



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Members of the Historic Resources Committee

FROM: Wendy Lao, Associate Planner

MEETING DATE: March 28, 2018

SUBJECT: Architectural Permit (AP) #18-108 to allow an existing 2,023 square feet single-family residence located at 149 13th Street the removal of a non-historic first-floor boxed bay window on the south elevation, and to allow the removal of the non-historic second-floor rear additions, and to allow a two-story addition of 107 square feet, and historic repair and rehabilitation, creating a total of a 2,130 gross square feet residence.

ADDRESS: 149 13th Street (APN 006-199-001)

**ZONING/
LAND USE:** R-3-PGR/High Density to 29.0 DU/ac

APPLICANT: Sally Kane, owner

CEQA: Categorical Exemption, Section 15331, Class 31

RECOMMENDATION

Receive report, hold public hearing, and approve Architectural Permit #18-108 based on the findings and subject to the staff-recommended conditions.

BACKGROUND

On February 6, 2018, Rick Steres, architect, on behalf of Sally Kane, property owner, applied for Architectural Permit #18-108 for a property located at 149 13th Street in Pacific Grove. The property contains an existing two-story single family residence of 2,023 square feet that is located on the City’s Historic Resources Inventory. The project seeks to demolish portions of the non-historic, non-original, and non-character defining additions of the house, to be rebuilt with a two-story addition of 107 square feet. The project also seeks to repair and rehabilitate, as necessary, all historic character-defining features.

Historic Background:

The main residence was constructed in 1901, and most closely resembles that of a Queen Anne-style, with details also reflecting a Colonial Revival style. According to the Phase 2 Historic Report prepared by historian Seth A. Bergstein of PAST Consultants, LLC on January 26, 2018, the house was first owned by C.D. Smith, whose son, E. Cooke Smith, established the first bank in Pacific Grove in 1889. The house was later occupied by Judge J.R. Patrick, Pacific Grove’s

first justice of the peace. In 1908, the house was then occupied by Hattie Chivers and her son Harry. The contracting company composed of Harry and his brother Richard consequently altered and expanded the house over the following years. For example, the second story was added around 1910, and a dormer and a front porch were added around 1920. Additional alterations were made subsequently all through the 1960s, such as additional dormers, boxed-bays, and windows. Please see the Phase 2 Historic Report for more information.

According to the report, the later additions created a “jumbled composition of building masses, various window insertions and wood siding experiments that are not considered significant due to their haphazard construction techniques that don’t honor the Queen Anne – and Colonial Revival-style details that communicate the building’s historic significance.”

The report states that the remaining character defining features of the residence include the cross-gable roof massing, the Colonial Revival-style front porch, certain boxed bay windows, certain dormers, decorative shingles on the exposed gable ends, one-over-one double-hung sash windows with bullseye window surrounds, and the detached garage.

DISCUSSION

General Plan

The project appears to comply with the following from the General Plan’s Chapter 7, *Historic and Archaeological Resource*:

- *Goal 1: Provide for the identification, protection, preservation, and restoration of Pacific Grove’s heritage of...nineteenth century and early twentieth century historically and architecturally significant resources.*
- *Policy 2: Regulate demolition of buildings of architectural or historical importance.*
- *Policy 6: Encourage individual efforts to restore historic neighborhoods and homes.*

The project seeks to remove portions of the non-historic, non-original, and non-character defining additions of the house, to be replaced with an addition that better complements the Queen Anne and Colonial Revival architectural style. The project also seeks to repair and rehabilitate, as necessary, all character-defining features. This includes restoring decorative elements of the front porch, the circa-1910 boxed bay windows, the existing double-hung, wood-sash windows and window surrounds, the exterior wood siding, and the gable end shingles. This helps to meet the goals and policies of the General Plan.

Zoning Code

The proposed development is in conformance with all requirements of the R-3-PGR zone, including coverage and height requirements, with the following legal-nonconforming exceptions:

1. *Side yard setback:* The zoning regulation requires a side yard setback of 8 feet, and the detached garage provides a side yard setback of less than 1 foot. However, this is considered legal non-conforming, and no changes are proposed to the detached garage.
2. *Number of off-street parking spaces:* The zoning regulation requires at least 2 standard covered parking spaces of 9 x 20 feet each. The detached garage provides one parking space of approximately 11 x 18 feet, and another of approximately 9 x 13 feet, both of which are undersized. However, this is considered legal non-conforming, and no changes are proposed to the detached garage.

3. *Front yard setback for garage:* The zoning regulation requires a front yard setback of 20 feet for garage openings. The detached garage provides a front yard setback of only approximately 2 feet for one garage opening, and 9 feet for the other garage opening. However, this is considered legal non-conforming, and no changes are proposed to the detached garage.

The proposed project will have a building coverage of 31.09%, which is within the allowable maximum building coverage of 50%, pursuant to P.G.M.C. § 23.26.050. The proposed project will have a site coverage of 50.21%, which is within the allowable maximum site coverage of 60%, pursuant to P.G.M.C. § 23.26.051. The proposed project will have a gross floor area of 2,130 square feet, which is within the allowable maximum building coverage of 2,633 square feet, pursuant to P.G.M.C. § 23.26.060. The proposed project will maintain its building height of 26 feet and 4 inches, which is within the allowable maximum height limit of 30 feet, pursuant to P.G.M.C. § 23.26.040.

Architecture Review Guidelines:

The project proposal appears to adhere to many Architectural Review Guidelines, including but not limited to:

Guideline #31: Additions should be designed so that the pitch of the new roof matches or complements the pitch of the existing roof lines.

The project proposes to remove non-aesthetically pleasing, boxy additions, which would be replaced with a new addition that extends and complements the pitch of the existing roof lines.

Guideline #35: Design a façade to appear similar in scale and character to those in its context.

The project proposes to remove non-historic additions that do not honor the Queen Anne and Colonial architectural styles, to be replaced with a new addition that better complements the historic nature of the house. Additional historic rehabilitation, such as window improvements, will create a façade that is in character of the historic nature of the house.

Architecture Review Guidelines for Historic Buildings:

The project proposal appears to adhere to many Architectural Review Guidelines for Historic Buildings, including but not limited to:

Guideline #1: Neighborhood Context. Any additions to historic buildings must take into account the effect of the proposed addition on the existing neighborhood, including but not limited to setbacks, mass, architectural style, and design. Neighborhood change should be slow and evolutionary.

The project proposes to remove portions of the existing 2,023 square feet residence, to be replaced with a two-story addition of 107 square feet, which is a minor ~5% increase in gross floor area. Combined with the historic repair and rehabilitation efforts, this does not create a drastic change to the neighborhood.

Guideline #2: Effects of additions on historic scale and character: additions to historic buildings should be designed to preserve, as much as possible, the scale and overall character of the original structure.

The project proposes to remove non-historically significant additions of the house, to be replaced with an addition that better complements the Queen Anne and Colonial Revival architectural styles. The addition is minor and only a 5% increase in gross floor area. The project also proposes historic repair and rehabilitation, which will maintain the historic character of the house.

Guideline #3: Preservation of character-defining features.

According to the Phase 2 Historic Report, the proposed rehabilitation design does not remove any of the remaining character-defining features of the house that add to its historic significance. For example, the south elevation's rear, circa-1940 bay window is a later addition that does not contribute to the house's historic significance. In addition, the cantilevered building mass on the rear addition is "not compatible with the remainder of the house in scale, proportion or stylistic details." Furthermore, other windows to be removed on the rear elevation are also not in keeping with the Queen Anne and Colonial Revival style of the house. Much of the scale and overall character of the original structure is preserved.

