



**CITY OF PACIFIC GROVE**  
**300 Forest Avenue, Pacific Grove, California 93950**

**AGENDA REPORT**

**TO:** Chair Sawyer and Members of the Historic Resources Committee

**FROM:** Alex Othon, Assistant Planner

**MEETING DATE:** February 26, 2020

**PERMIT &  
APPLICATION NO.:** Architectural Permit (AP) Application No. 19-0683

**LOCATION:** 228 1<sup>st</sup> St, Pacific Grove, CA 93950  
(APN 006-242-007)

**PROJECT  
DESCRIPTION:** An Architectural Permit for a second story addition of 64 sq. ft. to an existing two-story, single-family residence which is listed on the City of Pacific Grove's Historic Resources Inventory.

**APPLICANT/OWNER:** Suzanne Weichert (Applicant) / Rudolph Weichert Trust (Owner)

**ZONING/LAND USE:** Residential Multi-Family (R-2) / High Density Residential (21.8 du/acre)

**CEQA:** Exempt per §15301(e)(1) and §15331, Categorical Exemptions for Minor Residential Additions and Historic Resources Restoration/Rehabilitation, respectively.

**RECOMMENDATION**

Staff recommends that the Historic Resources Committee (HRC) approve the Architectural Permit for the proposed addition subject to findings, conditions, and Classes 1 and 31 CEQA categorical exemptions.

**PROJECT DESCRIPTION**

The proposed project consists of a second-story addition of an approximately 64 square feet to the rear of an existing two-story, single-family residence which is currently listed on the City's Historic Resources Inventory. No other alterations are proposed.

**BACKGROUND**

**Site Description**

The subject property is approximately 14,465 sq. ft. in size and zoned R-2. The existing two-story residence is approximately 3,375 sq. ft. and built in 1910. The American Foursquare-style home is included on the City's Historic Resources Inventory (HRI).

## **Surrounding Land Uses**

The subject property is a through-lot and on a corner, with 1<sup>st</sup> St. to the east, 2<sup>nd</sup> St. to the west, and Laurel Ave to the south. The property is surrounded by other two-story, single-family residences as well as three multi-family complexes.

## **DISCUSSION**

### **Applicable General Plan Policies**

The Pacific Grove General Plan provides a framework for future growth and development within the City. The Land Use Element includes goals and policies that call for orderly, well-planned, and balanced development, consistent with the historic nature of Pacific Grove, the capacity of the City's infrastructure, and ability to assimilate new growth. The property has a general plan designation of Residential High-Density with an allowed density of up to 21.8 dwelling units per acre.

### **Applicable Zoning Code Regulations**

General Plan goals and policies are implemented by Title 23 of the Pacific Grove Municipal Code (PGMC).

Chapter 23.20 of the PGMC describes the permitted uses and development standards of the R-2 zoning district. Per Section [23.20](#) of the PGMC, the intent of this chapter is to regulate uses within the single-family zoning district. The applicant has provided a Project Data Sheet indicating that the development standards of the zoning district, including building coverage, site coverage and gross floor area, have been met. The maximum allowed Gross Floor Area for this property is 4,419 sq. ft. At project completion, the residence will be at the maximum allowed Gross Floor Area. The project is asking for no exceptions to the zoning code.

### **Architecture and Historic Resources**

The applicant enlisted PAST Consultants, a qualified firm, to prepare a Phase II historic assessment to address the proposed modification. This report (attached) concluded that the impact of the proposed addition will not cause a significant change to the historic building and will not create a significant adverse effect on the environment.

The proposed changes attempt to reflect the City's Architectural Review Guidelines for Historic Buildings (Appendix 1) including, but not limited to:

- Placing the modifications on an inconspicuous side or rear elevation so that the new work does not result in a radical change to the form and character of the historic building;
- Additions and remodels should be compatible with the original historic building in forms, scale, and materials and not compromise the architectural integrity of the original.

In addition to the aforementioned Guidelines for Historic Buildings, the project conforms to several of the standard Guidelines which relate to general neighborhood compatibility.

### ***Guideline No. 27: A building should be in scale with its site.***

While the proposed addition will bring the property to its maximum allowed Gross Floor Area, the lot is still large enough to provide open space to complement the residence and provide plenty of privacy to adjacent neighbors.

**Guideline No. 28: An addition should complement and balance the overall form mass, and composition of the existing building.**

The proposed addition is very minor and will not have any negative affect on the bulk and massing of the existing residence.

**Guideline No. 31: Additions should be designed so that the pitch of the new roof matches or complements the pitch of the existing roof lines.**

The roof pitch of the proposed addition will match that of the existing home and will not look out of place.

**CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)**

The proposed project is found to be exempt under the Class 31, CEQA Guidelines Categorical Exemption, Section 15331, *Historical Resources Restoration/Rehabilitation*, and the Class 1, Section 15301(e)(1) exemption for *Existing Facilities*.

The Class 31 exemption consists of projects limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation, or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitation, Restoring, and Reconstructing Historic Buildings (1995). The Secretary's Standards define rehabilitation as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values."

The Class 1 exemption consists of alterations to existing facilities, including additions of up to 50% of the existing floor area. The addition of 64 square feet will not place the addition over this limit. The proposed project is consistent with the General Plan and the neighborhood within which the project is located is not environmentally sensitive.

The exceptions to exemptions in Section 15300.2 of the CEQA Guidelines do not apply to this project except for (f) which pertains to historic resources. The applicant's qualified historic consultant states that the proposed project will not result in an adverse impact to the historic resource and is in compliance with the Secretary's Standards for Rehabilitation (PAST Consultants, January 2020).

**ATTACHMENTS**

- A. Application
- B. Project Data Sheet
- C. Draft Permit
- D. CEQA Exemption Form
- E. PAST Consultants Historic Assessment (January, 2020)
- F. Site Plan & Elevations

RESPECTFULLY SUBMITTED:



Alex Othon, Assistant Planner



# CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

## Permit Application

Application #

Date:

Total Fees:

AP 19 - 0683

11/6/19

\$3,744.70

APPLICANT/OWNER:

**Project Address:** 228 1st St, Pacific Grove, CA 93950

**APN:** 006-242-007-000

**Project Description:** 70 SF Upper Level Addition to the rear of an existing Single Family Residence.

The Addition is not visible from 1st St

**Will the project create, add, or replace impervious surface?**

Yes

No

**Will the project impact any tree(s) on site?**

Yes

No

### Applicant

Name: Rudolph Frederick Weichert IV Trust

Phone: 831 402-7877 (Suzanne Weichert)

Email: sfweichert@aol.com rweichert@aol.com

Mailing Address:

228 1st St, Pacific Grove, CA 93950

### Owner

Name: Rudolph Frederick Weichert IV

Phone: 831 402-8755

Email: rweichert@aol.com

Mailing Address:

228 1st St, Pacific Grove, CA 93950

### Permit Request:

- CRD: Counter Determination
- SP: Sign Permit
- IHS: Initial Historic Screening
- VAR: Variance
- AP: Architectural Permit
- UP: Use Permit
- HPP: Historic Preservation
- MMP: Mitigation Monitoring
- AAP: Administrative AP
- AUP: Administrative UP
- A: Appeal
- Stormwater Permit
- ADC: Arch Design Change
- ADU: Acc. Dwelling Unit
- TPD: Tree Permit W/ Dev't
- Other: \_\_\_\_\_
- ASP: Admin Sign Permit
- LLA: Lot Line Adjustment
- EIR: Environmental Impact
- Other: \_\_\_\_\_

### CEQA Determination:

- Exempt
- Initial Study & Mitigated Negative Declaration
- Environmental Impact Report

### Review Authority:

- Staff
- HRC
- ZA
- PC
- SPRC
- CC
- ARB
- \_\_\_\_\_

### Active Permits:

- Active Planning Permit
- Active Building Permit
- Active Code Violation Permit #: \_\_\_\_\_
- Environmental Impact

### Overlay Zones:

- Butterfly Zone
- Coastal Zone
- Area of Special Biological Significance (ASBS)
- Environmentally Sensitive Habitat Area (ESHA)

### Property Information

Lot: 19 - 26

Block: 1

Tract: 1<sup>st</sup> Add

ZC: R-2

GP: High Density Res

Lot Size: 14,401

Historic Resources Inventory

Archaeologically Sensitive Area

RECEIVED

### Staff Use Only:

Received by: AO

NOV 06 2019

Assigned to:

CITY OF PACIFIC GROVE  
COMMUNITY DEV DEPT

**PAID**  
\$ 3,744.70  
11-6-19

## INDEMNIFICATION CONDITION

In consideration for City review and approval of application in this matter, the Owner/Applicant shall indemnify, defend, protect and hold harmless the City, its elected and appointed officials, officers, agents, and employees (collectively "Indemnitees"), using counsel approved in writing by the City, from and against, any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorneys' fees and disbursements which may accrue against Indemnitees by reason of the City's processing, approval or denial of the request and application in this matter. Indemnification shall include, but shall not be limited to any action, or proceeding brought to attack, set aside, void, annul, limit, or inhibit the approval of the application referenced above, and shall expressly include causes of action under the California Environmental Quality Act (CEQA), or the National Environmental Policy Act (NEPA).

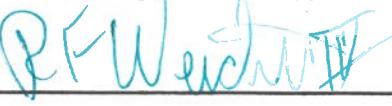
The obligation to indemnify shall include, but not be limited to, all costs relating to preparing administrative records, investigations, responses to discovery, retention of experts, and other costs, including attorney's fees or obligations related to this matter, including actions brought by the Owner/Applicant and also extend to any expense incurred in establishing the City's right to indemnification. City expenses shall be paid by Owner/Applicant upon City request notwithstanding final disposition of the matter has not yet occurred. If the City is later determined to not be entitled to indemnification, the City shall repay amounts so advanced.

This indemnification condition is the Owner/Applicant's inducement to the City to process and approve the application, which approval would otherwise be withheld by City due to its concern for liability or expense that may result from performance of the City's duties. Should any dispute arise regarding interpretation of this condition, the prevailing party shall recover all reasonable costs incurred, including court costs, attorney fees and related expenses. Recovery of expenses shall be as additional costs awarded to the prevailing party, and shall not require initiation of a separate legal proceeding.

This indemnification condition shall not require the Owner/Applicant to indemnify the City or other Indemnitees: (a) to the extent that an obligation is actually paid by an insurer pursuant to an insurance policy; (b) in connection with any remuneration paid to the City, if it shall be finally adjudged that such remuneration was in violation of law; or (c) on account of the City's misconduct if such misconduct shall be finally adjudged to have been knowingly fraudulent, deliberately dishonest or willful.

Any permit or other approval given by the City to the Owner/Applicant Guarantor shall be valid only so long as this indemnification condition is given full force and effect. If this indemnification condition is revoked, the permit or other approval of the City shall then become null and void.

