
C/3	D, E, F, G, H, I	Architecture & Design	Not found to be eligible under these criteria during the course of this survey due to loss of historic integrity.
D/4		Information Potential	Properties were not evaluated for significance under these criteria as part of this survey.

**References:** Page & Turnbull. *City of Pacific Grove Historic Context Statement*. Prepared for City of Pacific Grove, CA.  
 Approved by City Council October 19, 2011.



**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alyson Hunter, Senior Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Deletion of 308 14th St. from the Historic Resources Inventory (HRI).  
**CEQA:** Does not constitute a “Project” per California Environmental Quality Act Guidelines Section 15378

**From:** Alyson Hunter, Senior Planner

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**RECOMMENDATION**

Delete 308 14th St. from the Historic Resources Inventory (HRI) due to loss of historic integrity.

**BACKGROUND**

On November 20, 2019, the City Council accepted the Final Historic Resources Inventory (HRI) Survey Update, including the recommendations for deletion, and directed the Historic Resources Committee (HRC) to begin the removal process.

**DISCUSSION**

Cumulative alterations, including replacement vinyl windows and second story addition, have resulted in loss of historic integrity. (Page & Turnbull, 2019)

CEQA Status: Given that the subject properties are not historic resources, their removal from the Inventory does not constitute an individual nor cumulative significant negative effect on the environment. The administrative act of removing non-historic resources from the Inventory is not a “Project” per § 15378 of the California Environmental Quality Act (CEQA) Guidelines.

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**Attachments**

DPR Form for 308 14th St.

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State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2 \*Resource Name or #: 308 14th St (APN 006285004000)

**P1. Other Identifier:**

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Monterey

\*b. USGS Quad(s): Monterey, California (1997)

c. Address: 308 14th St, Pacific Grove, CA 93950 (APN 006285004000)

d. UTM:

e. Other Locational Data: Latitude, Longitude (Decimal Degrees) 36.6188534568465, -121.916370571899

\*P3a. Description:

- Architectural Style(s): Vernacular
- Construction Type: Wood Frame
- Number of Stories: 2
- Basement: Not Visible
- Garage: None
- Roof Type(s): Gable, Hipped
- Roof Material(s): Asphalt Shingle
- Wall Material(s): Brick, Wood Bevel
- Window Type(s): Fixed, Hung, Pivot
- Window Material(s): Wood
- Architectural Features: Bay Window(s), Enclosed Porch
- Decorative Details: Exposed Rafter Tails
- Alterations: Incompatible Addition
- Additional Remarks:

\*P3b. Resource Attributes: HP02 (Single family property)

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (isolates, etc.)

**P5a. Photo**



\*P5b. Description of Photo:

Primary façade, 8/29/2018.

\*P6. Date Constructed/Age & Sources:

- Prehistoric  Protohistoric  
 Historic  Unknown

1906. Sources: PG HRI Database (6/19/18).

\*P7. Owner and Address:

Anderson Thomas R & Rebecca J Trs  
20 Via Rubino  
Newport Coast, CA 92657

\*P8. Recorded by:

Katherine Wallace, Page & Turnbull  
170 Maiden Lane, 5th Floor  
San Francisco, CA 94108

\*P9. Date Recorded: 8/29/2018

Finalized: 10/18/2019

\*P10. Survey Type: Reconnaissance

\*P11. Citation: Page & Turnbull. "Pacific Grove Historic Resource Inventory (HRI) Survey Report." Prepared for the City of Pacific Grove, October 18, 2019 [Final Report].

\* Attachments:  None  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other:

Page 2 of 2 \*Resource Name or #: 308 14th St (APN 006285004000)

\*Recorded By: Katherine Wallace \*Date Recorded: 8/29/2018 Finalized: 10/18/2019

**Historic Name:**  
**Original Use:** Residential **Present Use:** Residential  
**Original Owner:** **Architect/Builder:**

**Significance**  
**Pacific Grove Historic Context Statement Theme:** Residential Development

**Period of Development:** Pacific Grove Comes of Age (1903-1926) **Period of Significance:** Not Applicable  
**Integrity:** No Historic Integrity **Level of Significance:** Not Applicable  
**Eligible for Pacific Grove HRI:** No  
**Appears Individually Eligible for National Register and/or California Register:** No  
**California Historic Resource Status Codes:** 6Z  
**Evaluation Notes:** Cumulative alterations, including replacement vinyl windows and second story addition, have resulted in loss of historic integrity.

National/ California Register	PG Municipal Code §23.76	Significance	Discussion of Individual Eligibility
A/1	A, B	Events, Patterns & Trends	Not found to be eligible under these criteria during the course of this survey.
B/2	C	Persons	Not found to be eligible under these criteria during the course of this survey.
C/3	D, E, F, G, H, I	Architecture & Design	Not found to be eligible under these criteria during the course of this survey due to loss of historic integrity.
D/4		Information Potential	Properties were not evaluated for significance under these criteria as part of this survey.

**References:** Page & Turnbull. *City of Pacific Grove Historic Context Statement*. Prepared for City of Pacific Grove, CA. Approved by City Council October 19, 2011.





**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alyson Hunter, Senior Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Deletion of 511 18 St. from the City's Historic Resources Inventory (HRI) due to loss of integrity.  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378  
**From:** Alyson Hunter, Senior Planner

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**RECOMMENDATION**

Delete 511 18 St. from the City's Historic Resources Inventory (HRI) due to loss of integrity.

**BACKGROUND**

On November 20, 2019, the City Council accepted the Final Historic Resources Inventory (HRI) Survey Update, including the recommendations for deletion, and directed the Historic Resources Committee (HRC) to begin the removal process.

**DISCUSSION**

Large two-story addition at the side (south) façade is highly visible and minimally set back, resulting in a loss of historic integrity. (Page & Turnbull, 2019)

CEQA Status: Given that the subject properties are not historic resources, their removal from the Inventory does not constitute an individual nor cumulative significant negative effect on the environment. The administrative act of removing non-historic resources from the Inventory is not a "Project" per § 15378 of the California Environmental Quality Act (CEQA) Guidelines.

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**Attachments**

DPR Form for 511 18th St.