Environmental Determination:

The project qualifies for a Class 3 exemption from CEQA requirements, pursuant to Section 15331 – Historical Resource Restoration/Rehabilitation. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact. The proposed alterations do not constitute a substantial adverse change to the historic resource, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

ATTACHMENTS

- A. Permit Application
- B. Project Data Sheet
- C. Draft Permit
- D. State Department of Parks and Recreation (DPR) 523 Form
- E. Phase 2 Historic Report
- F. Project Plans

RESPECTFULLY SUBMITTED:

Wendy Lao

Wendy Lao, Associate Planner



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Application # AP 18-108

Date: 2/6/18

Total Fees: \$3,581.30

APPLICANT/OWNER:

Project Address: 149 13th APN: 006-199-001

Project Description: Remove Altered portion of rear of house & rebuild, net 107 sq. ft added. Relocate existing downstairs bath. Remodel kitchen, upstairs bath, laundry & sun room

Tree Work? Yes No

Applicant	Owner
Name: <u>Rick Steres</u>	Name: <u>Sally Kane</u>
Phone: <u>646-1131</u>	Phone: <u>831-372-3856</u>
Email: <u>ricksteres@hotmail.com</u>	Email: <u>sallykane@aol.com</u>
Mailing Address: <u>227 Grand Av. Suite 4</u> <u>Pacific Grove CA 93950</u>	Mailing Address: <u>149 13th St.</u> <u>Pacific Grove CA 93950</u>

Permit Request:

<input type="checkbox"/> CRD: Counter Determination	<input type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> LM: Lot Merger	<input type="checkbox"/> EIR: Environmental Impact
<input checked="" type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> UP: Use Permit	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> VAR: Variance
<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> AUP: Administrative UP	<input checked="" type="checkbox"/> HPP: Historic Preservation	<input type="checkbox"/> MMP: Mitigation Monitoring
<input type="checkbox"/> ADC: Arch Design Change	<input type="checkbox"/> ADU: Acc. Dwelling Unit	<input type="checkbox"/> A: Appeal	<input type="checkbox"/> Stormwater Permit
<input type="checkbox"/> ASP: Admin Sign Permit	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> TPD: Tree Permit W/ Dev't	<input type="checkbox"/> Other: _____

PLANNING STAFF USE ONLY:

CEQA Determination:	Review Authority:	Active Permits:	Overlay Zones:
<input checked="" type="checkbox"/> Exempt	<input type="checkbox"/> Staff	<input type="checkbox"/> Active Planning Permit	<input type="checkbox"/> Butterfly Zone
<input type="checkbox"/> Initial Study & Mitigated Negative Declaration	<input type="checkbox"/> ZA	<input type="checkbox"/> Active Building Permit	<input type="checkbox"/> Coastal Zone
<input type="checkbox"/> Environmental Impact Report	<input type="checkbox"/> SPRC	<input type="checkbox"/> Active Code Violation	<input checked="" type="checkbox"/> Area of Special Biological Significance (ASBS)
	<input type="checkbox"/> ARB	Permit #: _____	<input type="checkbox"/> Environmentally Sensitive Habitat Area (ESHA)
	<input checked="" type="checkbox"/> HRC		
	<input type="checkbox"/> PC		
	<input type="checkbox"/> CC		
	<input type="checkbox"/> _____		

Property Information

Lot: 19, 36 5 Block: 35 Tract: RETRACT

ZC: R-3-PGR GP: High den. 29,000/ac Lot Size: 4990sf

Historic Resources Inventory **RECEIVED** Archaeologically Sensitive Area

Staff Use Only:

Received by: WL **FEB 06 2018** **PAID 3,581.30**

Assigned to: CITY OF PACIFIC GROVE 2-6-18
COMMUNITY DEV DEPT

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

I further acknowledge it is my responsibility to determine whether additional permits are required.

Applicant Signature: [Signature]

Date: 2-5-2018

Owner Signature (Required): [Signature]

Date: 2/6/18

RECEIVED

PROJECT DATA SHEET

FEB 06 2018

Project Address: 149 13th Street

Submission Date: 6-26-2017

Applicant(s): Rick Steres

Permit Type(s) & No(s): CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-3-PGR			
Building Site Area	4,320 sq.ft.			
Density (multi-family projects only)				
Building Coverage	50%	30.35%	31.09%	
Site Coverage	60%	49.47%	50.21%	
Gross Floor Area	2633	2023	2130	
Square Footage not counted towards Gross Floor Area		174	165	Ceiling Height
Impervious Surface Area Created and/or Replaced		0	0	
Exterior Lateral Wall Length to be demolished in feet & % of total*	--	376 l.f.	21.0%	
Exterior Lateral Wall Length to be built	-----	-----	76 L.F.	
Building Height	30'	26'-4"	26'-4"	
Number of stories	2	2	2	
Front Setback	8'	10'-6"	10'-6"	
_____North___Side Setback (specify side)	10'	3'-3"	3'-3"	Garage
_____South_____Side Setback (specify side)	7.2'	13'	11'-8"	
Rear Setback	8'	5'-10"	8'-3"	
Garage Door Setback	20'	4'	4'	
Covered Parking Spaces	1	1	1	1 Std. / 1 Compact
Uncovered Parking Spaces	1	0	0	
Parking Space Size (Interior measurement)	9' x 20'	11'x18'	11'x18'	
Number of Driveways	1	1	1	
Driveway Width(s)	24'	9'	9'	
Back-up Distance				
Eave Projection (Into Setback)	3' maximum	7'-9"	7'-9"	Garage
Distances Between Eaves & Property Lines	3' minimum	0	0	Garage
Open Porch/Deck Projections		8'	8'	Front Porch & Stair
Architectural Feature Projections		0	0	
Number & Category of Accessory Buildings	1	1	1	



CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.cityofpacificgrove.org/cedd

ARCHITECTURAL PERMIT #18-108

TO ALLOW AN EXISTING 2,023 SQUARE FEET SINGLE-FAMILY RESIDENCE LOCATED AT 149 13TH STREET THE REMOVAL OF A NON-HISTORIC FIRST-FLOOR BOXED BAY WINDOW ON THE SOUTH ELEVATION, AND TO ALLOW THE REMOVAL OF THE NON-HISTORIC SECOND-FLOOR REAR ADDITIONS, AND TO ALLOW A TWO-STORY ADDITION OF 107 SQUARE FEET, AND HISTORIC REPAIR AND REHABILITATION, CREATING A TOTAL OF A 2,130 GROSS SQUARE FEET RESIDENCE.

FACTS

1. The subject site is located at 149 13th Street, Pacific Grove, 93950 (APN 006-199-001).
2. The subject site has a designation of High Density to 29.0 DU/ac on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-3-PGR zoning district.
4. The subject site is a corner parcel of 4,320 square feet.
5. The subject site is developed with a 2-story single family residence with a detached garage totaling 2,023 gross square feet.
6. The single family residence was built in 1901, and is listed on the City's Historic Resources Inventory.
7. Seth A. Bergstein, qualified historian of PAST Consultants, LLC, completed a Phase 2 Historic Report on January 26, 2018, and determined that the proposed project is consistent with the Secretary of Interior's Standards for the Treatment of Historic Properties.
8. The subject site is located in the City's Area of Special Biological Significance Watershed.
9. This project has been determined to be CEQA Exempt under CEQA Guidelines Section 15331, Class 31, Historical Resource Restoration/Rehabilitation.

FINDINGS

Per P.G.M.C. 23.70.070(h):

1. The architecture and general appearance of the completed project is compatible with the neighborhood, and;
2. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood, and;
3. The committee has been guided by and has made reference to applicable provisions of the architecture review guidelines in making its determination on single-family residences, and;
4. The exterior alteration of any structure on the historic resources inventory is consistent with the Secretary of the Interior's Standards for Rehabilitation of Historic Buildings, and;
5. The exterior alteration of any structure on the historic resources inventory complies with Appendices I through IV of the Pacific Grove Architectural Review Guidelines.