Owner/Applicant represents it (and any subsidiary) is (a) duly formed and organized, (b) validly existing and in good standing under state law, and (c) has all necessary power to execute and deliver this document and perform its obligations. Owner/Applicant also represents it is authorized to enter into this agreement by all requisite partnership, corporate or other action, and its terms are a valid and legally binding obligation. Neither execution nor delivery of this document nor performance of its obligations will violate any law or provision of any agreement, articles of incorporation, by-laws or other organizational or governing documents relating to Owner/Applicant, nor conflict with any court order relating to Owner/Applicant.

Applicant Signature: 

Date: 10/31/19

Owner Signature (Required): 

Date: 10/31/19



# CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cdd

Application #

AP 19-0283

Item No. 10B

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## Planning Permit Fee Calculation

Permit	Select	Fee
Architectural Permit – Single Family	<input checked="" type="checkbox"/>	\$3,052
Administrative Architectural Permit	<input type="checkbox"/>	\$1,469
Architectural Design Change	<input type="checkbox"/>	\$1,469
Counter Review & Determination – no new square footage	<input type="checkbox"/>	\$212
Counter Review & Determination – new square footage	<input type="checkbox"/>	\$856
Initial Historic Screening	<input type="checkbox"/>	\$452
Sign Permit	<input type="checkbox"/>	\$2,241
Administrative Sign Permit	<input type="checkbox"/>	\$1,241
Use Permit and Amendments – Single Family	<input type="checkbox"/>	\$1,832
Major Administrative Use Permit	<input type="checkbox"/>	\$1,184
Minor Administrative Use Permit	<input type="checkbox"/>	\$1,199
Variance and Amendment	<input type="checkbox"/>	\$2,548
Administrative Variance and Amendment	<input type="checkbox"/>	\$1,425
Inquiry Fee	<input type="checkbox"/>	\$334
Historic Preservation Permit	<input type="checkbox"/>	\$1,735
Accessory Dwelling Unit Permit	<input type="checkbox"/>	\$1,783
Tree Permit with Development	<input type="checkbox"/>	\$272
Appeal	<input type="checkbox"/>	25% of base permit fee or \$1,045 whichever is greater plus noticing costs
Other	<input type="checkbox"/>	

## Additional Fees

General Plan Update Fee	5% of Permit Fee	<input checked="" type="checkbox"/>	\$152.60
CEQA Exemption Fee	\$278	<input checked="" type="checkbox"/>	\$278
Butterfly Buffer Zone	5% of Permit Fee	<input type="checkbox"/>	
Coastal Zone	25% of Permit Fee	<input type="checkbox"/>	
Area of Special Biological Significance	5% of Permit Fee	<input checked="" type="checkbox"/>	\$152.60
Environmentally Sensitive Habitat Area	15% of Permit Fee	<input type="checkbox"/>	
Noticing – Mailings	\$0.55 * (# of Mailings)	<input checked="" type="checkbox"/>	\$5.50
Noticing – Herald Ad	\$349	<input type="checkbox"/>	
Stormwater Fee	Varies	<input type="checkbox"/>	
County filing fee	Varies	<input checked="" type="checkbox"/>	\$50
File maintenance fee	Varies	<input checked="" type="checkbox"/>	\$50
Other	Varies	<input type="checkbox"/>	

Total Fees: \$3,744.70

### PROJECT DATA SHEET

**Project Address:** \_\_\_\_\_ **Submittal Date:** \_\_\_\_\_  
**Applicant(s):** \_\_\_\_\_ **Permit Type(s) & No(s):** \_\_\_\_\_

	<b>REQUIRED/ Permitted</b>	<b>Existing Condition</b>	<b>Proposed Condition</b>	<b>Notes</b>
<b>Zone District</b>				
<b>Building Site Area</b>				
<b>Density (multi-family projects only)</b>				
<b>Building Coverage</b>				
<b>Site Coverage</b>				
<b>Gross Floor Area</b>				
<b>Square Footage not counted towards Gross Floor Area</b>				
<b>Impervious Surface Area Created and/or Replaced</b>				
<b>Exterior Lateral Wall Length to be demolished in feet &amp; % of total*</b>	_____	_____	_____ ft / _____ %	
<b>Exterior Lateral Wall Length to be built</b>	_____	_____		
<b>Building Height</b>				
<b>Number of stories</b>				
<b>Front Setback</b>				
<b>Side Setback</b> (specify side)				
<b>Side Setback</b> (specify side)				
<b>Rear Setback</b>				
<b>Garage Door Setback</b>				
<b>Covered Parking Spaces</b>				
<b>Uncovered Parking Spaces</b>				
<b>Parking Space Size (Interior measurement)</b>	9' x 20'			
<b>Number of Driveways</b>	1			
<b>Driveway Width(s)</b>				
<b>Back-up Distance</b>				
<b>Eave Projection (Into Setback)</b>	3' maximum			
<b>Distances Between Eaves &amp; Property Lines</b>	3' minimum			
<b>Open Porch/Deck Projections</b>				
<b>Architectural Feature Projections</b>				
<b>Number &amp; Category of Accessory Buildings</b>				
<b>Accessory Building Setbacks</b>				
<b>Distance between Buildings</b>				
<b>Accessory Building Heights</b>				
<b>Fence Heights</b>				

\*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.

**PROJECT DATA SHEET**

**Project Address:** 228 1st St, Pacific Grove, CA 93950    **Submittal Date:**  
**Applicant(s):** Rudolph Frederick Weichert IV Trust    **Permit Type(s) & No(s):** Architectural Permit

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
<b>Zone District</b>	R2	R2	R2	
<b>Building Site Area</b>	4,000 SF	14,401 SF	14,401 SF	
<b>Density (multi-family projects only)</b>	N/A	N/A	N/A	
<b>Building Coverage</b>	7,200 SF	2,908 SF	2,908 SF	
<b>Site Coverage</b>	8,641 SF	4,148 SF	4,148 SF	
<b>Gross Floor Area</b>	4,485 SF	3,533 SF	3,603 SF	
Square Footage not counted towards <b>Gross Floor Area</b>	N/A	N/A	N/A	
<b>Impervious Surface Area Created and/or Replaced</b>	N/A	N/A	N/A	
<b>Exterior Lateral Wall Length to be demolished in feet &amp; % of total*</b>	N/A	393'	5' ft / 1 %	
<b>Exterior Lateral Wall Length to be built</b>	N/A	N/A	10'-9"	Addition
<b>Building Height</b>	27'-6"	27'-6"	27'-6"	at Addition
<b>Number of stories</b>	2	2	2	
<b>Front Setback</b>	15'	15'	15'	No work proposed in front
Laurel Av      Side Setback (specify side)	10'	12'	12'	No change to existing
Interior      Side Setback (specify side)	10'	58'	58'	No change to existing
<b>Rear Setback</b>	15'	46'	46'	
<b>Garage Door Setback</b>		4'	4'	No change to existing
<b>Covered Parking Spaces</b>		3	3	No change to existing
<b>Uncovered Parking Spaces</b>		1	1	No change to existing
<b>Parking Space Size (Interior measurement)</b>	9' x 20'	9'x20'	9'x20'	No change to existing
<b>Number of Driveways</b>	1	1	1	No change to existing
<b>Driveway Width(s)</b>		12	12'	No change to existing
<b>Back-up Distance</b>		N/A	N/A	No change to existing
<b>Eave Projection (Into Setback)</b>	3' maximum	1'	1'	No change to existing
<b>Distances Between Eaves &amp; Property Lines</b>	3' minimum	9' at Laurel	9' at Laurel	No change to existing
<b>Open Porch/Deck Projections</b>	N/A	N/A	N/A	No Change to existing
<b>Architectural Feature Projections</b>	N/A	N/A	N/A	No Change to existing
<b>Number &amp; Category of Accessory Buildings</b>		3	3	No change to existing
<b>Accessory Building Setbacks</b>		See Site Plan		See Site Plan, No Change
<b>Distance between Buildings</b>		See Site Plan		See Site Plan , No Change
<b>Accessory Building Heights</b>		14'-6" garage	11'-10" cottage	No Change to existing
<b>Fence Heights</b>		See Site Plan		No Change to existing

\*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.

## Notice of Exemption

## Appendix E

To: Office of Planning and Research  
P.O. Box 3044, Room 113  
Sacramento, CA 95812-3044  
  
County Clerk  
County of: Monterey \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

From: (Public Agency): City of Pacific Grove  
300 Forest Ave  
Pacific Grove, CA 93950  
\_\_\_\_\_  
(Address)

Project Title: Weichert Residence Addition

Project Applicant: Suzanne Weichert

Project Location - Specific:

228 1st Street, between Laurel Ave and Lighthouse Ave.

Project Location - City: Pacific Grove Project Location - County: Monterey

Description of Nature, Purpose and Beneficiaries of Project:

A 64 sq. ft. addition to an existing two-story single-family residence currently listed on the City of Pacific Grove's Historic Resources Inventory

Name of Public Agency Approving Project: City of Pacific Grove

Name of Person or Agency Carrying Out Project: Suzanne Weichert

Exempt Status: (check one):

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- Categorical Exemption. State type and section number: 15301(e) and 15331
- Statutory Exemptions. State code number: \_\_\_\_\_

Reasons why project is exempt:

The addition is less than 50% of the existing home and the provided Phase II historic report from PAST Consultants concludes the addition will meet the Secretary of the Interior's Standards for Rehabilitation.

Lead Agency  
Contact Person: Alex Othon Area Code/Telephone/Extension: 8316483193

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project?  Yes  No

Signature: \_\_\_\_\_ Date: \_\_\_\_\_ Title: Assistant Planner

Signed by Lead Agency  Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code. Date Received for filing at OPR: \_\_\_\_\_  
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.



Seth A. Bergstein  
415.515.6224  
[seth@pastconsultants.com](mailto:seth@pastconsultants.com)

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January 18, 2020

Suzanne Weichert  
228 1<sup>st</sup> Street  
Pacific Grove, CA 93950

Re: Focused Historic Assessment for 228 1<sup>st</sup> Street, Pacific Grove, CA  
APN. 006-242-007-000

Dear Ms. Weichert:

This letter evaluates the proposed rear addition to the property located at 228 1<sup>st</sup> Street, in Pacific Grove, California. PAST Consultants, LLC (PAST) attended a site visit on September 12, 2019 to photograph the property and assess its existing condition. This focused Phase Two Historic Assessment letter addresses a proposed small second-story rear addition of 64 square feet.