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State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6L

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2 \*Resource Name or #: 511 18th St (APN 006476007000)

**P1. Other Identifier:**

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Monterey

\*b. USGS Quad(s): Monterey, California (1997)

c. Address: 511 18th St, Pacific Grove, CA 93950 (APN 006476007000)

d. UTM:

e. Other Locational Data: Latitude, Longitude (Decimal Degrees) 36.6177207280732, -121.920871775957

\*P3a. Description:

- Architectural Style(s): Vernacular
- Construction Type: Wood Frame
- Number of Stories: 2
- Basement: Not Visible
- Garage: Attached
- Roof Type(s): Hipped
- Roof Material(s): Wood Shingle
- Wall Material(s): Wood Bevel
- Window Type(s): Hung
- Window Material(s): Wood
- Architectural Features: Entry Portico
- Decorative Details:
- Alterations: Incompatible Addition, Altered Form or Roofline
- Additional Remarks:

\*P3b. Resource Attributes: HP02 (Single family property)

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (isolates, etc.)

**P5a. Photo**



\*P5b. Description of Photo:

Primary façade, 8/27/2018.

\*P6. Date Constructed/Age & Sources:

- Prehistoric  Protohistoric  
 Historic  Unknown

1908. Sources: Heritage Society's Green Plaque List.

\*P7. Owner and Address:

Spade Nancy Cook Tr  
511 18th St  
Pacific Grove, CA 93950

\*P8. Recorded by:

Katherine Wallace, Page & Turnbull  
170 Maiden Lane, 5th Floor  
San Francisco, CA 94108

\*P9. Date Recorded: 8/27/2018

Finalized: 10/18/2019

\*P10. Survey Type: Reconnaissance

\*P11. Citation: Page & Turnbull. "Pacific Grove Historic Resource Inventory (HRI) Survey Report." Prepared for the City of Pacific Grove, October 18, 2019 [Final Report].

\* Attachments:  None  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other:

Page 2 of 2 \*Resource Name or #: 511 18th St (APN 006476007000)

\*Recorded By: Katherine Wallace

\*Date Recorded: 8/27/2018 Finalized: 10/18/2019

**Historic Name:**

**Original Use:** Residential

**Present Use:** Residential

**Original Owner:** Genevieve Murray

**Architect/Builder:**

**Significance**

***Pacific Grove Historic Context Statement Theme:*** Residential Development

**Period of Development:** Pacific Grove Comes of Age (1903-1926)

**Integrity:** No Historic Integrity

**Period of Significance:** Not Applicable

**Eligible for Pacific Grove HRI:** No

**Level of Significance:** Not Applicable

**Appears Individually Eligible for National Register and/or California Register:** No

**California Historic Resource Status Codes:** 6L

**Evaluation Notes:** Large two-story addition at the side (south) façade is highly visible and minimally set back, resulting in a loss of historic integrity.

National/ California Register	PG Municipal Code §23.76	Significance	Discussion of Individual Eligibility
A/1	A, B	Events, Patterns & Trends	Not found to be eligible under these criteria during the course of this survey.
B/2	C	Persons	Not found to be eligible under these criteria during the course of this survey.
C/3	D, E, F, G, H, I	Architecture & Design	Not found to be eligible under these criteria during the course of this survey due to loss of historic integrity.
D/4		Information Potential	Properties were not evaluated for significance under these criteria as part of this survey.

**References:** Page & Turnbull. *City of Pacific Grove Historic Context Statement*. Prepared for City of Pacific Grove, CA. Approved by City Council October 19, 2011.



**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alyson Hunter, Senior Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Deletion of 244 Central Ave. from the City's Historic Resources Inventory (HRI).  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

**From:** Alyson Hunter, Senior Planner

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**RECOMMENDATION**

Delete 244 Central Ave. from the City's Historic Resources Inventory (HRI) due to loss of historic integrity.

**BACKGROUND**

On November 20, 2019, the City Council accepted the Final Historic Resources Inventory (HRI) Survey Update, including the recommendations for deletion, and directed the Historic Resources Committee (HRC) to begin the removal process.

**DISCUSSION**

Front entryway volume is not original. Sizeable additions at the northwest and north sides of the building are highly visible from Central Avenue and 3rd Street. Original building form, mass and design are no longer legible. (Page & Turnbull, 2019)

CEQA Status: Given that the subject properties are not historic resources, their removal from the Inventory does not constitute an individual nor cumulative significant negative effect on the environment. The administrative act of removing non-historic resources from the Inventory is not a "Project" per § 15378 of the California Environmental Quality Act (CEQA) Guidelines.

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**Attachments**

DPR Form for 244 Central Ave.

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State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6L

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2 \*Resource Name or #: 244 Central Ave (APN 006221006000)

**P1. Other Identifier:**

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Monterey

\*b. USGS Quad(s): Monterey, California (1997)

c. Address: 244 Central Ave, Pacific Grove, CA 93950 (APN 006221006000)

d. UTM:

e. Other Locational Data: Latitude, Longitude (Decimal Degrees) 36.6199455328554, -121.908565090901

\*P3a. Description:

- Architectural Style(s): Folk Victorian
- Construction Type: Wood Frame
- Number of Stories: 1
- Basement: Yes
- Garage: Attached
- Roof Type(s): Gable, Hipped
- Roof Material(s): Asphalt Shingle
- Wall Material(s): Wood Shingle, Wood Bevel
- Window Type(s): Hung, Fixed
- Window Material(s): Wood
- Architectural Features: Chimney, Enclosed Porch, Overhanging Eaves
- Decorative Details: Gable Trim, Elaborated Gable End, Sidelight(s)
- Alterations: Incompatible Addition, Altered Entry
- Additional Remarks:

\*P3b. Resource Attributes: HP02 (Single family property)

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (isolates, etc.)

**P5a. Photo**



\*P5b. Description of Photo:

Primary façade, 8/3/2018.