PERMIT

Architectural Permit #18-108 to allow an existing 2,023 square feet single-family residence located at 149 13th Street the removal of a non-historic first-floor boxed bay window on the south elevation, and to allow the removal of the non-historic second-floor rear additions, and to allow a two-story addition of 107 square feet, and historic repair and rehabilitation, creating a total of a 2,130 gross square feet residence.

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.

2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approved plans for “Kane Residence”, dated February 6, 2018, on file with the Community Development Department and to the Building Code, with the exception of any subsequently approved changes.
6. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
7. **Lighting:** All exterior lighting must conform to Architectural Review Guidelines Nos. 10,11,12
8. **Building Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC RESOURCES COMMITTEE OF THE CITY OF PACIFIC GROVE:

1. The Committee determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Committee authorizes Approval of AP 18-108 to allow: to allow an existing 2,023 square feet single-family residence located at 149 13th Street the removal of a non-historic first-floor boxed bay window on the south elevation, and to allow the removal of the non-historic second-floor rear additions, and to allow a two-story addition of 107 square feet, and historic repair and rehabilitation, creating a total of a 2,130 gross square feet residence.
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

PASSED AND ADOPTED AT A REGULAR MEETING OF THE HISTORIC RESOURCES COMMITTEE OF THE CITY OF PACIFIC GROVE ON THE 28TH DAY OF MARCH, 2018, BY THE FOLLOWING VOTE:

AYES: **XXX**

NOES: XXX

ABSTAIN: XXX

APPROVED:

Claudia Sawyer, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Sally Kane, Owner

Date

(State use only)

Ser _____ Site _____ Mo. _____ Yr. _____
 UTM _____ Q _____ NR 3D Item 9c SHL _____
 Lat _____ Lon _____ Era _____ Sig _____
 Adm _____ T2 _____ T3 _____ Cat _____ HABS _____ HAER _____ Fed _____
 UTM 10/59715/405316

HISTORIC RESOURCES INVENTORY

IDENTIFICATION

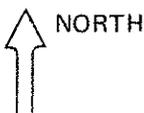
- Common name: _____
- Historic name, if known: Smith, (Mrs. C.D) House
- Street or rural address 149 13th St.
 City: Pacific Grove, CA ZIP: 93950 County: Monterey
- Present owner, if known: Marie Fontana Address: 149 13th St.
 City: Pacific Grove, CA ZIP: 93950 Ownership is: Public Private
- Present Use: Private Residence Original Use: Single Family Residence
 Other past uses: _____

DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

Two story structure painted white with olive trim
 Gable roof with plain boxed cornice and frieze
 Eaves extend around corner
 Decorative shingles below gable - surmount horizontal siding
 Shed dormers
 Roof over doorway - gable with pediment boxed cornice & carving in gable
 Square bay with brackets below and truncated bell hood
 Molded frieze above and below bay

7. Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):



8. Approximate property size:
 Lot size (in feet) Frontage 72
 Depth 60 ;
 or approx. acreage _____.

9. Condition: (check one)

- a. Excellent b. Good c. Fair
 d. Deteriorated e. No longer in existence

10. Is the feature a. Altered? b. Unaltered?

11. Surroundings: (Check more than one if necessary)

- a. Open land b. Scattered buildings
 c. Densely built-up d. Residential
 e. Commercial f. Industrial
 g. Other

12. Threats to site:

- a. None known b. Private development
 c. Zoning d. Public Works project
 e. Vandalism f. Other

13. Date(s) of enclosed photograph(s): _____ 1977

NOTE: The following (Items 14-19) are for structures only.

14. Primary exterior building material: a. Stone b. Brick c. Stucco d. Adobe e. Wood
 f. Other _____
15. Is the structure: a. On its original site? b. Moved? c. Unknown?
16. Year of initial construction 1901 This date is: a. Factual b. Estimated
17. Architect (if known): _____
18. Builder (if known): _____
19. Related features: a. Barn b. Carriage house c. Outhouse d. Shed(s) e. Formal garden(s)
 f. Windmill g. Watertower/tankhouse h. Other _____ i. None

SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):

This house contains some noteworthy carving and columns. It is situated in an early section of the Retreat among the few remaining buildings of its time.

21. Main theme of the historic resource: (Check only one): a. Architecture b. Arts & Leisure
 c. Economic/Industrial d. Exploration/Settlement e. Government f. Military
 g. Religion h. Social/Education

22. Sources: List books, documents, surveys, personal interviews, and their dates:

Monterey County Assessor's Records

23. Date form prepared: _____ By (name): _____
 Address: _____ City _____ ZIP: _____
 Phone: _____ Organization: _____

(State Use Only)



P A S T
CONSULTANTS LLC

Seth A. Bergstein
415.515.6224
seth@pastconsultants.com

RECEIVED

FEB 06 2018

CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

January 26, 2018

Sally Kane
149 13th St.
Pacific Grove, CA 93950

Re: Phase Two Historic Assessment for 149 13th Street, Pacific Grove, CA
APN. 006-199-001-000

Dear Ms. Kane:

This letter evaluates the proposed alterations to the property located at 149 13th Street, in Pacific Grove, CA. PAST Consultants, LLC (PAST) completed a site visit to the property on January 15, 2018 to view the property's existing conditions. The subject property contains a modified Queen Anne-style single-family house (1901) and garage that have received alterations since its original construction.

The subject property encompasses Block 35, Lots 1 and 3 of the Pacific Grove retreat grounds and is located on the southeast corner of 13th Street and Don Ricketts Row (formerly High Street). The property was listed on the City of Pacific Grove's HRI (Property No. P-00128) in 1978, as it is historically significant for its occupation by the Chivers family. Richard and Harry Chivers' contracting company constructed many significant houses in Pacific Grove.

The following Phase Two Historic Assessment provides a description and summary history of the property; a chronology of the changes made to all buildings on the subject property; a list of the property's remaining character-defining features; a list of proposed alterations; and an evaluation of the proposed alterations to the property's historic buildings for conformance with the *Secretary of the Interior's Standards for Rehabilitation*.

The Secretary of the Interior's Standards

The *Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards)* provides the framework for evaluating the impacts of additions and alterations to historic buildings. The *Standards* describe four treatment approaches: preservation, rehabilitation, restoration and reconstruction. The *Standards* require that the treatment approach be determined first, as a different

P.O. Box 721
Pacific Grove, CA 93950
www.pastconsultants.com

set of standards apply to each approach. For the proposed project, the treatment approach is rehabilitation. The *Standards* describe rehabilitation as:

In *Rehabilitation*, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation; however, an assumption is made prior to work that existing historic fabric has become damaged or deteriorated over time and, as a result, more repair and replacement will be required. Thus, latitude is given in the Standards for Rehabilitation and Guidelines for Rehabilitation to replace extensively deteriorated, damaged, or missing features using either traditional or substitute materials. Of the four treatments, only Rehabilitation includes an opportunity to make possible an efficient contemporary use through alterations and additions.¹

The ten *Standards* for rehabilitation are:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

¹ *The Secretary of the Interior's Standards for the Treatment of Historic Properties* (accessed via <http://www.nps.gov/hps/tps/standguide/>).

Summary of Property History

A review of available Sanborn maps and City of Pacific Grove Planning Department files indicates that the subject lot was not developed until 1901. The first appearance of the subject house is on the 1905 Sanborn map (Figure 1).