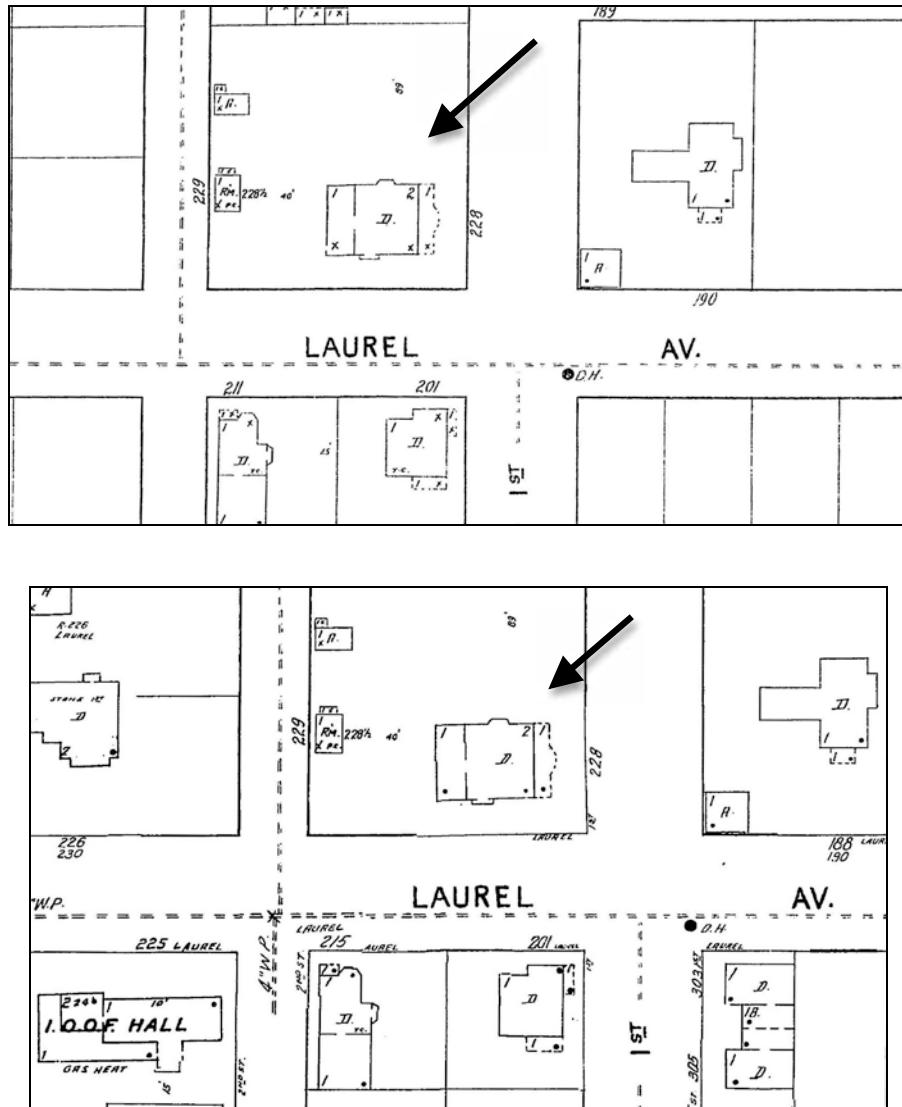
Located on Lots 19-26, Block 1 of the first addition, the subject property contains a 1910 house and garage in the American Four-Square subtype of the Colonial Revival Style and is listed on the Pacific Grove Historic Resources Inventory (HRI). The house received several additions circa-1950s and a large, two-story right-side/rear studio addition in 1988 (**Figures 1 and 2**).



**Figures 1 and 2.** Left image shows details the 1988 two-story rear addition. Right image details the second-story dormer that was enclosed in the 1940s and further altered in 1989, with the 1988 two-story addition at the extreme left. The proposed rear addition will occupy the space between the enclosed dormer and the 1988 two-story addition (arrow).

## Building Chronology

Sanborn maps showing the property from 1926 and 1926-updated 1962 appear below (**Figures 3 & 4**). The building footprint looks largely unchanged between 1926 and 1962.



**Figures 3 and 4.** Top image shows the cropped 1926 Sanborn map, with the subject property shown by an arrow. The bottom image shows the property on the 1926 (updated in 1962) Sanborn map.

A records search at the City of Pacific Grove Planning Department reveals the following construction permits.

- No Original Permit, 1910: Construct two-story residence in the Four-Square variant of the Colonial Revival Style.
- Permit #123, 12/10/1928: Construct garage.

- No Permit, circa-1940s: Enclose second-story, rear dormer porch. Date estimated based on window types in the rear dormer.
- Permit #88-0520, 7/8/1988: Construct two-story, right side/rear studio addition.
- Permit #89-0430, 9/19/1989: Extend enclosed second-story rear dormer for closet addition.
- Permit #GE14-0091, 1/6/2015: Add solar panels to roof.

## **Character Defining Features**

Since the proposed rear addition will be impacting two areas of the building that were altered in 1988 and 1989, all Four Square and Colonial Revival character defining features on the primary elevations will remain unchanged. These features include the hipped roof massing with wide roof overhangs and exposed rafter tails, the full-width, projecting and curved front porch on Colonial Revival columns, the upper-floor open deck above the front porch, arched window openings, multi-pane wood windows, and wood-shingle cladding.

## **City of Pacific Grove Historic Resources Inventory (HRI) Update Status**

PAST reviewed the City of Pacific Grove's recent submittal of the Historic Resources Inventory Update. The DPR523a form prepared for the subject property states that the building is not eligible for the National or California registers, but should remain on the Historic Resources Inventory (HRI) as it is a representative property type illustrating the theme, "Pacific Grove Comes of Age (1903-1926).

## **Proposed Rear Addition**

Design drawings by Ed Nimis, Architect were evaluated for this report. The proposed Scope of Work is the following:

- Construct 64-sf, second-floor rear (west elevation) addition. The addition impacts previously altered areas of the building.
- No impact proposed on any of the primary elevations.
- Remodel second floor interior spaces (with no impact to the remaining exterior elevations).

## **The Secretary of the Interior's Standards**

The *Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards)* provides the framework for evaluating the impacts of additions and alterations to historic buildings. The *Standards* describe four treatment approaches: preservation, rehabilitation, restoration and reconstruction. The *Standards* require that the treatment approach be determined first, as a different set of standards apply to each approach. For the proposed project, the treatment approach is rehabilitation. The *Standards* describe rehabilitation as:

In *Rehabilitation*, historic building materials and character-defining features are protected and maintained as they are in the treatment *Preservation*; however, an assumption is made prior to work that existing historic fabric has become damaged or deteriorated over time and, as a result, more repair and replacement will be required. Thus, latitude is given in the

Standards for Rehabilitation and Guidelines for Rehabilitation to replace extensively deteriorated, damaged, or missing features using either traditional or substitute materials. Of the four treatments, only Rehabilitation includes an opportunity to make possible an efficient contemporary use through alterations and additions.<sup>1</sup>

The ten *Standards* for rehabilitation are:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

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<sup>1</sup> *The Secretary of the Interior's Standards for the Treatment of Historic Properties* (accessed via <http://www.nps.gov/hps/tps/standguide/>).

## Evaluation of Proposed Alterations



**Figures 5 and 6.** Left image shows the rear elevation, with the area for the proposed addition shown by an arrow. The addition will be placed between the 1988 two-story addition and the second story rear dormer that was altered in 1989. Right image details the proposed addition's location.

The following lists the ten *Standards* for rehabilitation in italics, with an evaluation given below each *Standard*.

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*  
The proposed rear addition impacts a previously altered secondary elevation and will not impact any of the historic character-defining features or spatial relationships of the building, in compliance with this *Standard*.
2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*  
The proposed rehabilitation design does not remove any of the character defining features or historic details of the subject building, in keeping with this *Standard*.
3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*  
The proposed addition does not add any conjectural details or features that would create a false sense of historical development, as it is being placed within areas of the building that have been altered recently in the 1980s.
4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

This *Standard* does not apply because no changes to the property have acquired historic significance.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The proposed rehabilitation design does not alter any distinctive materials, or historic construction detailing of the original residence, satisfying this *Standard*. The area impacted is in a small, upper-floor location between the altered dormer and the 1988 two-story addition.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

Existing character defining features and historic details are in good condition and will not require restoration, unless minor wood repair will be required during construction.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

If rehabilitation of the existing decorative woodwork is necessary, it will be performed using the gentlest means possible, with non-abrasive paint removal techniques that will not damage the wood substrate.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

This *Standard* does not apply, as archaeological features are not identified at the site.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

The proposed rear addition is in scale and massing with the adjacent dormer and larger, two-story 1988 addition and does not alter any of the historic features and details of the original building.

Because the addition will be nestled between two areas of the building that were altered previously in 1988 and 1989, differentiation is not necessary. For these reasons, the proposed rear addition meets this *Standard*.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

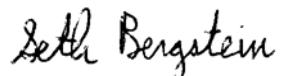
The proposed minimal rear addition could be reversed in the future, in keeping with this *Standard*.

It should be noted that the character-defining features of the primary elevations, such as the Colonial Revival front porch, arched window openings, Craftsman-style wood-shingle cladding and historic windows, are not proposed to be impacted by this project.

In conclusion, the proposed alterations to the property located at 228 1<sup>st</sup> Street meet the *Secretary of the Interior's Standards for Rehabilitation*. The proposed alterations will not impact the historic integrity of the subject building, nor will it impact the subject property's listing on the Pacific Grove HRI.

Please contact me if you have any questions about this evaluation.