\*P6. Date Constructed/Age & Sources:

- Prehistoric  Protohistoric  
 Historic  Unknown

1905. Sources: PG HRI Database (6/19/18).

\*P7. Owner and Address:

Martine Homer Donald Tr  
PO Box 330  
Pacific Grove, CA 93950

\*P8. Recorded by:

Katherine Wallace, Page & Turnbull  
170 Maiden Lane, 5th Floor  
San Francisco, CA 94108

\*P9. Date Recorded: 8/3/2018

Finalized: 10/18/2019

\*P10. Survey Type: Reconnaissance

\*P11. Citation: Page & Turnbull. "Pacific Grove Historic Resource Inventory (HRI) Survey Report." Prepared for the City of Pacific Grove, October 18, 2019 [Final Report].

\* Attachments:  None  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other:

Page 2 of 2 \*Resource Name or #: 244 Central Ave (APN 006221006000)

\*Recorded By: Katherine Wallace \*Date Recorded: 8/3/2018    Finalized: 10/18/2019

**Historic Name:**  
**Original Use:** Residential **Present Use:** Residential  
**Original Owner:** **Architect/Builder:**

**Significance**  
**Pacific Grove Historic Context Statement Theme:** Residential Development

**Period of Development:** Pacific Grove Comes of Age (1903-1926) **Period of Significance:** Not Applicable  
**Integrity:** No Historic Integrity **Level of Significance:** Not Applicable  
**Eligible for Pacific Grove HRI:** No  
**Appears Individually Eligible for National Register and/or California Register:** No

**California Historic Resource Status Codes:** 6L  
**Evaluation Notes:** Front entryway volume is not original. Sizeable additions at the northwest and north sides of the building are highly visible from Central Avenue and 3rd Street. Original building form, mass and design are no longer legible.

National/ California Register	PG Municipal Code §23.76	Significance	Discussion of Individual Eligibility
A/1	A, B	Events, Patterns & Trends	Not found to be eligible under these criteria during the course of this survey.
B/2	C	Persons	Not found to be eligible under these criteria during the course of this survey.
C/3	D, E, F, G, H, I	Architecture & Design	Not found to be eligible under these criteria during the course of this survey due to loss of historic integrity.
D/4		Information Potential	Properties were not evaluated for significance under these criteria as part of this survey.

**References:** Page & Turnbull. *City of Pacific Grove Historic Context Statement*. Prepared for City of Pacific Grove, CA. Approved by City Council October 19, 2011.



**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alyson Hunter, Senior Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Deletion of 217 Forest Ave. from the City's Historic Resources Inventory (HRI).  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

**From:** Alyson Hunter, Senior Planner

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**RECOMMENDATION**

Delete 217 Forest Ave. from the City's Historic Resources Inventory (HRI) due to lost integrity.

**BACKGROUND**

On November 20, 2019, the City Council accepted the Final Historic Resources Inventory (HRI) Survey Update, including the recommendations for deletion, and directed the Historic Resources Committee (HRC) to begin the removal process.

**DISCUSSION**

The original brick bulkhead has been painted. Although the building retains a possibly original neon blade sign, the entire storefront window system and entry has been altered on this modest commercial building, resulting in a loss of historic integrity. (Page & Turnbull, 2019)

CEQA Status: Given that the subject properties are not historic resources, their removal from the Inventory does not constitute an individual nor cumulative significant negative effect on the environment. The administrative act of removing non-historic resources from the Inventory is not a "Project" per § 15378 of the California Environmental Quality Act (CEQA) Guidelines.

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**Attachments**

DPR Form for 217 Forest Ave.

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State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6L

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2 \*Resource Name or #: 217 Forest Ave (APN 006282017000)

**P1. Other Identifier:**

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Monterey

\*b. USGS Quad(s): Monterey, California (1997)

c. Address: 217 Forest Ave, Pacific Grove, CA 93950 (APN 006282017000)

d. UTM:

e. Other Locational Data: Latitude, Longitude (Decimal Degrees) 36.6202346236603, -121.917976814713

\*P3a. Description:

- Architectural Style(s): 20th Century Commercial
- Construction Type: Wood Frame
- Number of Stories: 1
- Basement: Not Visible
- Garage: None
- Roof Type(s): Flat
- Roof Material(s): Not Visible
- Wall Material(s): Stucco
- Window Type(s): Storefront
- Window Material(s): Wood
- Architectural Features: Parapet, Recessed Entrance
- Decorative Details:
- Alterations: Replacement Window(s), Replacement Door(s)
- Additional Remarks:

\*P3b. Resource Attributes: HP06 (1-3 story commercial building)

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (isolates, etc.)

**P5a. Photo**



\*P5b. Description of Photo:

Primary façade, 8/3/2018.

\*P6. Date Constructed/Age & Sources:

- Prehistoric  Protohistoric
- Historic  Unknown

Circa 1933. Sources: Monterey County Assessor's Records.

\*P7. Owner and Address:

Olsson Paula M & Richard L Saunders Trs  
230 Washington Ave  
Savannah, GA 31405

\*P8. Recorded by:

Hannah Simonson, Page & Turnbull  
170 Maiden Lane, 5th Floor  
San Francisco, CA 94108

\*P9. Date Recorded: 8/3/2018

Finalized: 10/18/2019

\*P10. Survey Type: Reconnaissance

\*P11. Citation: Page & Turnbull. "Pacific Grove Historic Resource Inventory (HRI) Survey Report." Prepared for the City of Pacific Grove, October 18, 2019 [Final Report].

\* Attachments:  None  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other:

Page 2 of 2 \*Resource Name or #: 217 Forest Ave (APN 006282017000)

\*Recorded By: Hannah Simonson \*Date Recorded: 8/3/2018    Finalized: 10/18/2019

**Historic Name:**  
**Original Use:** Commercial **Present Use:** Commercial  
**Original Owner:** **Architect/Builder:**

**Significance**  
**Pacific Grove Historic Context Statement Theme:** Commercial Development

**Period of Development:** City of Homes (1927-1945) **Period of Significance:** Not Applicable  
**Integrity:** No Historic Integrity **Level of Significance:** Not Applicable  
**Eligible for Pacific Grove HRI:** No  
**Appears Individually Eligible for National Register and/or California Register:** No

**California Historic Resource Status Codes:** 6L

**Evaluation Notes:** The original brick bulkhead has been painted. Although the building retains a possibly original neon blade sign, the entire storefront window system and entry has been altered on this modest commercial building, resulting in a loss of historic integrity.