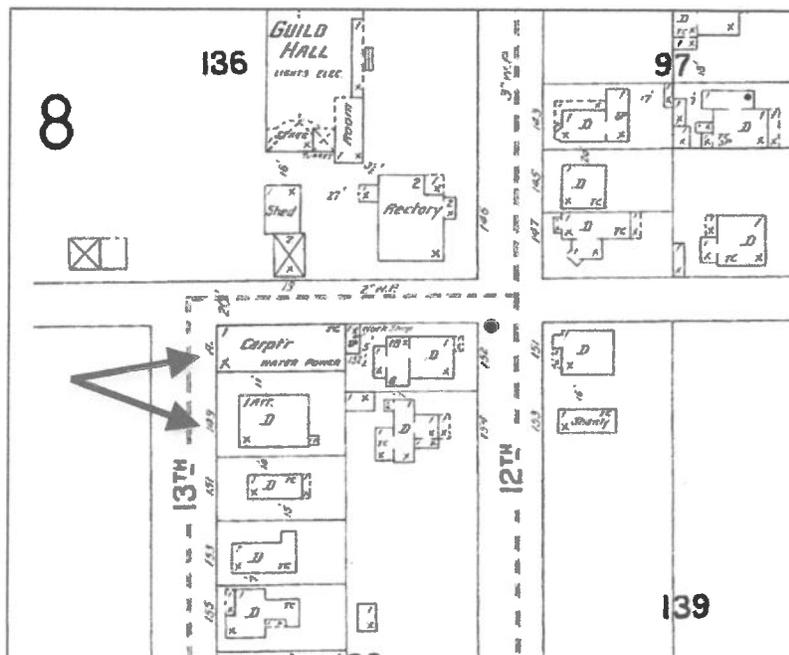


Figure 1. Cropped image of the 1905 Sanborn map, showing the subject property with arrows.

The house was constructed in 1901 and owned by Mrs. C.D. Smith, whose son, E. Cooke Smith, established the first bank in Pacific Grove in 1889. The E. Cooke Smith Bank was incorporated in 1906.² Mrs. C.D. Smith did not occupy the house, using it as a rental property. At the time of the above 1905 Sanborn Map, the property was occupied by Judge J.R. Patrick, Pacific Grove's first justice of the peace.³ J.R. Patrick operated a mill and cabinet shop on the corner of 13th and High streets, as shown above (Figure 1). His retail shop was located on Lighthouse Avenue.⁴

The 1905 map depicts the house as a single-story structure with an attic and a small rear porch. The Carpentry building was located on the adjacent lot, on the corner of High and 13th Streets.

² McLane, Lucy N. *A Piney Paradise*, 4th edition, (Baltimore, MD: Gateway Press, 2004), 180.

³ *Ibid*, p. 148.

⁴ *Ibid*, p. 99.

In 1908, Hattie Chivers and her son, Harry, moved to the subject property. Trained in construction and carpentry, Harry quickly sent for his brother Richard to establish their contracting business.⁵ The 1914 Sanborn map reveals changes made to the subject property between 1905 and 1914 by the Chivers brothers (Figure 2).

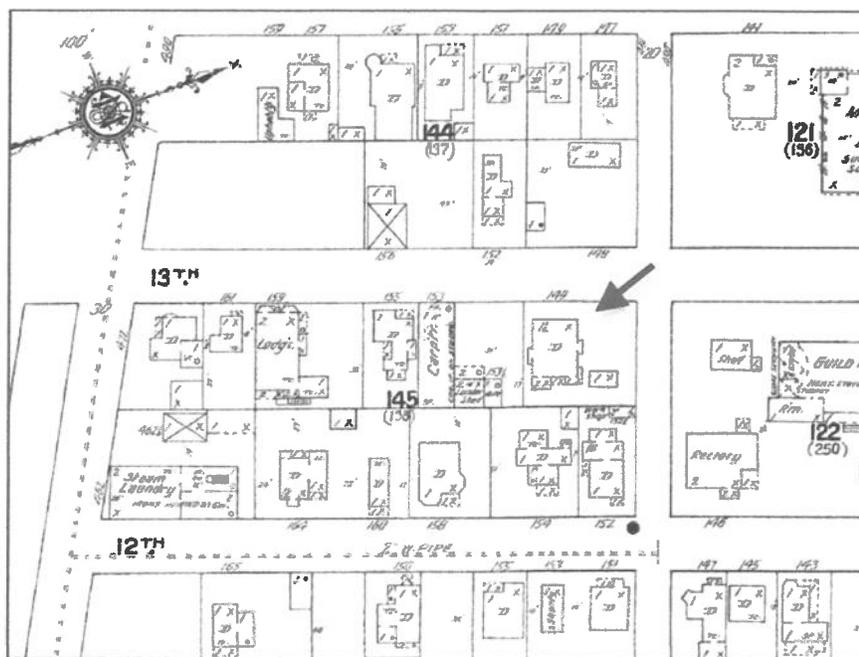


Figure 2. Cropped image of the 1914 Sanborn map, showing the subject property with an arrow.

Comparison of the 1905 and 1914 maps reveals that the Chivers brothers added substantially to the house, converting the attic to livable space with the addition of a cross gable to the roof, constructing the square bay windows on the first floor of the north and south elevations, adding a rear porch entrance with interior stairs to the upstairs section of the house at the rear of the north elevation, adding the 2-story mass on the rear elevation at the southeast building corner, and a small single-story addition to the rear elevation (Figure 2). In addition, the Carpentry building on the adjacent northerly lot was removed and replaced with a small outbuilding.

⁵ Heritage Society of Pacific Grove archives, 149 13th Street.

The 1926 Sanborn map reveals additional modifications to the subject property (**Figure 3**).

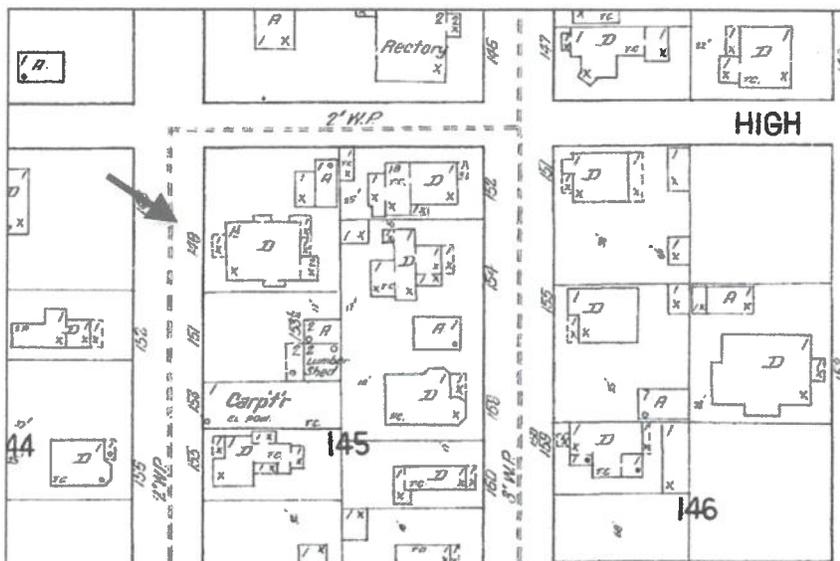


Figure 3. Cropped image of the 1926 Sanborn map, showing the subject property with an arrow.

Analysis of the 1926 Sanborn map reveals that the ornate front porch was constructed between 1914 and 1926. The accessory building facing High Street was enlarged by adding a garage. By this time, the Chivers Brothers contracting company had expanded to include the adjacent lots located at 151 and 153 13th Street. A historic image of 13th Street depicts the operation (**Figure 4**).