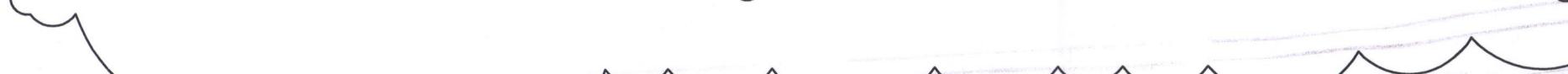
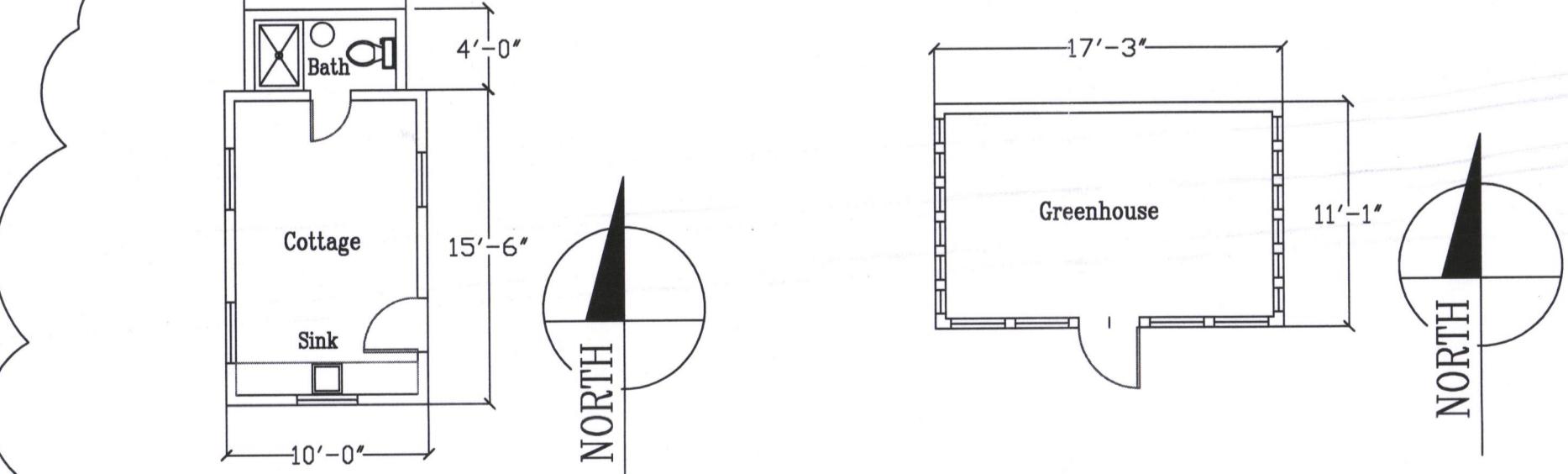
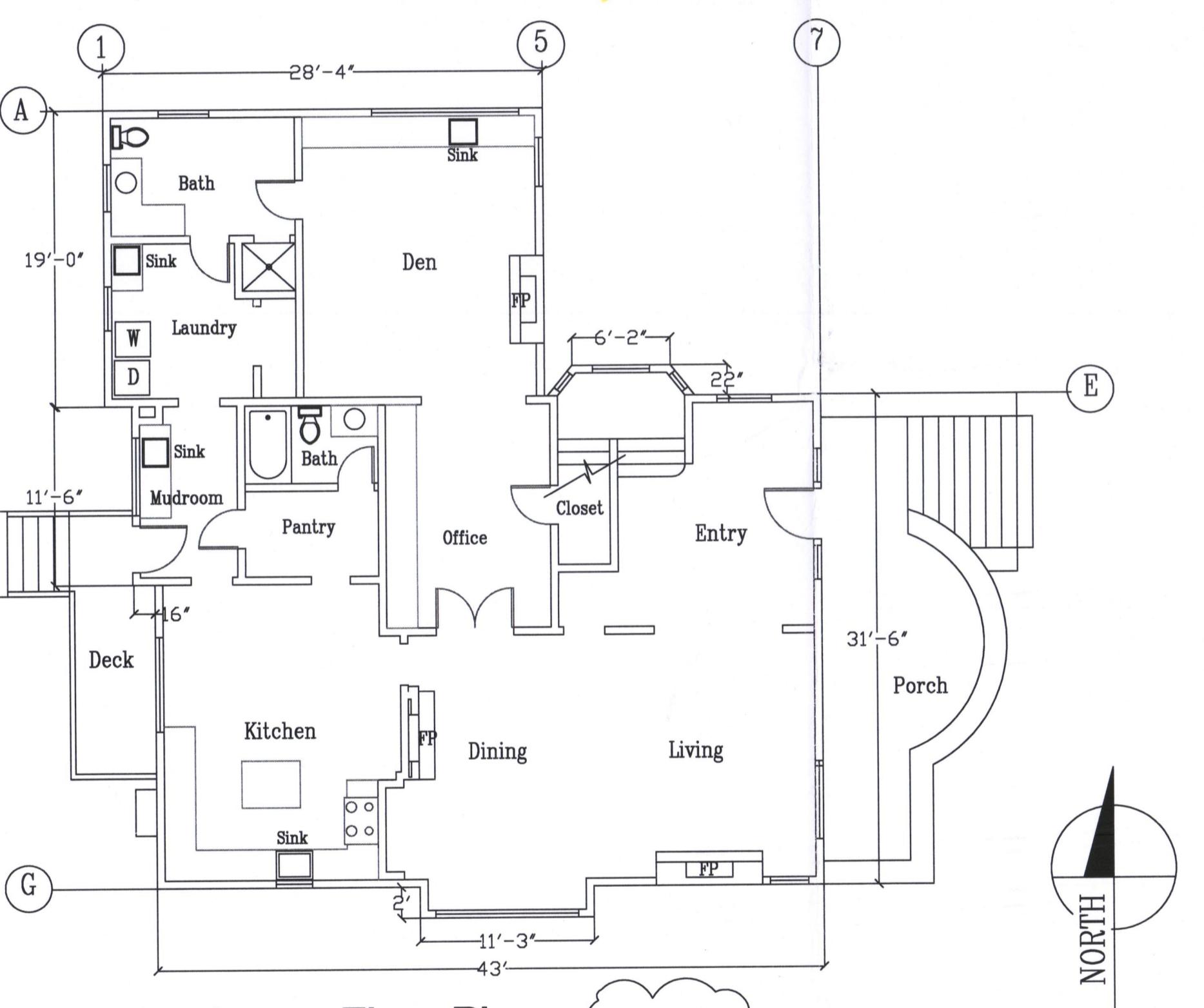
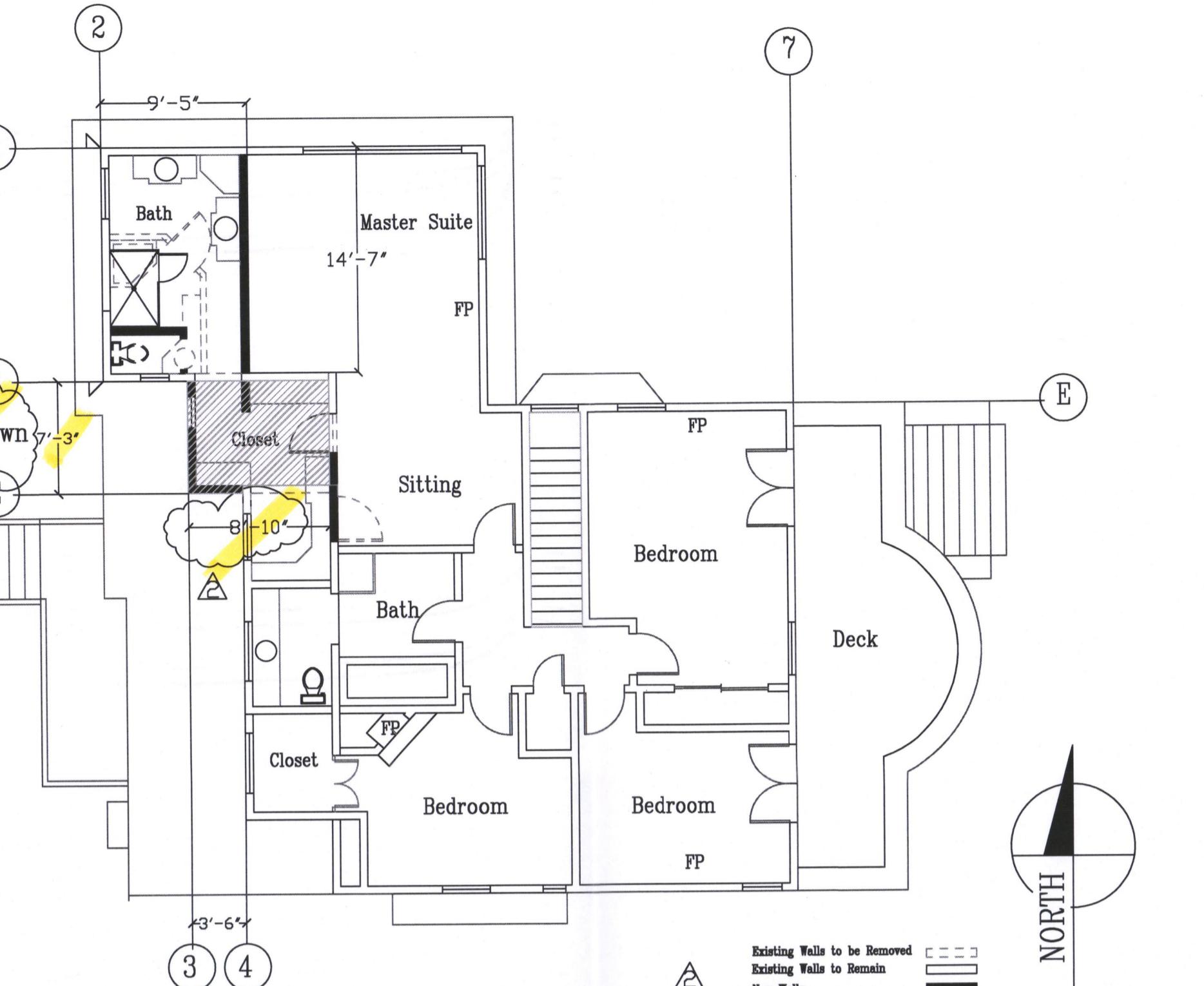
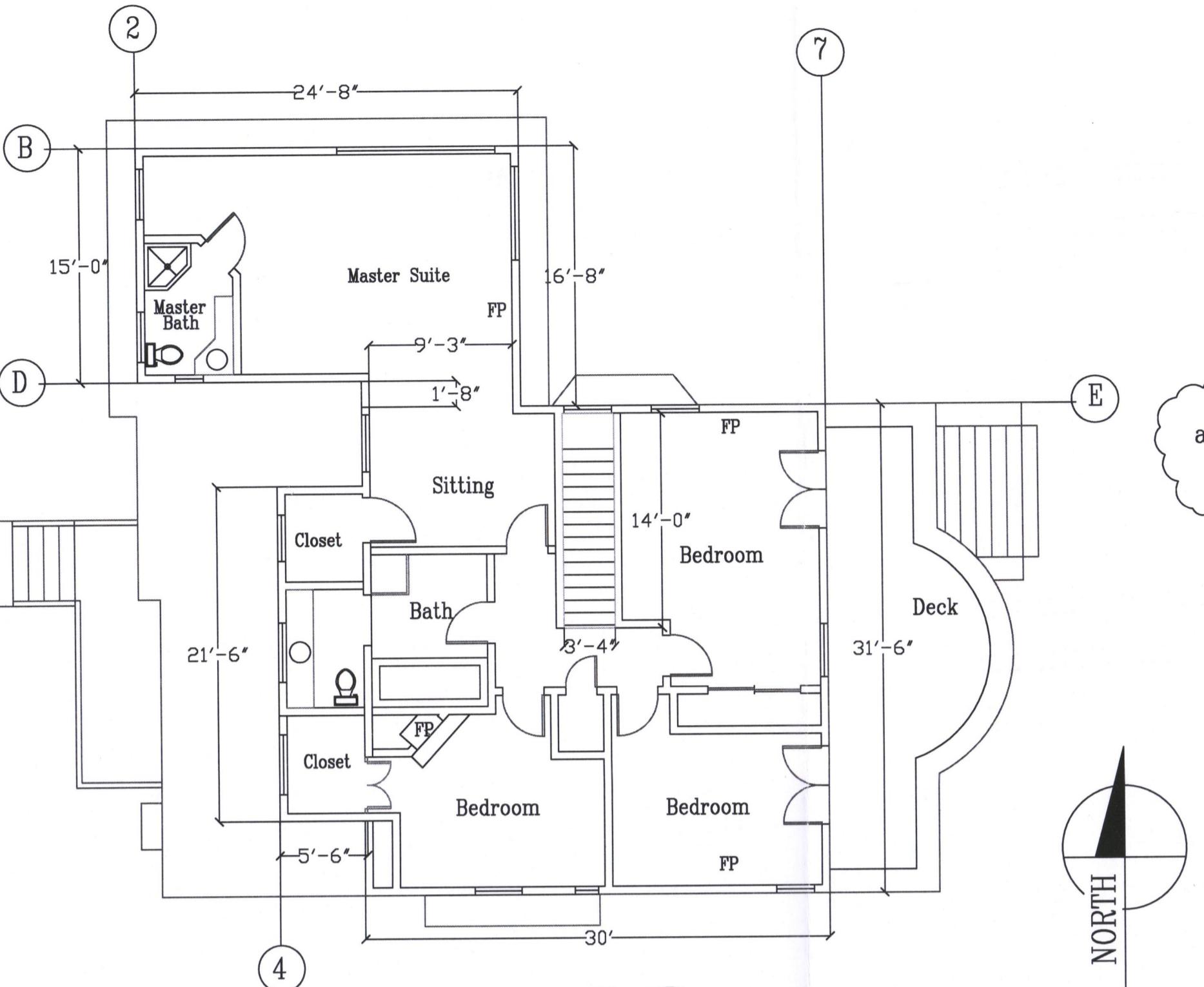
Sincerely,