National/ California Register	PG Municipal Code §23.76	Significance	Discussion of Individual Eligibility
A/1	A, B	Events, Patterns & Trends	Not found to be eligible under these criteria during the course of this survey.
B/2	C	Persons	Not found to be eligible under these criteria during the course of this survey.
C/3	D, E, F, G, H, I	Architecture & Design	Not found to be eligible under these criteria during the course of this survey due to loss of historic integrity.
D/4		Information Potential	Properties were not evaluated for significance under these criteria as part of this survey.

**References:** Page & Turnbull. *City of Pacific Grove Historic Context Statement*. Prepared for City of Pacific Grove, CA. Approved by City Council October 19, 2011.





**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alyson Hunter, Senior Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Deletion of 601 Fountain Ave. from the City's Historic Resources Inventory (HRI).  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

**From:** Alyson Hunter, Senior Planner

---

**RECOMMENDATION**

Delete 601 Fountain Ave. from the City's Historic Resources Inventory (HRI) due to loss of historic integrity.

**BACKGROUND**

On November 20, 2019, the City Council accepted the Final Historic Resources Inventory (HRI) Survey Update, including the recommendations for deletion, and directed the Historic Resources Committee (HRC) to begin the removal process.

**DISCUSSION**

Large second-story hipped roof addition is not compatible as it alters the original form and roofline and is not sufficiently set back from the primary facades, resulting in a loss of historic integrity. (Page & Turnbull, 2019)

CEQA Status: Given that the subject properties are not historic resources, their removal from the Inventory does not constitute an individual nor cumulative significant negative effect on the environment. The administrative act of removing non-historic resources from the Inventory is not a "Project" per § 15378 of the California Environmental Quality Act (CEQA) Guidelines.

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**Attachments**

DPR Form for 601 Fountain Ave.

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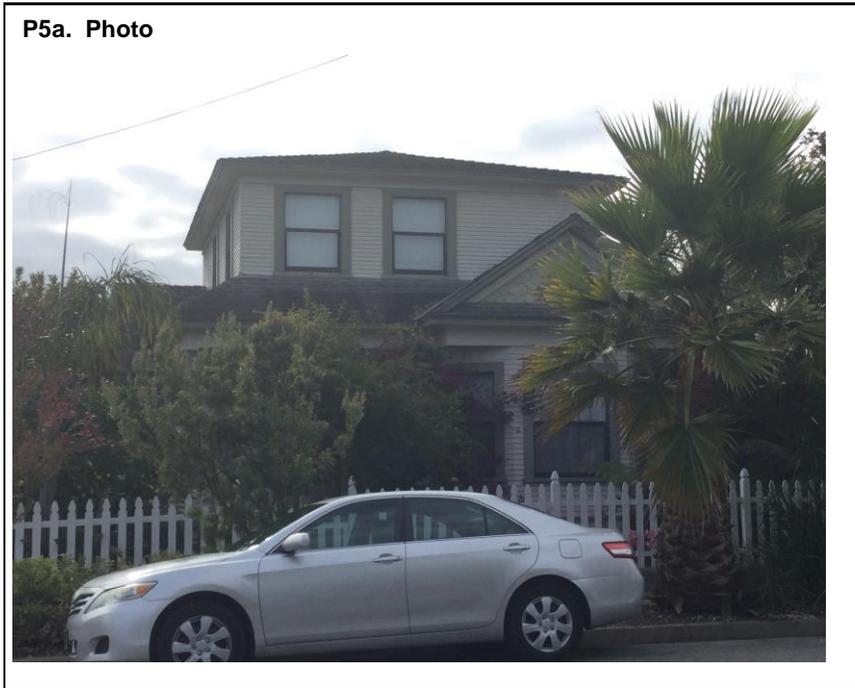
<b>State of California - The Resources Agency</b> <b>DEPARTMENT OF PARKS AND RECREATION</b> <b>PRIMARY RECORD</b>	<b>Primary #</b> _____ <b>HRI #</b> _____ <b>Trinomial</b> _____ <b>NRHP Status Code</b> <u>6L</u>
<b>Other Listings</b> _____ <b>Review Code</b> _____ <b>Reviewer</b> _____ <b>Date</b> _____	

Page 1 of 2 \*Resource Name or #: 601 Fountain Ave (APN 006544004000)

- P1. Other Identifier:**
- \***P2. Location:**  Not for Publication  Unrestricted \*a. **County:** Monterey
- \*b. **USGS Quad(s):** Monterey, California (1997)
- c. **Address:** 601 Fountain Ave, Pacific Grove, CA 93950 (APN 006544004000)
- d. **UTM:**
- e. **Other Locational Data:** Latitude, Longitude (Decimal Degrees) 36.616386927725, -121.918246027254
- \***P3a. Description:**

- |  |   |
|--|---|
| <ul style="list-style-type: none"> <li>- Architectural Style(s): Vernacular</li> <li>- Construction Type: Wood Frame</li> <li>- Number of Stories: 2</li> <li>- Basement: Not Visible</li> <li>- Garage: Detached</li> <li>- Roof Type(s): Gable, Hipped</li> <li>- Roof Material(s): Asphalt Shingle</li> <li>- Wall Material(s): Wood Bevel</li> <li>- Window Type(s): Hung</li> <li>- Window Material(s): Wood</li> </ul> | <ul style="list-style-type: none"> <li>- Architectural Features: Bay Window(s), Open Porch</li> <li>- Decorative Details:</li> <li>- Alterations: Incompatible Addition</li> <li>- Additional Remarks:</li> </ul> |
|--|---|

- \***P3b. Resource Attributes:** HP02 (Single family property); HP04 (Ancillary building)
- \***P4. Resources Present:**  Building  Structure  Object  Site  District  Element of District  Other (isolates, etc.)