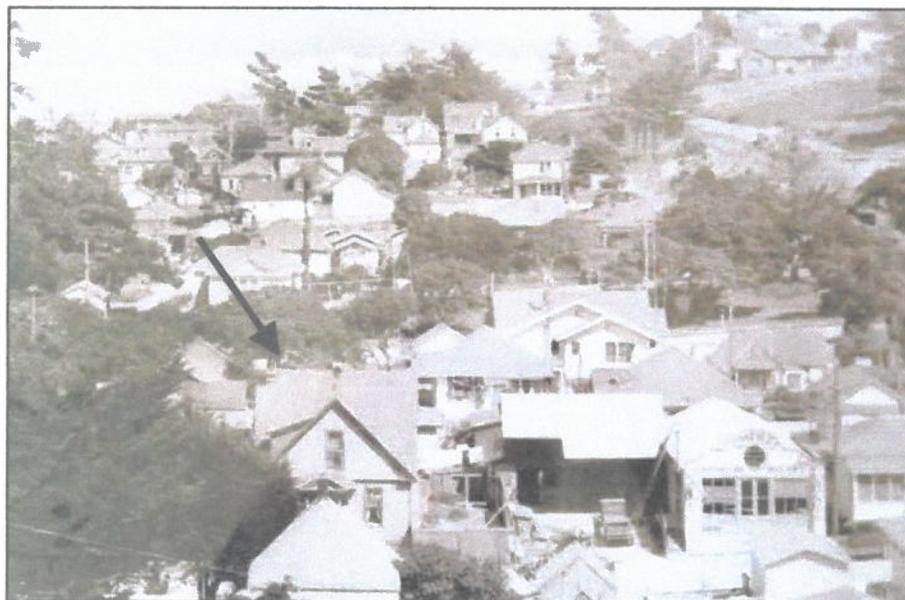


Figure 4. Circa 1920s image of the Chivers Brothers buildings with the subject house indicated by an arrow (*Courtesy of current property owner Sally Kane*).

The historic image shows the cross gable design completed, along with the dormer to the left of the street-facing, two-story gable end.

The 1926 (updated to 1962) Sanborn map reveals additional changes to the building (Figure 5).

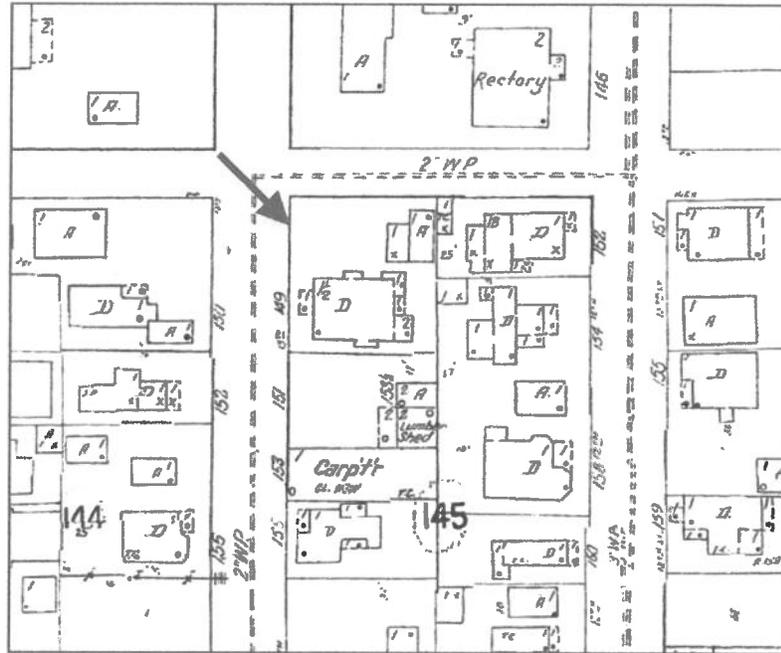


Figure 5. Cropped image of the 1926 (Updated 1962) Sanborn map, showing the subject property with an arrow.

Comparison of the 1926 and 1926 (updated to 1962) Sanborn maps, reveals changes made to the rear of the subject house, with most other features remaining the same. It should be noted that later additions, such as the addition of the south elevation dormer and the insertion of newer windows into the rear additions would not appear on the Sanborn maps.

Sanborn Map Conclusions

The subject property underwent considerable modifications and alterations, particularly to the house, which received the second-story addition, the dormers added to the roof, the front porch addition, and the construction and modifications to the rear elevation. One can imagine the Chivers brothers enjoying using their residence as a laboratory of construction techniques and stylistic modifications. Even after most of the changes made to the building were completed by 1926, the brothers added an additional dormer and square bay window to the south elevation; and various window alterations to the south and east (rear) elevations. These changes likely continued until their construction company closed in 1948.⁶

⁶ Harry Chivers died in 1920, but the company remained in operation until 1948 (Heritage Society of Pacific Grove archives).

Existing Site Conditions

The subject house was constructed in 1901 as a single-story, Vernacular-style residence. Substantial alterations during the Chivers brothers' occupancy in the early 1900s through the 1940s altered the original house considerably. The present house reads as a Queen Anne-style building, with a cross-gable design and decorative wood details in both the Queen Anne and Colonial Revival styles. The house has a single brick chimney; boxed bay windows with leaded glass toplights; a combination of rustic wood siding and decorative shingles in the gable ends; a front porch with a boxed and dentilated pediment containing decorative scrolls supported by Corinthian columns and containing boxed porch rails; and fenestration consisting of one-over-one, double-hung sash with bullseye surrounds, single-pane wood casements in the boxed bay windows, and later windows inserted into more recent dormers and the rear additions (Figures 6 – 9).



Figures 6 and 7. Left image shows the front elevation, with the circa-1920 Colonial Revival-style front porch. Right image shows the left side (north) elevation, with the circa-1920 dormer near the front gable end (arrow).



Figures 8 and 9. Left image details the north elevation, with circa-1910 boxed bay window and circa-1910 rear entrance (arrow). Right image shows the south elevation, with later undated additions including a circa-1940s boxed bay window, second-story dormer and the south elevation of the circa-1910 two-story mass (arrows).

The rear elevation is the most altered elevation of the house and contains various additions installed in different building campaigns dating from circa-1910 to the 1940s (Figures 10 and 11).



Figures 10 and 11. Left image shows the circa-1910 single-story rear addition, with large, undated second-story mass installed and cantilevered above (arrow). Right image shows the rear addition's southeast corner, with various later window and wood-siding insertions.

The garage facing High Street was constructed in 1923 against an existing outbuilding that appeared on the Sanborn maps circa-1910 (Figures 12 and 13).



Figures 12 and 13. Left image shows the circa-1910/1923 garage outbuilding located at the site's northeast corner (arrow). Right image details the garage, taken from the rear yard looking northeast.

Construction Chronology

A records search at the City of Pacific Grove planning and building departments did not reveal any permits (other than the garage addition) that can date the additions, as most of the primary changes to the building occurred from circa-1908 into the 1920s. Estimated dates for the unpermitted additions are based on the Sanborn map analysis coordinated with the material conditions found on the building during the site visit and the available historical record.

- No Permit, 1901: Construction of single-story Vernacular-style residence.
- No Permit, circa-1910: Add second-story to existing house, creating the present cross-gable design. Add Queen Anne-style boxed bays with bracketed supports and leaded glass toplights to north and south elevation; add rear entrance and shed-roofed extension to northeast building corner; add single-story rear addition to center of rear elevation; add two-story building mass to southeast corner of rear addition; install outbuilding to northeast corner of site. Dates estimated, based on Sanborn map analysis.
- No Permit, circa-1920: Add dormer to north face of second-story roof near front elevation. This dormer stylistically matches the boxed bay in detailing. Date based on style of addition and existing historic photograph (Figure 4).
- No permit number, circa-1920: Add Colonial Revival-style front porch. The date is estimated at 1920, as it does not appear on the 1914 map, but does appear on the 1926 map. The front porch also appears on the historic photograph.
- Permit #1288, 10/11/1923: Install garage constructed against the existing outbuilding at the site's northeast building corner. Richard Chivers signed the existing permit.
- No Permit, circa 1940s – 1960s: Install large, overhanging second-story mass over circa-1910 rear addition; add dormer to south elevation adjacent to the two-story building mass on the southeast building corner; add second boxed-bay at kitchen, behind the circa-1910 boxed bay on the south elevation; add various newer window insertions into the second-story additions.
- Permit #2041, 8/31/1977: Repair existing garage.
- Permit #87-0148, 3/31/1987: Repair perimeter foundation on south elevation.
- Permit #99-0262, 6/22/1999: Reroof the house.