Seth A. Bergstein  
Principal

Cc: City of Pacific Grove Planning Department; Ed Nimis, Architect

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#### Plumbing Fixture Units

Existing	Value
6 Lavatories	6
5 Toilets	9
2 Tub	4
3 Shower	6
1 Kitchen Sink/DW	2
1 Washer Hookup	2
2 Utility Sink	4
1 Bar Sink/Veg Sink	1
Total F.U.	34

Proposed	Value
5 Lavatories	5
2 Lavs / Master Bth	1
5 Toilets	9
2 Tub	4
3 Shower	6
1 Kitchen Sink/DW	2
2 Washer Hookup	2
2 Utility Sink	4
1 Bar Sink/Veg Sink	1
Total F.U.	34

#### BUILDING COVERAGE

Residence Footprint	2,378 SF
Cottage Footprint	188 SF
Garage Footprint	600 SF
Greenhouse Footprint	192 SF

#### TOTAL PROPOSED

3,358 SF

#### ALLOWED

7,200 SF

#### GROSS FLOOR AREA (At Project Completion)

Residence 3,439 SF

Cottage 188 SF

Garage 600 SF

Greenhouse 192 SF

#### TOTAL PROPOSED

4,419 SF

#### ALLOWED

4,419 SF

#### SITE COVERAGE

Residence Footprint	2,378 SF
Cottage Footprint	188 SF
Garage Footprint	600 SF
Greenhouse Footprint	192 SF

Paving 1,240 SF

#### TOTAL PROPOSED

4,598 SF

#### ALLOWED

8,641 SF

# WEICHERT RESIDENCE ADDITION

OWNER: Rudolph Frederick Weichert IV Trust

PROJECT ADDRESS/ APN 228 1st St, Pacific Grove, CA 93950  
006-242-007-000

ARCHITECT: Edward B. Nimis, Architect [ebnimis@sbcglobal.net](mailto:ebnimis@sbcglobal.net), 831 809-8459  
PO Box 7153  
Spreckels, CA 93962

PROJECT SCOPE: 64 SF Upper Floor Addition to an existing 3,375 SF Single Family Residence. The Area of Work is at the upper level at the rear of the house not visible from 1st St. Photos submitted.

TREE REMOVAL: None Proposed  
GRADING: None Proposed  
RETAINING WALLS: None Proposed

ZONING: R2

SETBACKS: 15' Front, 15' Rear, 10% Side (inside PL, max 10'), 20% Side (@ Street, max 10') No Change to Existing

HEIGHT: 30' Max, No Change to Existing.

LOT SIZE: 14,401 SF

SITE COVERAGE: 60% (8,641 SF) Allowed, 4,598 SF Proposed (See Site Coverage Table on this sheet)

GROSS FLOOR AREA: 4,419 SF Allowed, 4,419 SF Proposed (3,439 SF Residence, 188 SF Cottage, 600 SF Garage, 192 SF Greenhouse)

PARKING: No Change to existing

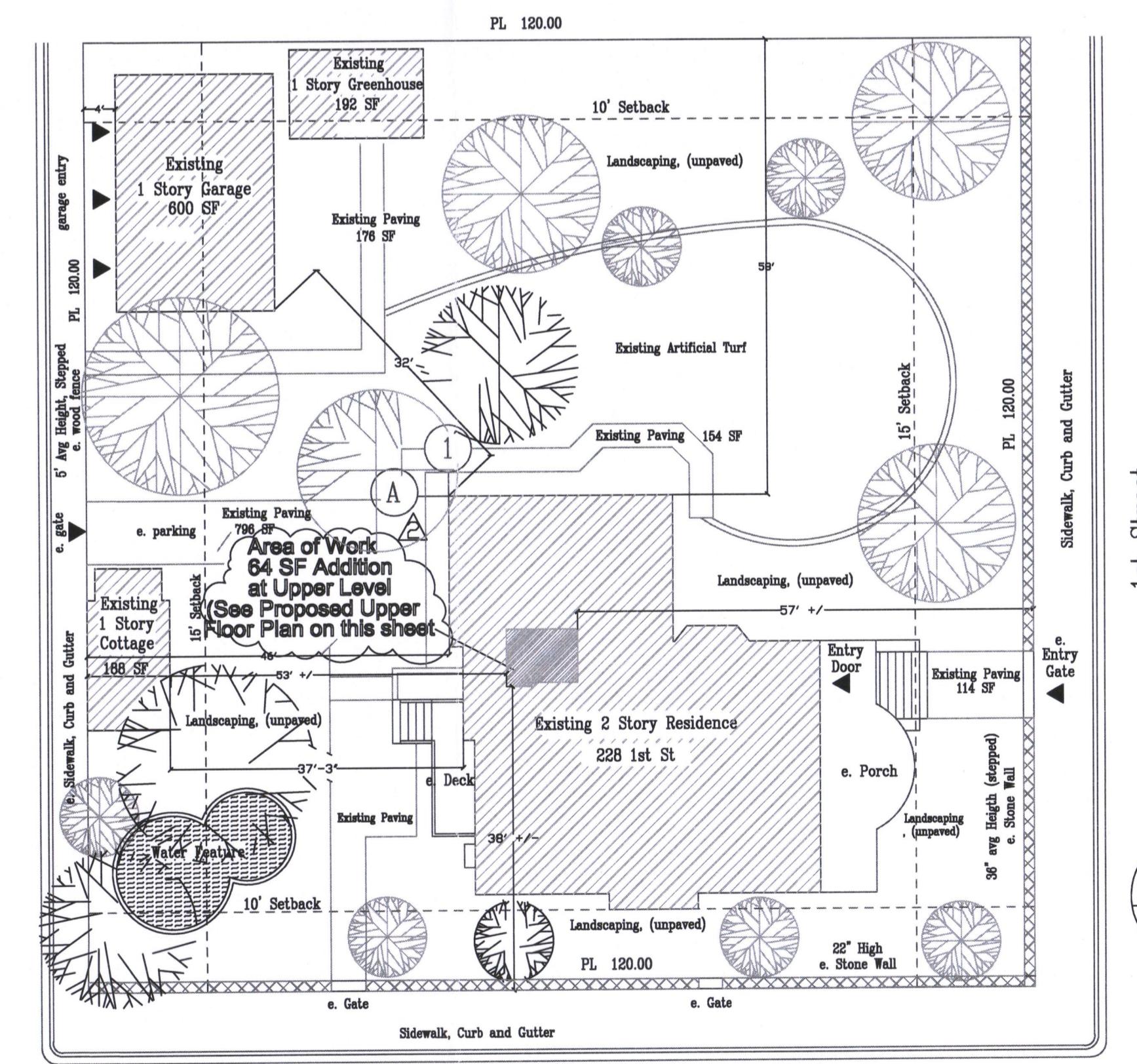
CODES: All work shall be performed in accordance with:  
2016 CBC, 2016 CMC & CPC 2016 CEC and 2016 Title 24 Energy  
Fire Code, 2016 CA Green Building Standards.  
Regulations 2016

CONSTRUCTION TYPE: VN

OCCUPANCY TYPE: R-3/U

#### SHEET LIST:

- A1 SITE PLAN, PROJECT DATA  
EXISTING FLOOR PLANS, PROPOSED FLOOR PLANS  
A2 EXISTING ELEVATIONS, PROPOSED ELEVATIONS, EXISTING ROOF PLAN,  
PROPOSED ROOF PLAN



Laurel Ave

EXISTING SITE PLAN  
SCALE : 1/16" = 1'-0"  
NO PROPOSED CHANGES TO LANDSCAPING OR PAVING

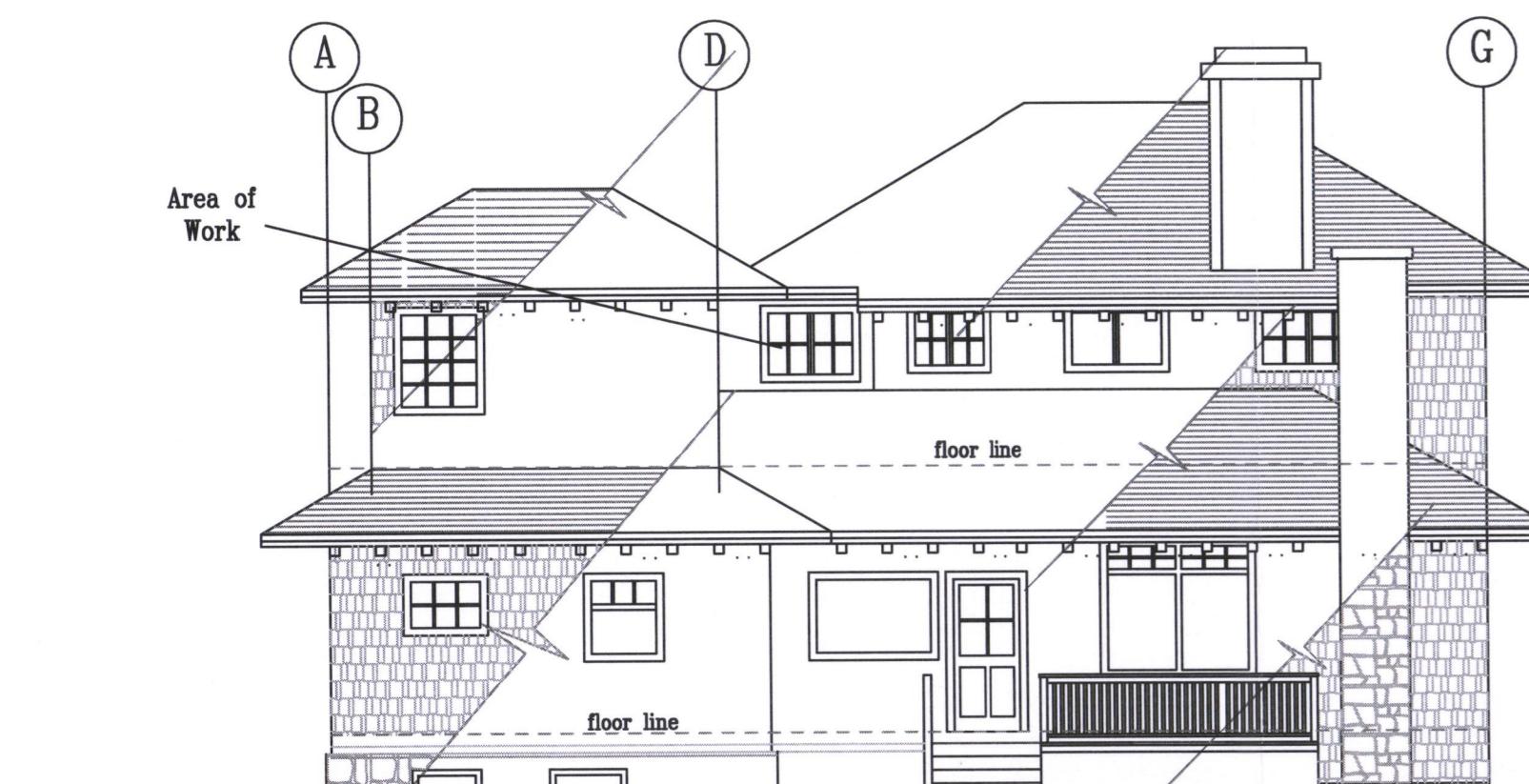
64 SF Addition at rear of property

EDWARD B. NIMIS, ARCHITECT  
Spreckels, CA 93962  
e-mail: [ebnimis@sbcglobal.net](mailto:ebnimis@sbcglobal.net)  
PO Box 7153  
831 809-8459