- \***P5b. Description of Photo:**  
Primary façade, 8/29/2018.
- \***P6. Date Constructed/Age & Sources:**
- Prehistoric  Protohistoric  
 Historic  Unknown
- Circa 1912. Sources: Monterey County Assessor's Records.
- \***P7. Owner and Address:**  
Yi Man  
601 Fountain Ave  
Pacific Grove, CA 93950
- \***P8. Recorded by:**  
Katherine Wallace, Page & Turnbull  
170 Maiden Lane, 5th Floor  
San Francisco, CA 94108
- \***P9. Date Recorded:** 8/29/2018  
Finalized: 10/18/2019
- \***P10. Survey Type:** Reconnaissance

- \***P11. Citation:** Page & Turnbull. "Pacific Grove Historic Resource Inventory (HRI) Survey Report." Prepared for the City of Pacific Grove, October 18, 2019 [Final Report].
- \* **Attachments:**  None  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other:

Page 2 of 2 \*Resource Name or #: 601 Fountain Ave (APN 006544004000)

\*Recorded By: Katherine Wallace \*Date Recorded: 8/29/2018 Finalized: 10/18/2019

**Historic Name:**  
**Original Use:** Residential **Present Use:** Residential  
**Original Owner:** **Architect/Builder:**

**Significance**  
**Pacific Grove Historic Context Statement Theme:** Residential Development

**Period of Development:** Pacific Grove Comes of Age (1903-1926) **Period of Significance:** Not Applicable  
**Integrity:** No Historic Integrity **Level of Significance:** Not Applicable  
**Eligible for Pacific Grove HRI:** No  
**Appears Individually Eligible for National Register and/or California Register:** No

**California Historic Resource Status Codes:** 6L  
**Evaluation Notes:** Large second-story hipped roof addition is not compatible as it alters the original form and roofline and is not sufficiently set back from the primary facades, resulting in a loss of historic integrity.

National/ California Register	PG Municipal Code §23.76	Significance	Discussion of Individual Eligibility
A/1	A, B	Events, Patterns & Trends	Not found to be eligible under these criteria during the course of this survey.
B/2	C	Persons	Not found to be eligible under these criteria during the course of this survey.
C/3	D, E, F, G, H, I	Architecture & Design	Not found to be eligible under these criteria during the course of this survey due to loss of historic integrity.
D/4		Information Potential	Properties were not evaluated for significance under these criteria as part of this survey.

**References:** Page & Turnbull. *City of Pacific Grove Historic Context Statement*. Prepared for City of Pacific Grove, CA. Approved by City Council October 19, 2011.





**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alyson Hunter, Senior Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Deletion of 182 Laurel Ave. from the City's Historic Resources Inventory (HRI).  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

**From:** Alyson Hunter, Senior Planner

---

**RECOMMENDATION**

Delete 182 Laurel Ave. from the City's Historic Resources Inventory (HRI) due to lost historic integrity.

**BACKGROUND**

On November 20, 2019, the City Council accepted the Final Historic Resources Inventory (HRI) Survey Update, including the recommendations for deletion, and directed the Historic Resources Committee (HRC) to begin the removal process.

**DISCUSSION**

Large two-story addition built at west façade of historic residence with no setback. Scale and location of the addition are not compatible with the small, historic Craftsman bungalow, resulting in a loss of historic integrity. (Page & Turnbull, 2019)

CEQA Status: Given that the subject properties are not historic resources, their removal from the Inventory does not constitute an individual nor cumulative significant negative effect on the environment. The administrative act of removing non-historic resources from the Inventory is not a "Project" per § 15378 of the California Environmental Quality Act (CEQA) Guidelines.

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**Attachments**

DPR Form for 182 Laurel Ave.

---

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6L

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2 \*Resource Name or #: 182 Laurel Ave (APN 006244003000)

**P1. Other Identifier:**

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Monterey

\*b. USGS Quad(s): Monterey, California (1997)

c. Address: 182 Laurel Ave, Pacific Grove, CA 93950 (APN 006244003000)

d. UTM:

e. Other Locational Data: Latitude, Longitude (Decimal Degrees) 36.6170398487196, -121.908002086861

\*P3a. Description:

- Architectural Style(s): Craftsman
- Construction Type: Wood Frame
- Number of Stories: 2
- Basement: No
- Garage: None
- Roof Type(s): Gable
- Roof Material(s): Asphalt Shingle
- Wall Material(s): Stucco
- Window Type(s): Casement
- Window Material(s): Wood
- Architectural Features: Chimney, Open Porch, Overhanging Eaves
- Decorative Details: Brackets, Sidelight(s)
- Alterations: Incompatible Addition
- Additional Remarks:

\*P3b. Resource Attributes: HP02 (Single family property)

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (isolates, etc.)

**P5a. Photo**



\*P5b. Description of Photo:

Primary façade, 8/1/2018.

\*P6. Date Constructed/Age & Sources:

- Prehistoric  Protohistoric  
 Historic  Unknown

Circa 1930. Sources: Monterey County Assessor's Records.

\*P7. Owner and Address:

Miller John A & Miller Virginia A  
182 Laurel Ave  
Pacific Grove, CA 93950

\*P8. Recorded by:

Hannah Simonson, Page & Turnbull  
170 Maiden Lane, 5th Floor  
San Francisco, CA 94108

\*P9. Date Recorded: 8/1/2018

Finalized: 10/18/2019

\*P10. Survey Type: Reconnaissance

\*P11. Citation: Page & Turnbull. "Pacific Grove Historic Resource Inventory (HRI) Survey Report." Prepared for the City of Pacific Grove, October 18, 2019 [Final Report].

\* Attachments:  None  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other:

Page 2 of 2 \*Resource Name or #: 182 Laurel Ave (APN 006244003000)

\*Recorded By: Hannah Simonson

\*Date Recorded: 8/1/2018

Finalized: 10/18/2019

**Historic Name:**

**Original Use:** Residential

**Present Use:** Residential

**Original Owner:**

**Architect/Builder:**

**Significance**

***Pacific Grove Historic Context Statement Theme:*** Residential Development

**Period of Development:** City of Homes (1927-1945)

**Integrity:** No Historic Integrity

**Period of Significance:** Not Applicable

**Eligible for Pacific Grove HRI:** No

**Level of Significance:** Not Applicable

**Appears Individually Eligible for National Register and/or California Register:** No

**California Historic Resource Status Codes:** 6L

**Evaluation Notes:** Large two-story addition built at west façade of historic residence with no setback. Scale and location of the addition are not compatible with the small, historic Craftsman bungalow, resulting in a loss of historic integrity.