Remaining Character-defining Features

The most significant alterations to the house that show a consistency of architectural style and construction method occurred during the early part of the Chivers brothers' occupancy and date from circa-1908 to 1926. These alterations appear on existing Sanborn maps. The later additions to the rear elevation, the northeast and southeast corners of the side elevations, the later boxed bay on the south elevation and the dormer on the south elevation's roof date approximately from the 1940s through the 1960s.

These later additions created a jumbled composition of building masses, various window insertions and wood siding experiments that are not considered significant due to their haphazard construction techniques that don't honor the Queen Anne - and Colonial Revival-style details that communicate the building's historic significance; and their location on the rear of the building.

Remaining character-defining features are:

- Cross-gable roof massing, with prominent gable ends that feature wide fascia boards, cornice returns and decorative shingles.
- Colonial Revival-style front porch, including the Corinthian porch columns, the pedimented front porch with dentils and decorative swag motifs, the boxed porch rails and the matching boxed rail flanking the entry stairs.
- Circa-1910 boxed bay windows: one on north elevation and one on south elevation, with bracketed supports, single-pane casement windows and leaded glass toplights.
- Circa-1920 second-story dormer on north elevation near the front elevation's gable end that echoes the details of the circa-1910 boxed bay windows.
- Rustic wood siding covering the exterior of the first-floor building mass.
- Decorative shingles in the exposed gable ends.
- One-over-one, double-hung sash windows with bullseye window surrounds.
- Detached garage.

Summary of Proposed Alterations

Design drawings by Rick Steres, AIA, dated June 2017, were evaluated for this Phase Two Historic Assessment. The proposed alterations affecting the exterior are described below.



Figures 14 and 15. Left image details the south elevation. The proposed rehabilitation design will remove the circa-1940s bay window (arrow) for the proposed sunroom addition. Right image shows the rear elevation's cantilevered upper story, which will be removed to clean up the rear elevation.

- Remove circa-1940s boxed bay addition on the south elevation and replace it with a 31 sf sunroom addition (**Figure 14**).
- Remove circa-1940s overhanging second-story rear addition and reconfigure rear (east) elevation to be more in keeping with the character-defining features of the house. The circa-1940s multi-pane picture window on the second floor of the circa-1910 two-story mass will be replaced with double-hung, wood-sash windows flanking a fixed sash; the gable peak on the east elevation will be finished with glass to allow light into the upstairs rooms; the three circa-1940s first-floor windows will be removed and replaced with two double-hung, wood-sash windows flanking a fixed sash; the circa-1940s rear entrance will be reconfigured and animal doors added (**Figure 15**).
- Repair and rehabilitate, as necessary, all character-defining features, such as decorative elements of the front porch, the circa-1910 boxed bay windows, the existing double-hung, wood-sash windows and window surrounds; the rustic exterior wood siding, and the gable end shingles.

Evaluation of Proposed Alterations

The following lists the ten *Standards* for rehabilitation in italics, with an evaluation given below each *Standard*.

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The proposed alterations will allow the building to keep its residential use, while retaining the existing character-defining features and satisfying this *Standard*.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

The proposed rehabilitation design does not remove any of the remaining character-defining features of the house that contribute to its significance. The south elevation's rear, circa-1940 bay window is a later addition that does not add to the house's historic significance. The cantilevered building mass on the rear addition is not compatible to the remainder of the house in scale, proportion or stylistic details. Other windows to be removed on the rear elevation are also not compatible with the Queen Anne – and Colonial Revival – style design of the house. For these reasons, the proposed alterations satisfy this *Standard*.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The proposed alterations do not add conjectural features or elements from other historic properties that would confuse the remaining character-defining features of the subject property.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

The later additions, including the boxed bay window on the south elevation and the poorly designed rear additions proposed to be removed have not acquired historic significance because they are not compatible with the Queen Anne – and Colonial Revival – style design of the house. Removal of these non-historic features will not impact any of the building's remaining character-defining features. The proposed rehabilitation design meets this *Standard*.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The proposed rehabilitation design does not alter any distinctive materials, or historic construction detailing of the subject residence, satisfying this *Standard*. The removal of several non-original windows on the rear elevation is allowed, as this is the rear and non-primary elevation and the areas impacted by the proposed rehabilitation design are poor additions to the building that mar its historic significance. Remaining character-defining features will be repaired and rehabilitated, in keeping with this *Standard*.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

With the exceptions noted above, the proposed alterations will rehabilitate the existing Colonial Revival front porch, the boxed bay windows, the double-hung wood windows with bullseye surrounds, wood details and existing wood siding in keeping with this *Standard*.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

Physical treatments to repair existing wood windows, siding and details will be undertaken with methods that do not impact the wood substrate. Deteriorated wood window elements will be repaired using Dutchman techniques that will match the existing wood.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

This *Standard* does not apply, as archaeological features are not identified at the site.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

The proposed window removals and removal of the cantilevered section on the rear elevation impact later additions that mar, rather than characterize the property. Removal of these features does not impact the spatial relationships and stylistic details that characterize this building as a hybrid Queen Anne and Colonial Revival residence. The newly constructed rear wall will achieve differentiation will by using variation in the size of the wood siding boards.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The proposed sunroom addition on the south elevation could easily be reversible if desired in the future. The reconfigured rear elevation wall would likely not be reversible; however, the proposed design creates a rear façade that honors the character-defining features of the house more substantially than what presently exists. In addition, the proposed rehabilitation design will retain and rehabilitate the remaining exterior character-defining features of the property, allowing it to maintain adequate historic integrity and satisfy this *Standard*.

Conclusion

In conclusion, the proposed design alterations to the historic single-family residence at 149 13th St., Pacific Grove meets the *Secretary of the Interior's Standards for Rehabilitation*. The proposed changes do not impact the remaining character-defining features or overall historic integrity of the building. Because the proposed alterations to the building meet the *Standards*, the alterations are considered as mitigated to a level of less than a significant impact on the historic resource and do not constitute a substantial adverse change to the historic resource, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