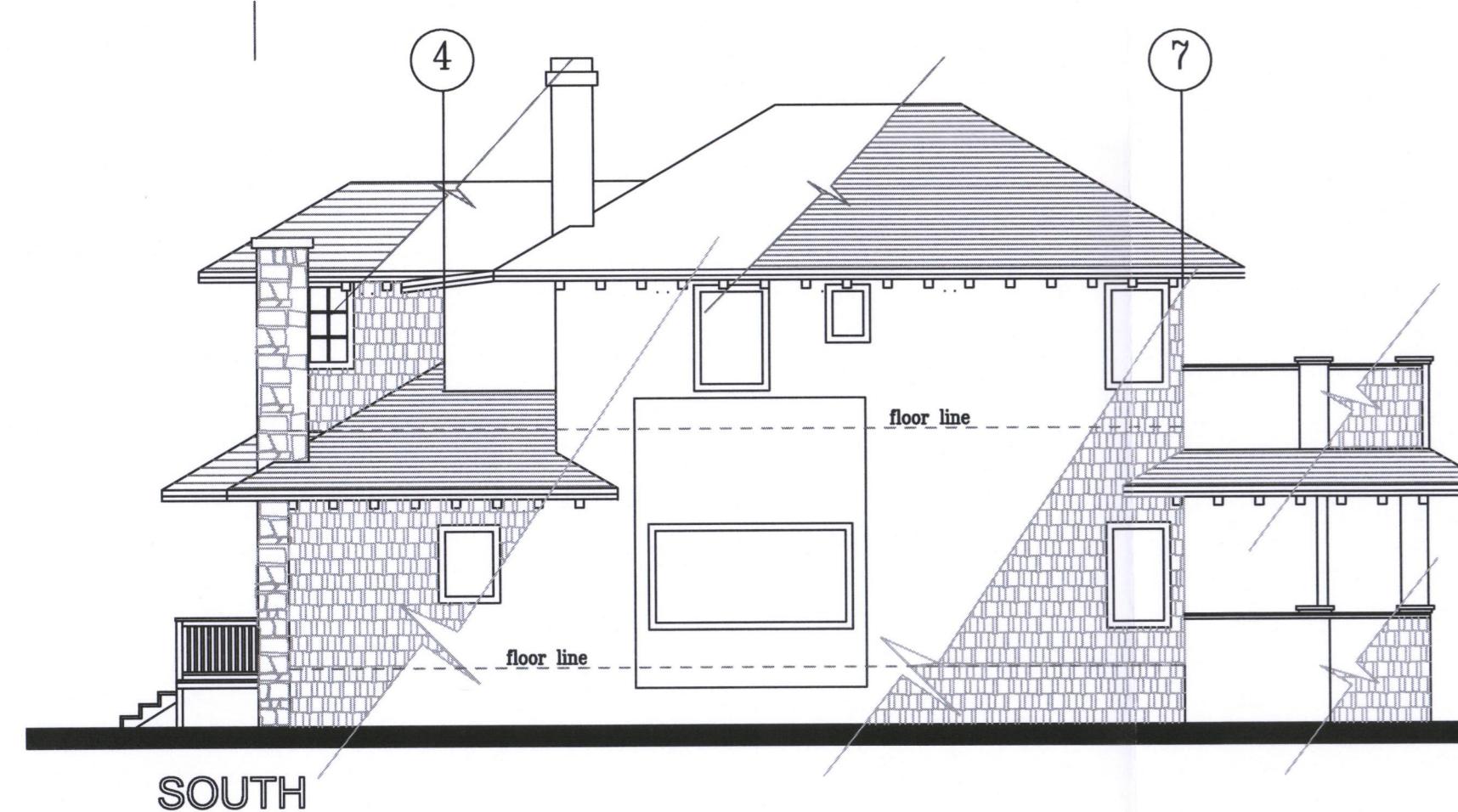
Site Plan/Floor Plans  
RECEIVED JAN 10 2020  
CITY OF PACIFIC GROVE  
COMMUNITY DEV DEPT

Item No. 10B  
Page 17 of 18

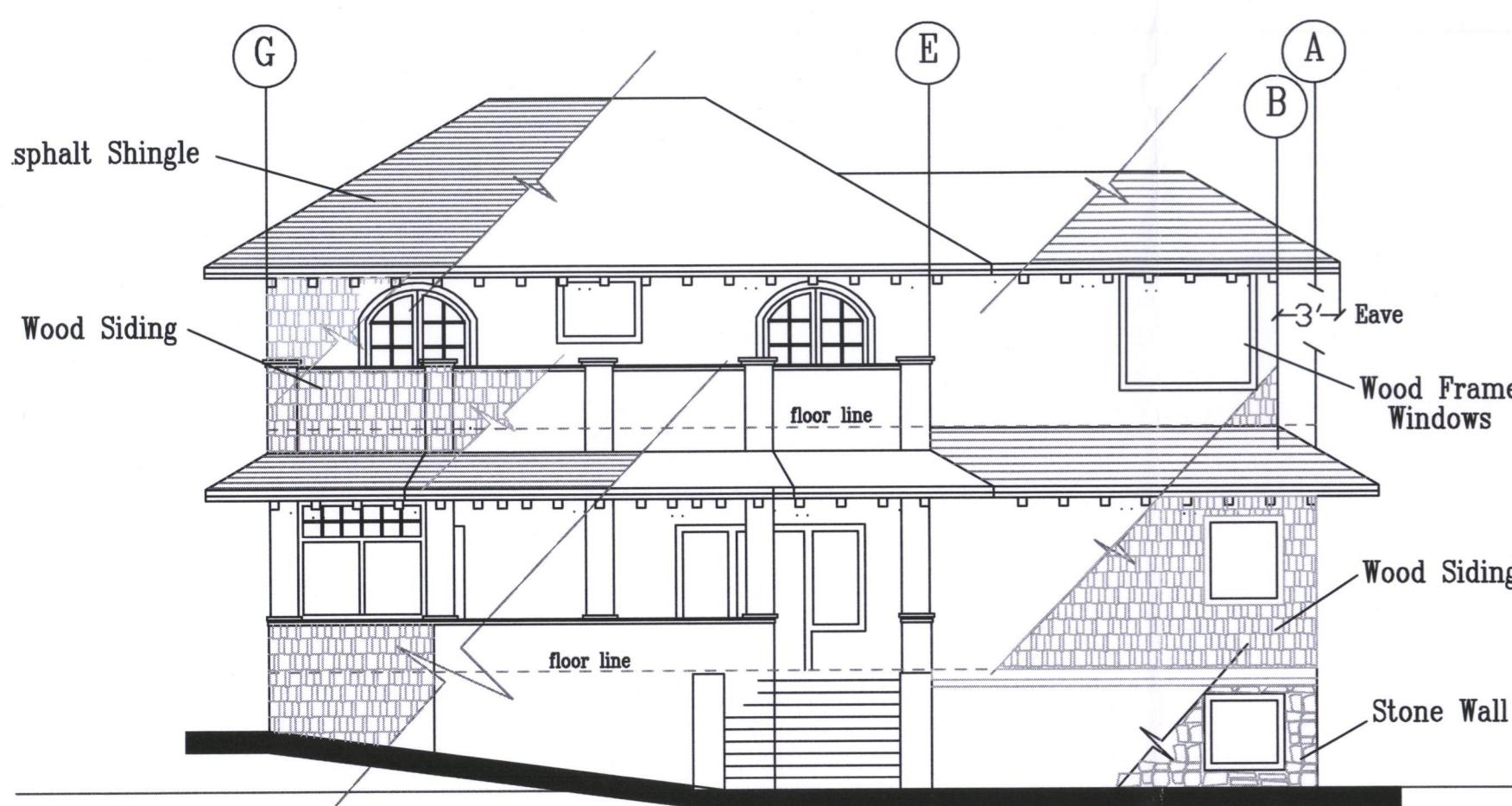
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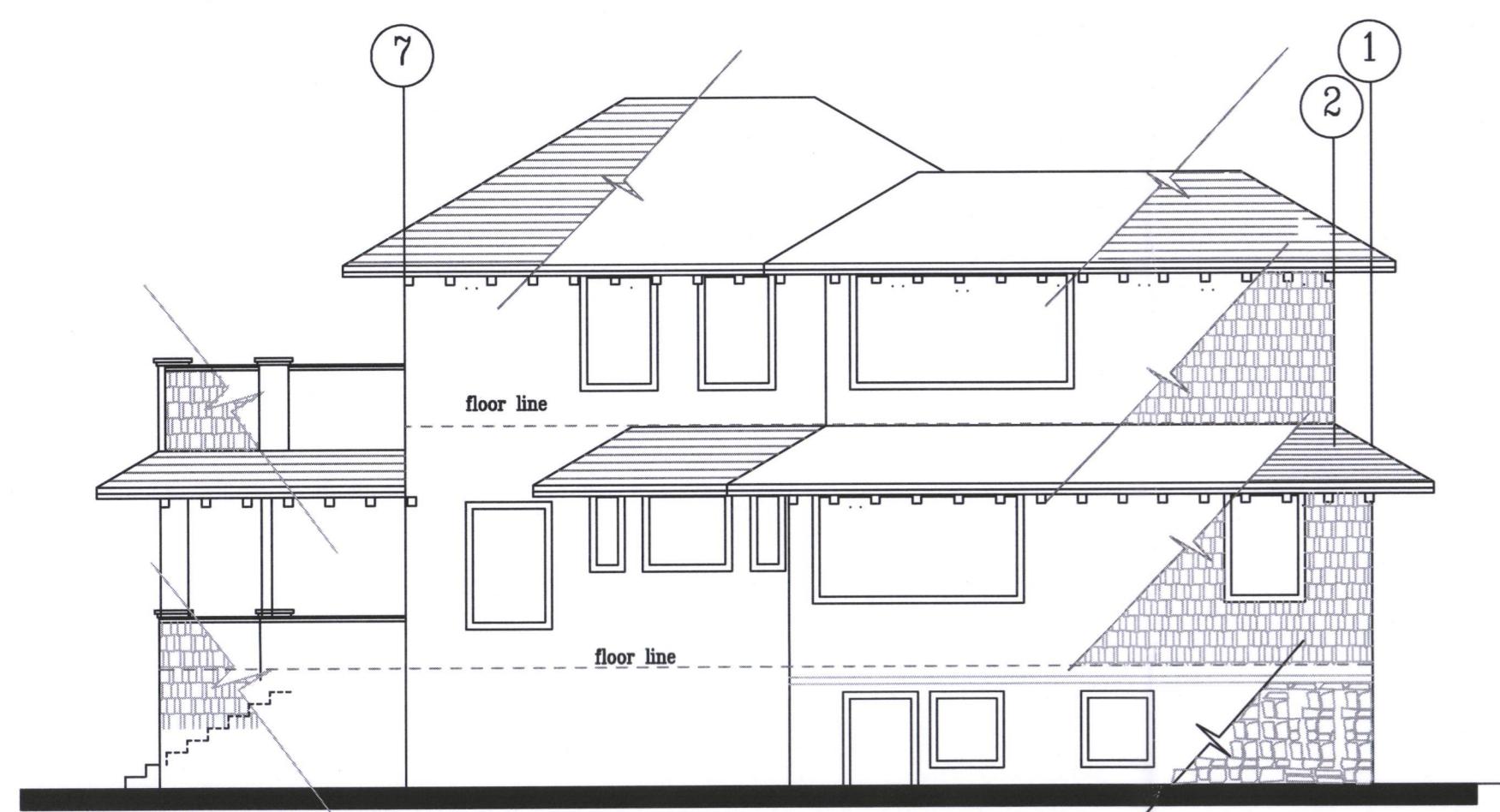
WEST