National/ California Register	PG Municipal Code §23.76	Significance	Discussion of Individual Eligibility
A/1	A, B	Events, Patterns & Trends	Not found to be eligible under these criteria during the course of this survey.
B/2	C	Persons	Not found to be eligible under these criteria during the course of this survey.
C/3	D, E, F, G, H, I	Architecture & Design	Not found to be eligible under these criteria during the course of this survey due to loss of historic integrity.
D/4		Information Potential	Properties were not evaluated for significance under these criteria as part of this survey.

**References:** Page & Turnbull. *City of Pacific Grove Historic Context Statement*. Prepared for City of Pacific Grove, CA. Approved by City Council October 19, 2011.





**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alyson Hunter, Senior Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Deletion of 147 Monterey Ave. from the City's Historic Resources Inventory (HRI).  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

**From:** Alyson Hunter, Senior Planner

---

**RECOMMENDATION**

Delete 147 Monterey Ave. from the City's Historic Resources Inventory (HRI) due to lack of historic significance.

**BACKGROUND**

On November 20, 2019, the City Council accepted the Final Historic Resources Inventory (HRI) Survey Update, including the recommendations for deletion, and directed the Historic Resources Committee (HRC) to begin the removal process.

**DISCUSSION**

The property does not appear to meet eligibility requirements. Not a good or representative example of an architectural style or property type of the period of development. (Page & Turnbull, 2019)

CEQA Status: Given that the subject properties are not historic resources, their removal from the Inventory does not constitute an individual nor cumulative significant negative effect on the environment. The administrative act of removing non-historic resources from the Inventory is not a "Project" per § 15378 of the California Environmental Quality Act (CEQA) Guidelines.

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**Attachments**

DPR Form for 147 Monterey Ave.

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<b>State of California - The Resources Agency</b> <b>DEPARTMENT OF PARKS AND RECREATION</b> <b>PRIMARY RECORD</b>	<b>Primary #</b> _____ <b>HRI #</b> _____ <b>Trinomial</b> _____ <b>NRHP Status Code</b> <u>6L</u>
<b>Other Listings</b> _____ <b>Review Code</b> _____ <b>Reviewer</b> _____ <b>Date</b> _____	

Page 1 of 2 \*Resource Name or #: 147 Monterey Ave (APN 006209001000)

- P1. Other Identifier:**
- \***P2. Location:**  Not for Publication  Unrestricted \*a. **County:** Monterey
- \*b. **USGS Quad(s):** Monterey, California (1997)
- c. **Address:** 147 Monterey Ave, Pacific Grove, CA 93950 (APN 006209001000)
- d. **UTM:**
- e. **Other Locational Data:** Latitude, Longitude (Decimal Degrees) 36.6201462988768, -121.912599427264
- \***P3a. Description:**

- |  |  |
|--|--|
| <ul style="list-style-type: none"> <li>- Architectural Style(s): Vernacular</li> <li>- Construction Type: Wood Frame</li> <li>- Number of Stories: 1</li> <li>- Basement: Not Visible</li> <li>- Garage: Detached</li> <li>- Roof Type(s): Gable</li> <li>- Roof Material(s): Asphalt Shingle</li> <li>- Wall Material(s): Wood Bevel</li> <li>- Window Type(s): Casement</li> <li>- Window Material(s): Wood</li> </ul> | <ul style="list-style-type: none"> <li>- Architectural Features: Enclosed Porch, Overhanging Eaves</li> <li>- Decorative Details: Exposed Rafter Tails</li> <li>- Alterations: Replacement Window(s)</li> <li>- Additional Remarks:</li> </ul> |
|--|--|

- \***P3b. Resource Attributes:** HP02 (Single family property); HP04 (Ancillary building)
- \***P4. Resources Present:**  Building  Structure  Object  Site  District  Element of District  Other (isolates, etc.)



- \***P5b. Description of Photo:**  
Primary façade, 8/3/2018.
- \***P6. Date Constructed/Age & Sources:**  
 Prehistoric  Protohistoric  
 Historic  Unknown  
 1920. Sources: PG HRI Database (6/19/18).
- \***P7. Owner and Address:**  
 Holthouse Leonard W & Mary Linda Trs  
 1500 Day Rd  
 Gilroy, CA 95020
- \***P8. Recorded by:**  
 Hannah Simonson, Page & Turnbull  
 170 Maiden Lane, 5th Floor  
 San Francisco, CA 94108
- \***P9. Date Recorded:** 8/3/2018  
 Finalized: 10/18/2019
- \***P10. Survey Type:** Reconnaissance

\***P11. Citation:** Page & Turnbull. "Pacific Grove Historic Resource Inventory (HRI) Survey Report." Prepared for the City of Pacific Grove, October 18, 2019 [Final Report].

- \* **Attachments:**  None  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other:

Page 2 of 2 \*Resource Name or #: 147 Monterey Ave (APN 006209001000)

\*Recorded By: Hannah Simonson

\*Date Recorded: 8/3/2018

Finalized: 10/18/2019

**Historic Name:**

**Original Use:** Residential

**Present Use:** Residential

**Original Owner:**

**Architect/Builder:**

**Significance**

**Pacific Grove Historic Context Statement Theme:** Property does not appear to meet any criteria historic significance.

**Period of Development:** Not Applicable

**Integrity:** Not Applicable

**Period of Significance:** Not Applicable

**Eligible for Pacific Grove HRI:** No

**Level of Significance:** Not Applicable

**Appears Individually Eligible for National Register and/or California Register:** No

**California Historic Resource Status Codes:** 6L

**Evaluation Notes:** No significance. Does not appear to meet eligibility requirements. Not a good or representative example of an architectural style or property type of the period of development.

National/ California Register	PG Municipal Code §23.76	Significance	Discussion of Individual Eligibility
A/1	A, B	Events, Patterns & Trends	Not found to be eligible under these criteria during the course of this survey.
B/2	C	Persons	Not found to be eligible under these criteria during the course of this survey.
C/3	D, E, F, G, H, I	Architecture & Design	Not found to be eligible under these criteria during the course of this survey.
D/4		Information Potential	Properties were not evaluated for significance under these criteria as part of this survey.