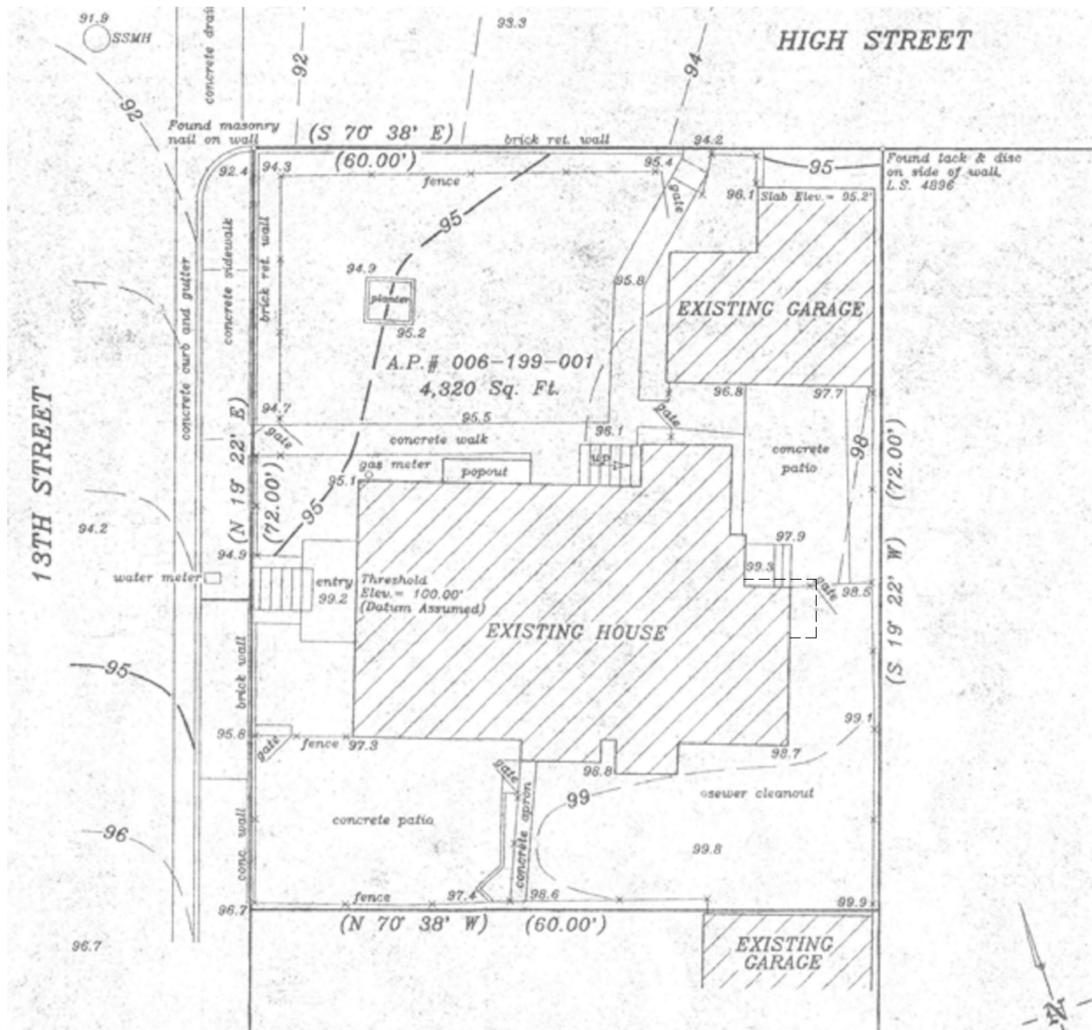
Please contact me if you have any questions about this evaluation.

Sincerely,



Seth A. Bergstein, Principal

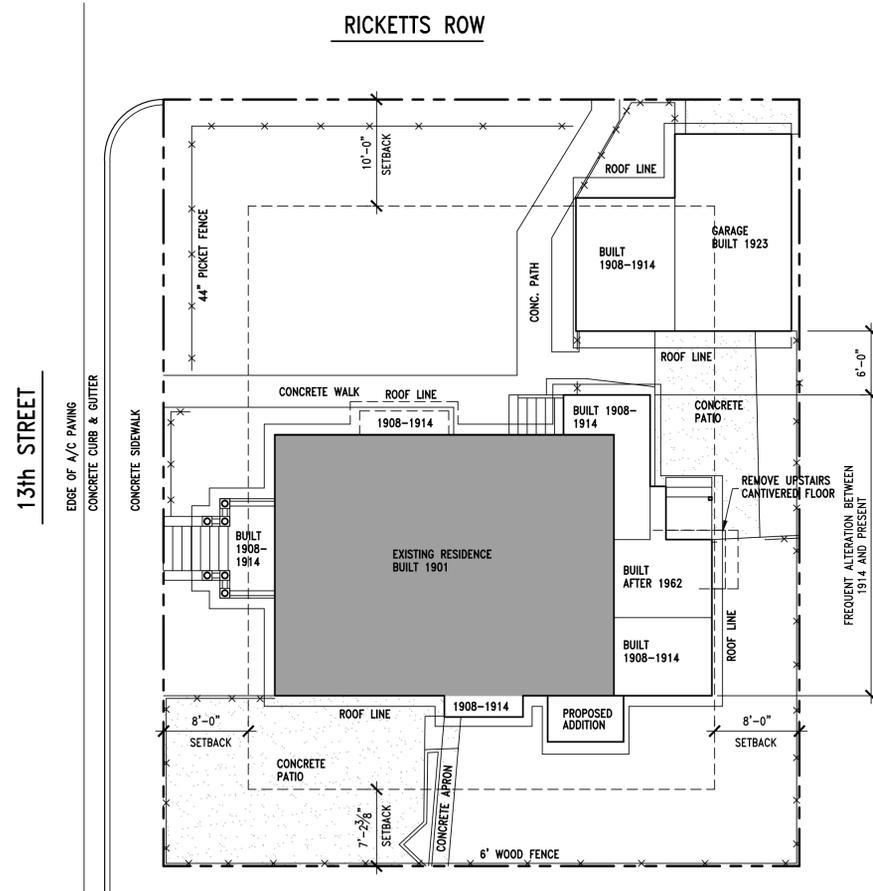
Cc: City of Pacific Grove, Community Development Department; Rick Steres, AIA



NOTE:

LAND SURVEY PROVIDED BY JON HAGEMEYER,
LICENCED LAND SURVEYOR FOR SALLY KANE
DATED JULY 2008

Existing Site Plan



Proposed Site Plan



REVISIONS	BY

Sick Steres Architect

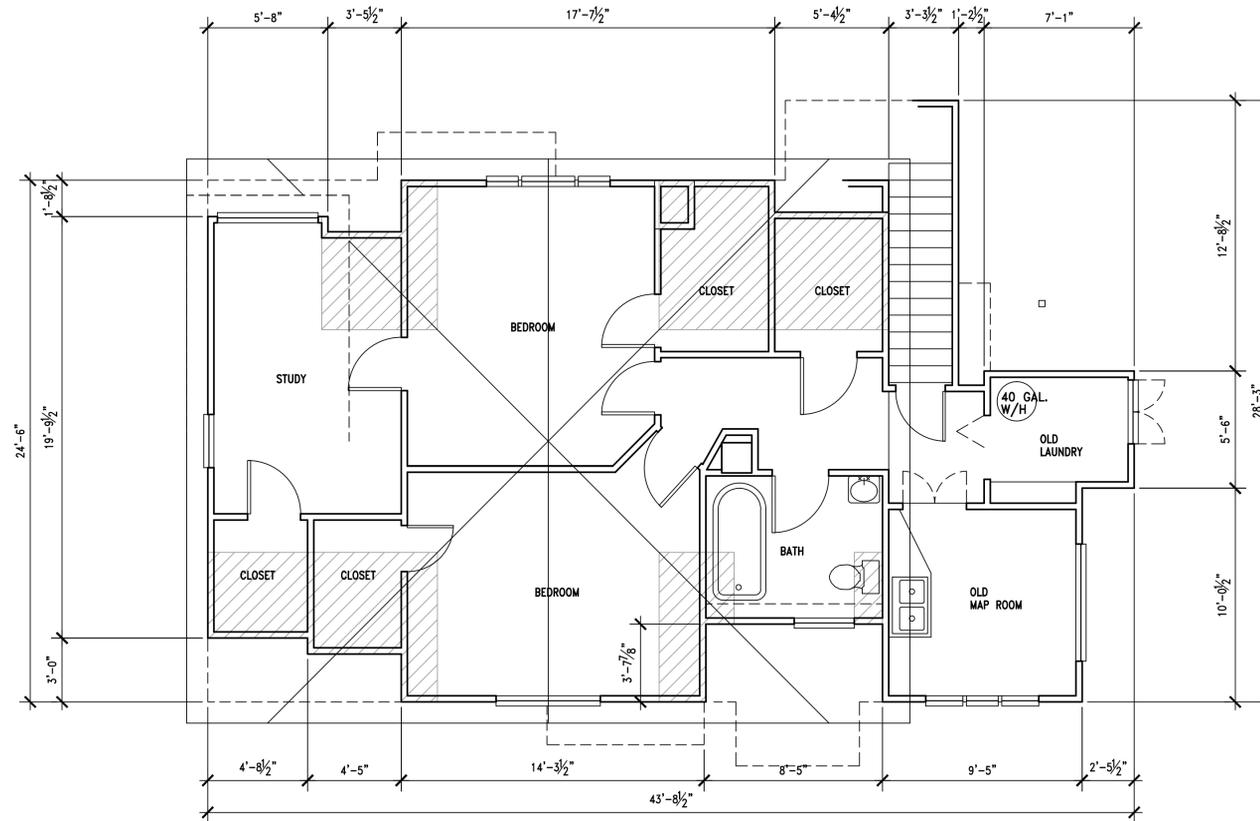
Phone: 831-646-1131
230 Fountain Avenue Suite 6, Pacific Grove, CA, 93950
ricksteres@hotmail.com