SOUTH

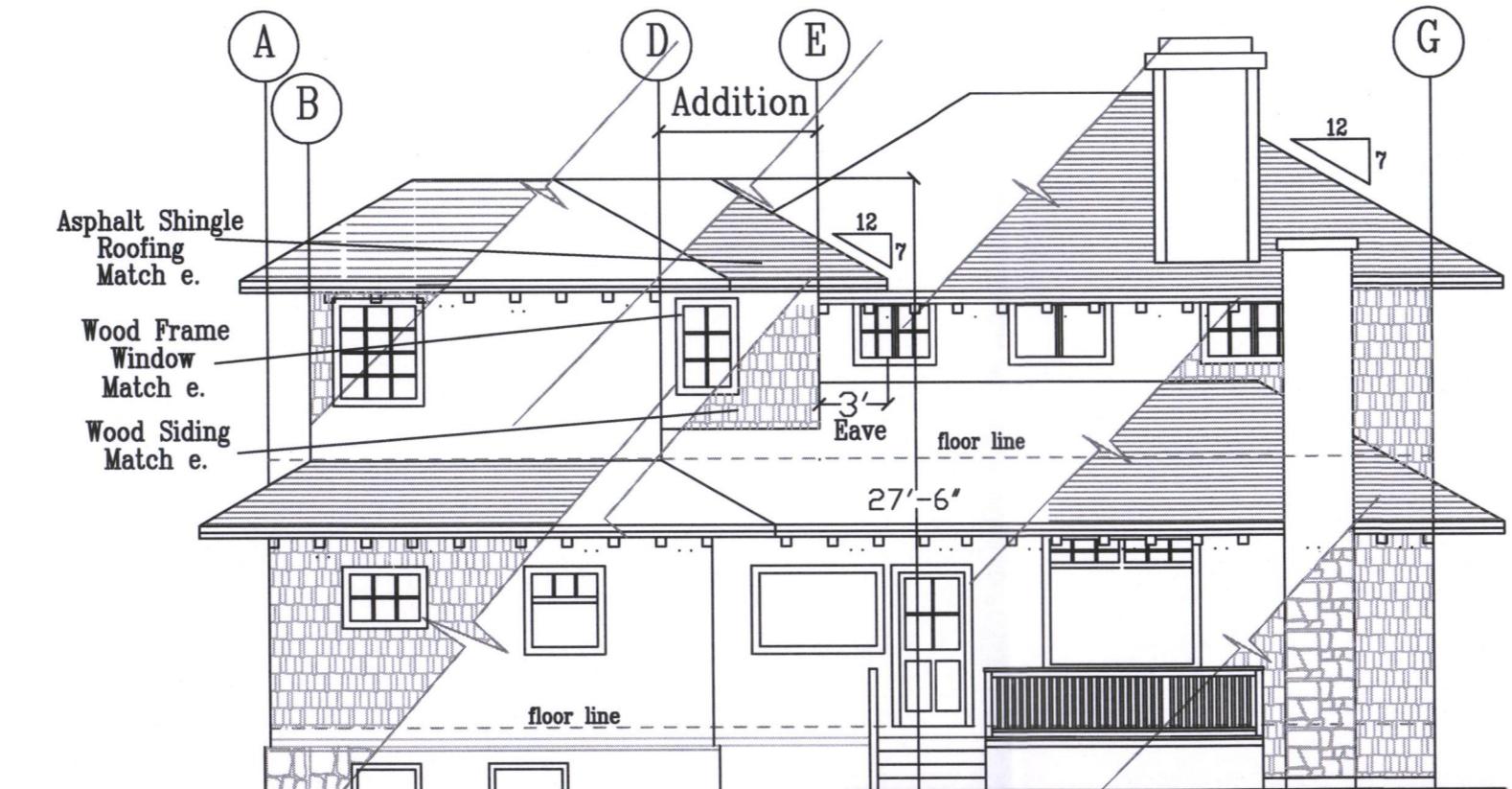


EAST  
No Change

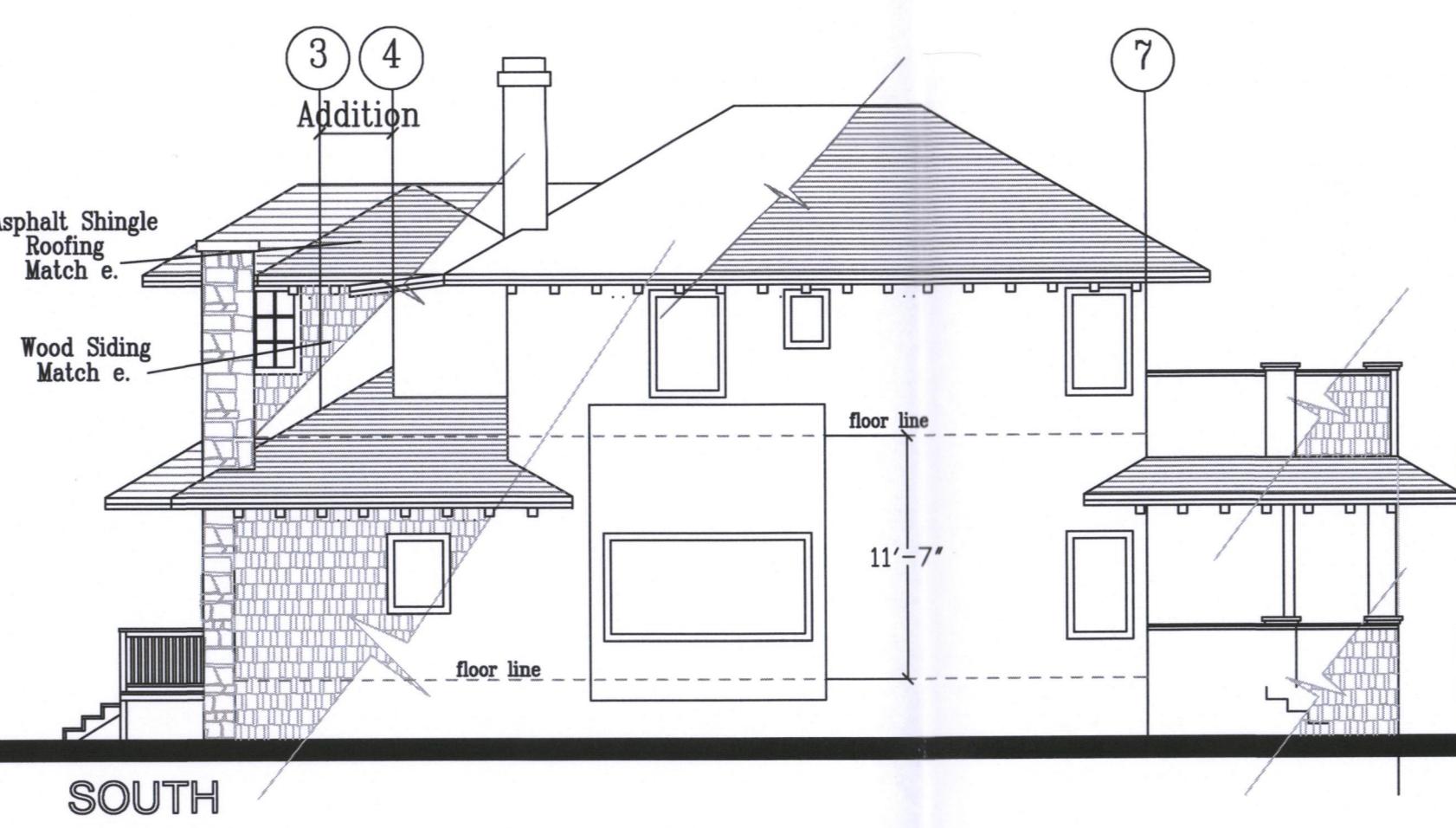


NORTH  
No Change  
**EXISTING EXTERIOR ELEVATIONS**

SCALE : 1/8" = 1'-0"