**References:** Page & Turnbull. *City of Pacific Grove Historic Context Statement*. Prepared for City of Pacific Grove, CA. Approved by City Council October 19, 2011.





**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alyson Hunter, Senior Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Deletion of 420 Sinex Ave. from the City's Historic Resources Inventory (HRI).  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

**From:** Alyson Hunter, Senior Planner

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**RECOMMENDATION**

Delete 420 Sinex Ave. from the City's Historic Resources Inventory (HRI) as a result of lost historic integrity.

**BACKGROUND**

On November 20, 2019, the City Council accepted the Final Historic Resources Inventory (HRI) Survey Update, including the recommendations for deletion, and directed the Historic Resources Committee (HRC) to begin the removal process.

**DISCUSSION**

The structure has altered pattern of windows or doors, replacement window(s), and the steps and/or porch replaced. Additional research has revealed that the window openings have been altered and incompatible windows installed. Cumulative alterations result in a loss of historic integrity. (Page & Turnbull, 2019)

CEQA Status: Given that the subject properties are not historic resources, their removal from the Inventory does not constitute an individual nor cumulative significant negative effect on the environment. The administrative act of removing non-historic resources from the Inventory is not a "Project" per § 15378 of the California Environmental Quality Act (CEQA) Guidelines.

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**Attachments**

DPR Form for 420 Sinex Ave.

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State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6L

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 2 \*Resource Name or #: 420 Sinex Ave (APN 006535013000)

**P1. Other Identifier:**

\*P2. Location:  Not for Publication  Unrestricted \*a. County: Monterey

\*b. USGS Quad(s): Monterey, California (1997)

c. Address: 420 Sinex Ave, Pacific Grove, CA 93950 (APN 006535013000)

d. UTM:

e. Other Locational Data: Latitude, Longitude (Decimal Degrees) 36.6141444343834, -121.916121093092

\*P3a. Description:

- Architectural Style(s): Vernacular
- Construction Type: Wood Frame
- Number of Stories: 1
- Basement: Not Visible
- Garage: None
- Roof Type(s): Pyramid Hip
- Roof Material(s): Asphalt Shingle
- Wall Material(s): Wood Bevel
- Window Type(s): Sliding
- Window Material(s): Aluminum
- Architectural Features: Chimney, Open Porch, Overhanging Eaves
- Decorative Details: Exposed Rafter Tails
- Alterations: Compatible Addition, Altered Pattern of Windows or Doors, Replacement Window(s), Steps and/or Porch Replaced
- Additional Remarks:

\*P3b. Resource Attributes: HP02 (Single family property)

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (isolates, etc.)

**P5a. Photo**



\*P5b. Description of Photo:

Primary façade, 8/29/2018.

\*P6. Date Constructed/Age & Sources:

- Prehistoric  Protohistoric  
 Historic  Unknown

Circa 1912. Sources: Monterey County Assessor's Records.

\*P7. Owner and Address:

Paff John & Sarah A  
PO Box 462  
Pacific Grove, CA 93950

\*P8. Recorded by:

Hannah Simonson, Page & Turnbull  
170 Maiden Lane, 5th Floor  
San Francisco, CA 94108

\*P9. Date Recorded: 8/29/2018

Finalized: 10/18/2019

\*P10. Survey Type: Reconnaissance

\*P11. Citation: Page & Turnbull. "Pacific Grove Historic Resource Inventory (HRI) Survey Report." Prepared for the City of Pacific Grove, October 18, 2019 [Final Report].

\* Attachments:  None  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other:

Page 2 of 2 \*Resource Name or #: 420 Sinex Ave (APN 006535013000)

\*Recorded By: Hannah Simonson \*Date Recorded: 8/29/2018 Finalized: 10/18/2019

Historic Name: \_\_\_\_\_  
 Original Use: Residential Present Use: Residential  
 Original Owner: \_\_\_\_\_ Architect/Builder: \_\_\_\_\_

**Significance**  
*Pacific Grove Historic Context Statement Theme:* Residential Development

Period of Development: Pacific Grove Comes of Age (1903-1926) Period of Significance: Not Applicable  
 Integrity: No Historic Integrity Level of Significance: Not Applicable  
 Eligible for Pacific Grove HRI: No  
 Appears Individually Eligible for National Register and/or California Register: No

California Historic Resource Status Codes: 6L  
 Evaluation Notes: Additional research has revealed that the window openings have been altered and incompatible windows installed. Cumulative alterations result in a loss of historic integrity.

National/ California Register	PG Municipal Code §23.76	Significance	Discussion of Individual Eligibility
A/1	A, B	Events, Patterns & Trends	Not found to be eligible under these criteria during the course of this survey.
B/2	C	Persons	Not found to be eligible under these criteria during the course of this survey.
C/3	D, E, F, G, H, I	Architecture & Design	Not found to be eligible under these criteria during the course of this survey due to loss of historic integrity.
D/4		Information Potential	Properties were not evaluated for significance under these criteria as part of this survey.

**References:** Page & Turnbull. *City of Pacific Grove Historic Context Statement*. Prepared for City of Pacific Grove, CA. Approved by City Council October 19, 2011.





**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alyson Hunter, Senior Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Adoption of Resolution 20-04  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

---

**RECOMMENDATION**

Adopt Resolution 20-04 reflecting the Historic Resources Committee's action on May 27, 2020.