WEST

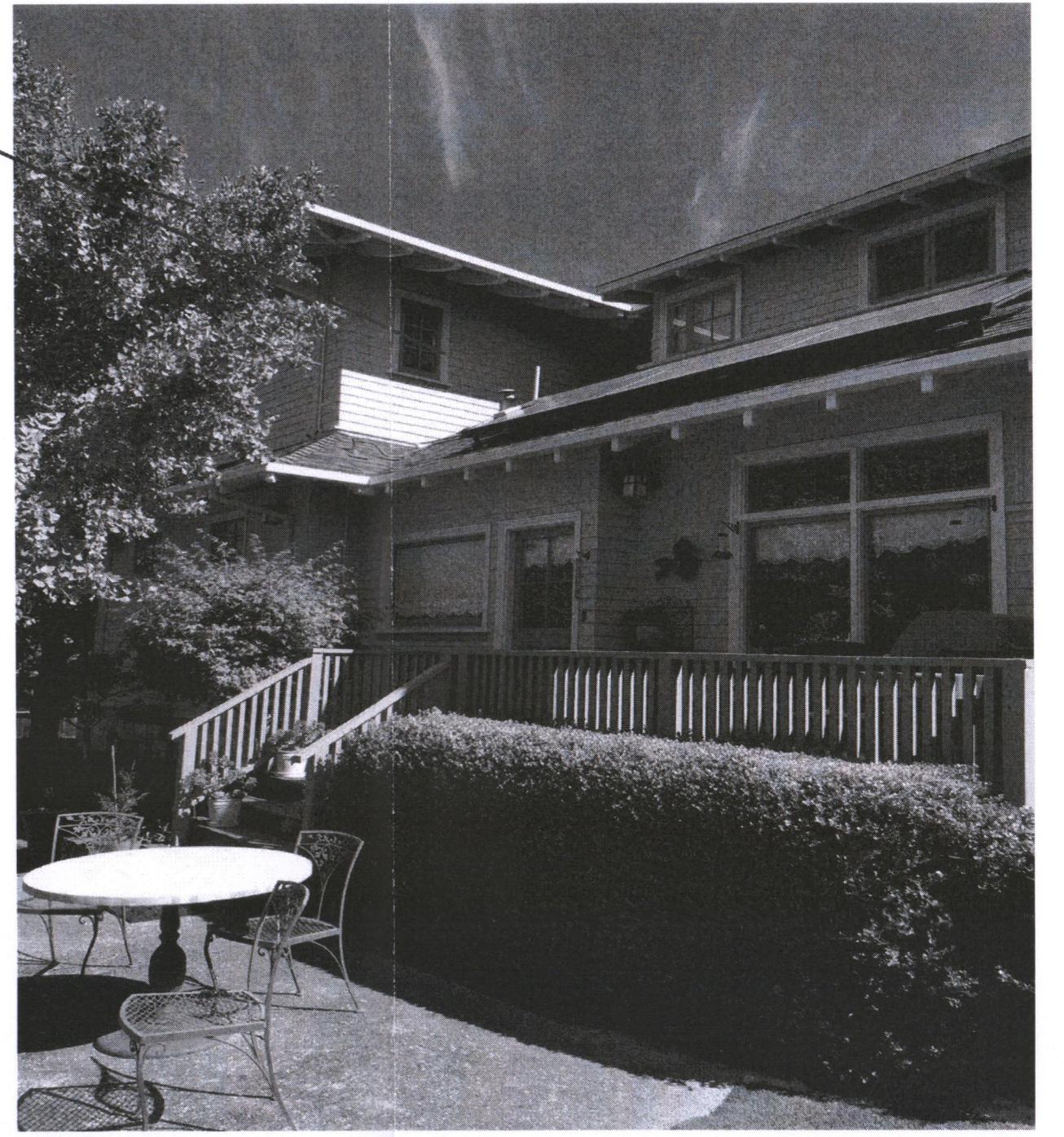


SOUTH

### PROPOSED EXTERIOR ELEVATIONS

SCALE : 1/8" = 1'-0"

**Area of Work**

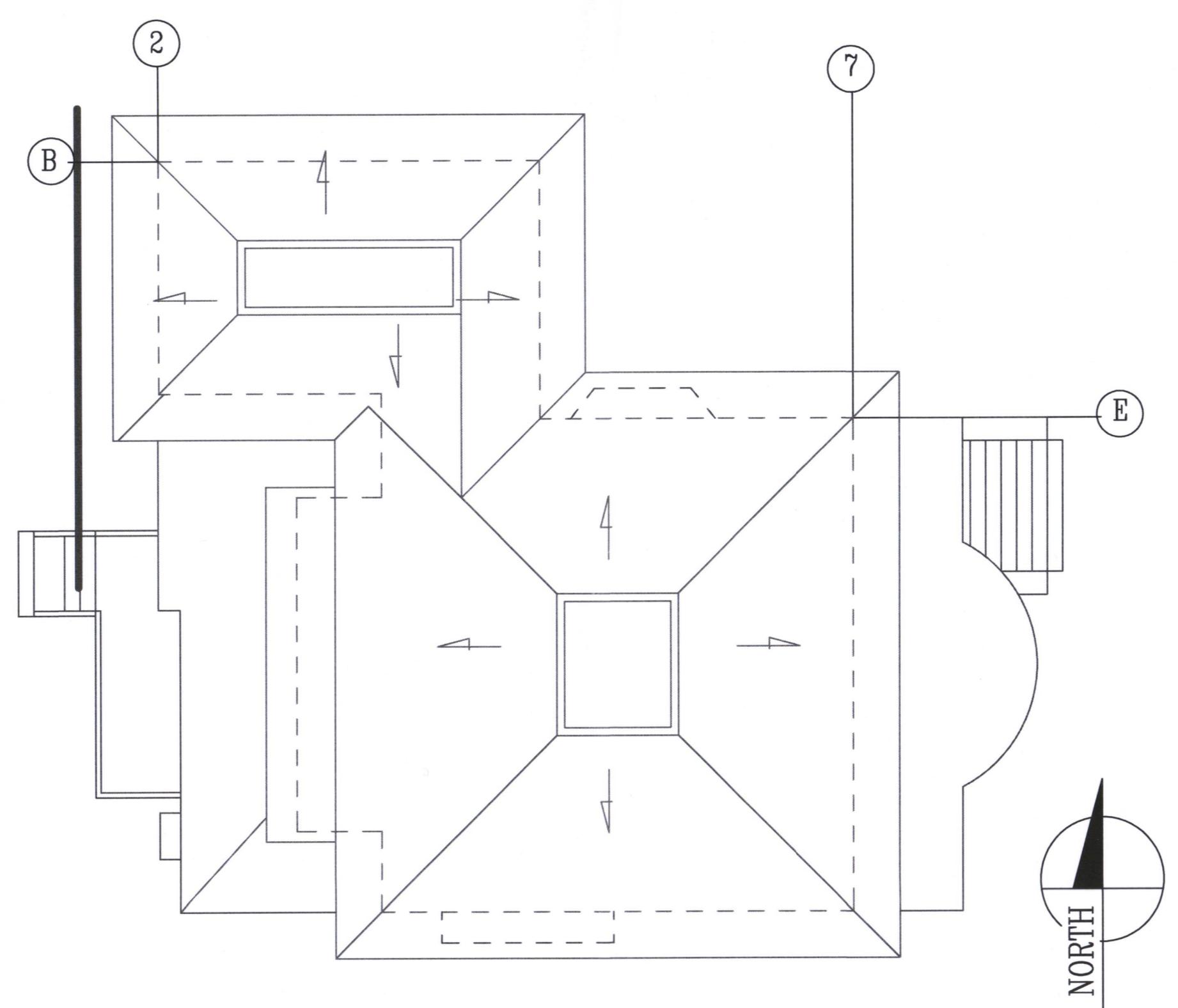


**View from Southwest**

**Materials Used at the Addition to match existing**

Asphalt Shingle Roofing: Style and Color to match existing  
Overhang and Rafter Tails to match existing  
Wood Siding Style and Color to match existing  
Window Style and Color to match existing

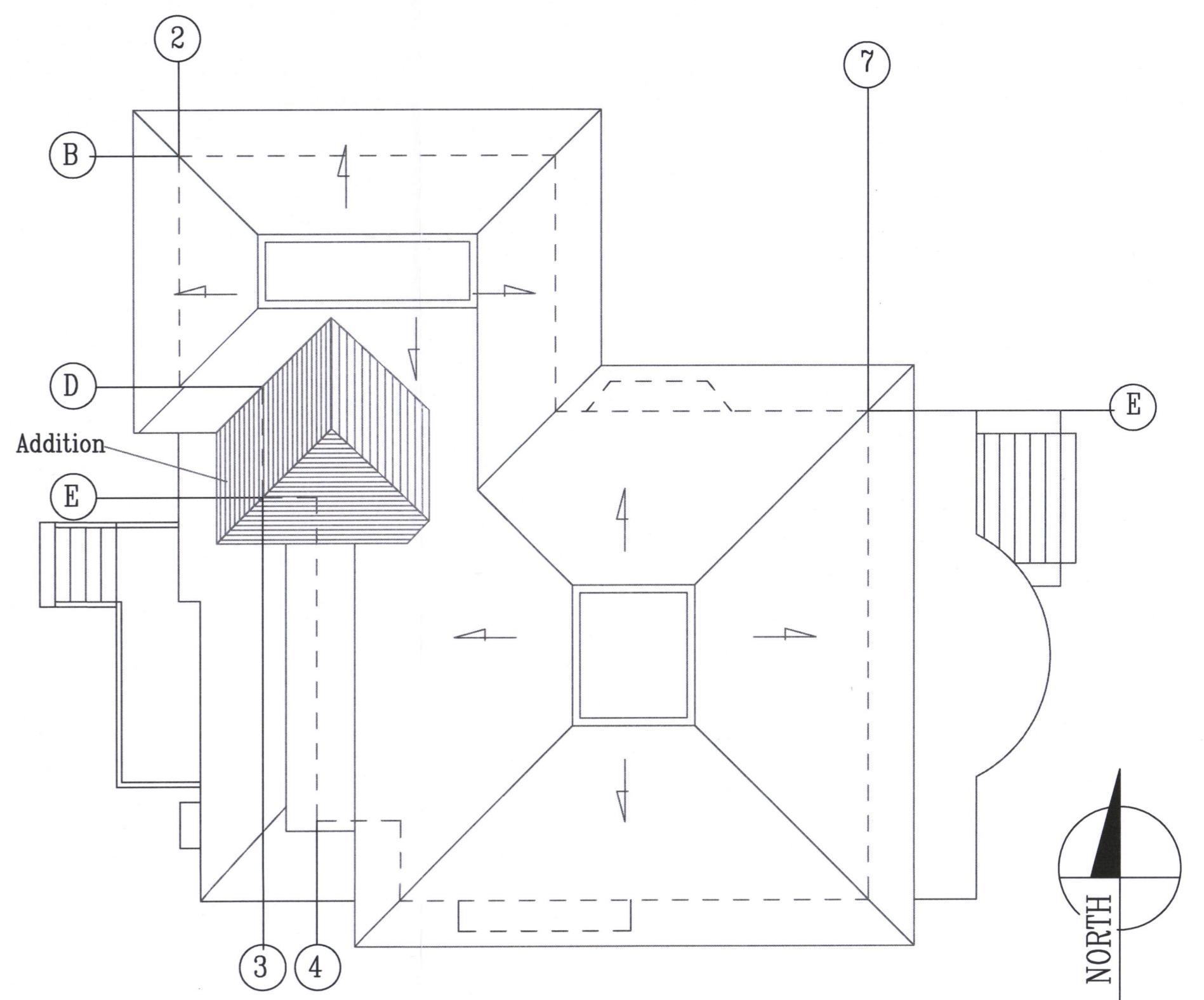
► 64 SF Addition at rear of property



NORTH

### Existing Roof Plan

SCALE : 1/8" = 1'-0"



NORTH

### Proposed Roof Plan

SCALE : 1/8" = 1'-0"

**EDWARD B. NIMIS, ARCHITECT**  
SPOCKEKS, CA 93882  
ednimis@spockeks.com

PO Box 71855

Project: Floor Plan, Roof Plan, Elevations

A2 2 DF 2 01/05/20

INSPECTOR NUMBER

ITEM NUMBER

DATE

PROJECT

Watchet Residence Master Suite  
229 1st Street, Pacific Grove, CA 93950