**Attachments**

HRC Resolution 20-04

## RESOLUTION NO. 20-04

### HISTORIC DETERMINATION FOR THE DELETION OF THIRTEEN (13) PROPERTIES FROM THE CITY OF PACIFIC GROVE'S HISTORIC RESOURCES INVENTORY AS REFERENCED IN THE TABLE BELOW

#### FACTS

1. In 2018, the City Council of the City of Pacific Grove directed the Community Development Department to undertake the task of updating the City's Historic Resources Inventory (Inventory).
2. To assist with the effort, the City contracted with Page & Turnbull, a qualified historic consulting firm which, as a result of field work and research, prepared the Historic Resources Inventory Update Survey Report (Report) which was finalized and accepted by the City Council on November 20, 2019.
3. The Report analyzed every one of the 1,303 buildings currently on the Inventory, prepared Dept. of Parks & Recreation (DPR) Form 523 documents for each property, and recommended the removal of 371 (28%) of the properties from the Inventory due to changes over time resulting in the loss of historic integrity and/or significance.
4. The properties in the following table were removed from the Inventory on May 27, 2020:

	Property Address	Reason for Removal from the HRI
1	212 4th St.	Several additions result in loss of integrity
2	138 9th St.	Several additions; original form no longer visible; lost integrity
3	150 13th St.	Front addition results in lost integrity
4	308 14th St.	Cumulative alterations/addition; lost integrity
5	511 18th St.	Large addition results in lost integrity
6	244 Central Ave.	Several additions result in lost integrity
7	217 Forest Ave.	Front window/door system altered; original brick bulkhead plastered; lost integrity
8	601 Fountain Ave.	2nd story addition; alterations result in lost integrity
9	182 Laurel Ave.	Large additions incompatible; lost integrity
10	147 Monterey Ave.	No historic significance
11	420 Sinex Ave.	Cumulative alterations result in lost integrity

#### FINDINGS

1. The Historic Resources Committee has determined that the properties listed above shall be removed from Pacific Grove's Historic Resources Inventory based on the criteria listed in PGMC 23.76.025 and the recommendation of the qualified consultant, Page & Turnbull, on the individual properties' DPR 523 Forms of "6L" or "6Z" signifying ineligibility for local, state or national listing.
2. The Historic Resources Committee has determined that this action does not constitute a "Project" as defined under California Environmental Quality Act (CEQA) Section 15378 which addresses organizational or administrative activities of governments that will not result in direct or indirect physical changes in the environment. This section can be used if the Committee finds that the property was placed on the Inventory in error or the property no

longer retains historic integrity and/or significance and cannot be considered a historic resource.

**NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE HISTORIC RESOURCES COMMITTEE OF THE CITY OF PACIFIC GROVE THAT:**

1. On May 27, 2020, the Historic Resources Committee determined that, based on observation and the information on the DPR forms provided, the buildings listed as Nos. 1 – 11 above be removed from the Historic Resources Inventory per PGMC 23.76.030. This administrative action is not a “Project” per 15378 of the CEQA Guidelines.
2. The Historic Resources Committee further determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Resolution.
3. The properties referenced in the table above no longer meet the criteria for eligibility per PGMC §23.76.025.
4. This Resolution shall become effective upon the expiration of the 10-day appeal period.

**PASSED AND ADOPTED BY THE HISTORIC RESOURCES COMMITTEE OF THE CITY OF PACIFIC GROVE this 27<sup>th</sup> day of May, 2020, by the following vote:**

AYES:

NOES:

ABSTENTIONS:

ABSENT:

APPROVED:

\_\_\_\_\_  
Claudia Sawyer, Chair

ATTEST: \_\_\_\_\_  
Alyson Hunter, Senior Planner





**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee  
**FROM:** Alyson Hunter, Senior Planner  
**MEETING DATE:** 05/27/2020  
**SUBJECT:** Presentation on the Secretary of the Interior's Standards  
**CEQA:** Does not constitute a "Project" per California Environmental Quality Act Guidelines Section 15378

---

**RECOMMENDATION**

Receive a brief presentation on the Secretary of the Interior's Standards

**Attachments**

SOI Handout

## IMPORTANT BACKGROUND INFORMATION

### Integrity definition

An historically significant property must have enough of its original features to express its significance. The Pacific Grove Municipal Code defines *integrity* as “the authenticity of a property’s historic identity, evidenced by the survival of physical characteristics that existed during the property’s historic period including location, design, setting, materials, workmanship, feeling and association.” (PGMC 23.76.0200)

“Integrity” is not a measure of a property’s attractiveness, livability or architectural interest. Having a property removed from the HRI because it does not meet the definition of integrity is not a judgement that a home is not beautiful or special for a lot of other reasons - it's simply not historic.

### Secretary of the Interior's Standards

The purpose of the Secretary of the Interior’s Standards for Rehabilitation is to retain a property’s historical significance and character while allowing the property to adapt to changing needs. In summary, this includes:

- **Identifying and preserving** the architectural materials and features that are important to defining the historical character of a building.
- **Protecting and maintaining** the materials and features in the rehabilitation process.
- **Repairing** deteriorated character-defining materials and features whenever possible.
- **Replacing materials in kind**, or with a comparable substitute material, if they are too deteriorated to repair.
- **Replacing** a character-defining feature with new material only when it is too deteriorated to repair.
- **Replacing a missing feature** only if its physical appearance can be verified by research.

The use of the Standards is required in the PGMC and shall be relied upon when considering alterations and additions to buildings on the HRI:

### PGMC [23.76.080](#) Additions and alterations.

The following shall apply to additions and alterations made to historic structures in the city of Pacific Grove:

(b) In reviewing applications for additions to, or exterior alteration of, historic buildings, the appropriate review authority shall consider the criteria listed in PGMC [23.76.025](#) and shall be guided by the **Secretary of the Interior’s “Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings”** and the Architectural Review Guidelines, in particular Appendix I – Working with Buildings on the Historic Resources Inventory, of the city of Pacific Grove or succeeding document(s).

PGMC [23.70.070\(h\)](#) Findings Required for Approval. The historic resources committee shall determine from the application materials submitted whether:

- (1) The architecture and general appearance of the completed project are compatible with the neighborhood; and
- (2) The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood; and
- (3) The committee has been guided by and has made reference to applicable provisions of the architectural review guidelines in making its determinations on single-family residences.
- (4) Additional Findings for Exterior Alterations to Structures on the Historic Resources Inventory (HRI):

(A) The exterior alteration of any structure on the historic resources inventory is consistent with the Secretary of the Interior's Standards for Rehabilitation of Historic Buildings; and

(B) The exterior alteration of any structure on the historic resources inventory complies with Appendices I through IV of the Pacific Grove Architectural Review Guidelines.