C 14191
RICHARD B. STERES
APR 26 2019
EXP. DATE
STATE OF CALIFORNIA
LICENSED ARCHITECT

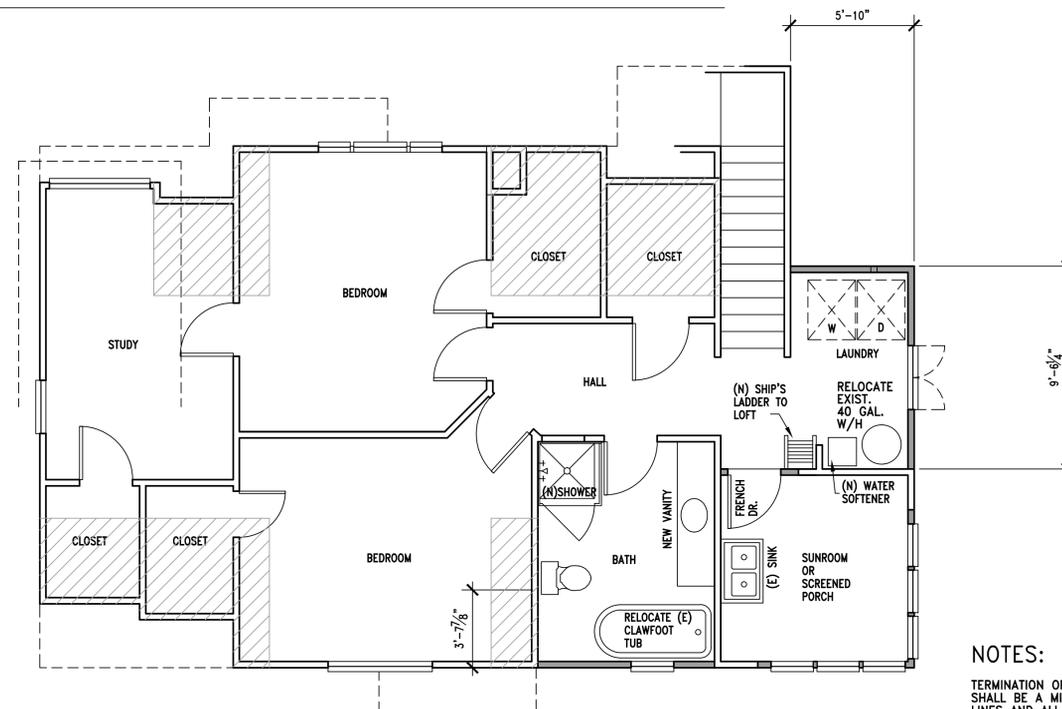
Site Plan

ADDITION & REMODEL
Kane Residence
149 13th STREET, PACIFIC GROVE, CA, 93950

DATE	JUNE 2017
SCALE	1/8"=1'-0"
JOB NUMBER	1603
SHEET	C1
OF 27 SHEETS	



Existing 2nd Floor Plan



Proposed 2nd Floor Plan



NOTES:

TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FT. FROM PROPERTY LINES AND ALL OPENINGS INTO THE BUILDING (DRYER VENTS, BATH AND UTILITY FANS MUST BE 3 FT. FROM DOORS, WINDOWS, OPERABLE SKYLIGHTS AND ATTIC VENTS).

EMERGENCY EGRESS WINDOWS:

MINIMUM NET CLEAR OPENABLE DIMENSION OF 24" IN HEIGHT. MINIMUM NET CLEAR OPENABLE DIMENSION OF 20" IN WIDTH. MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ.FT. MAXIMUM SILL HEIGHT OF 44" ABOVE FLOOR.

ALL GLAZING SHALL HAVE A TEMPORARY LABEL THAT SHALL NOT BE REMOVED. LABEL SHALL SHOW SHGC, U-FACTOR, AIR LEAKAGE, AND VISIBLE TRANSMITTANCE.

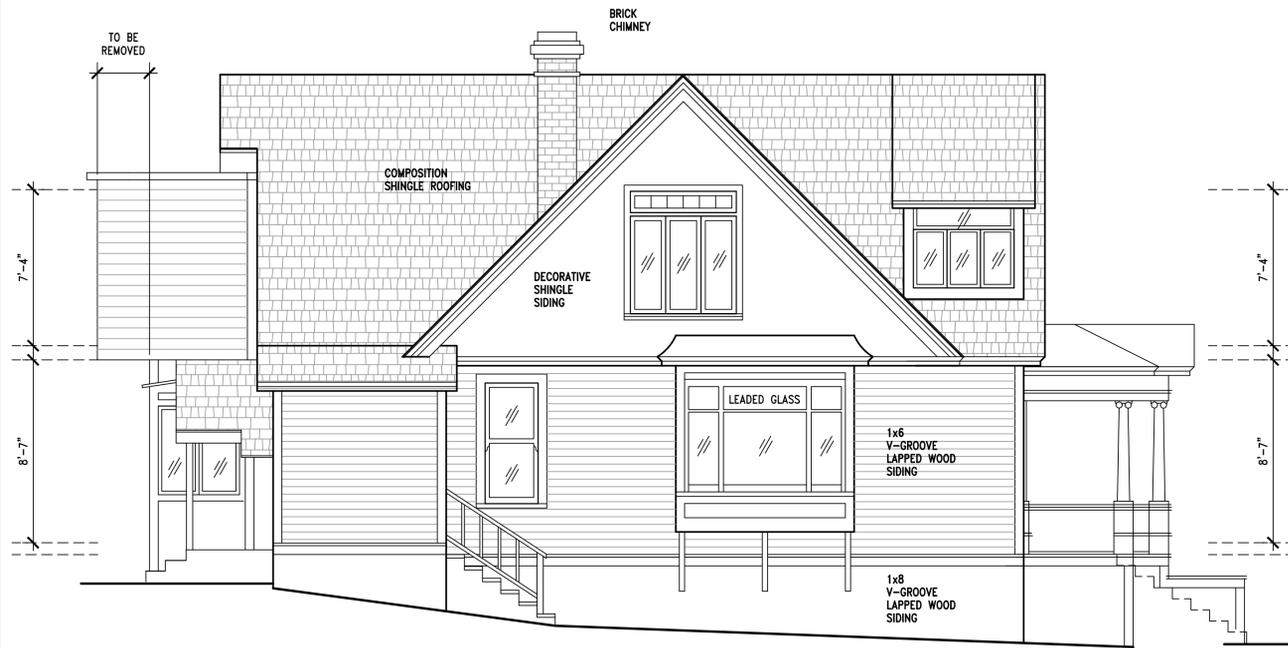
REVISIONS	BY

Sick Steres Architect
 Phone & Fax: 831-646-1131
 230 Fountain Avenue Suite 6, Pacific Grove, CA, 93950
 Email: ricksteres@hotmail.com
 Web Site: ricksteresarchitect.com

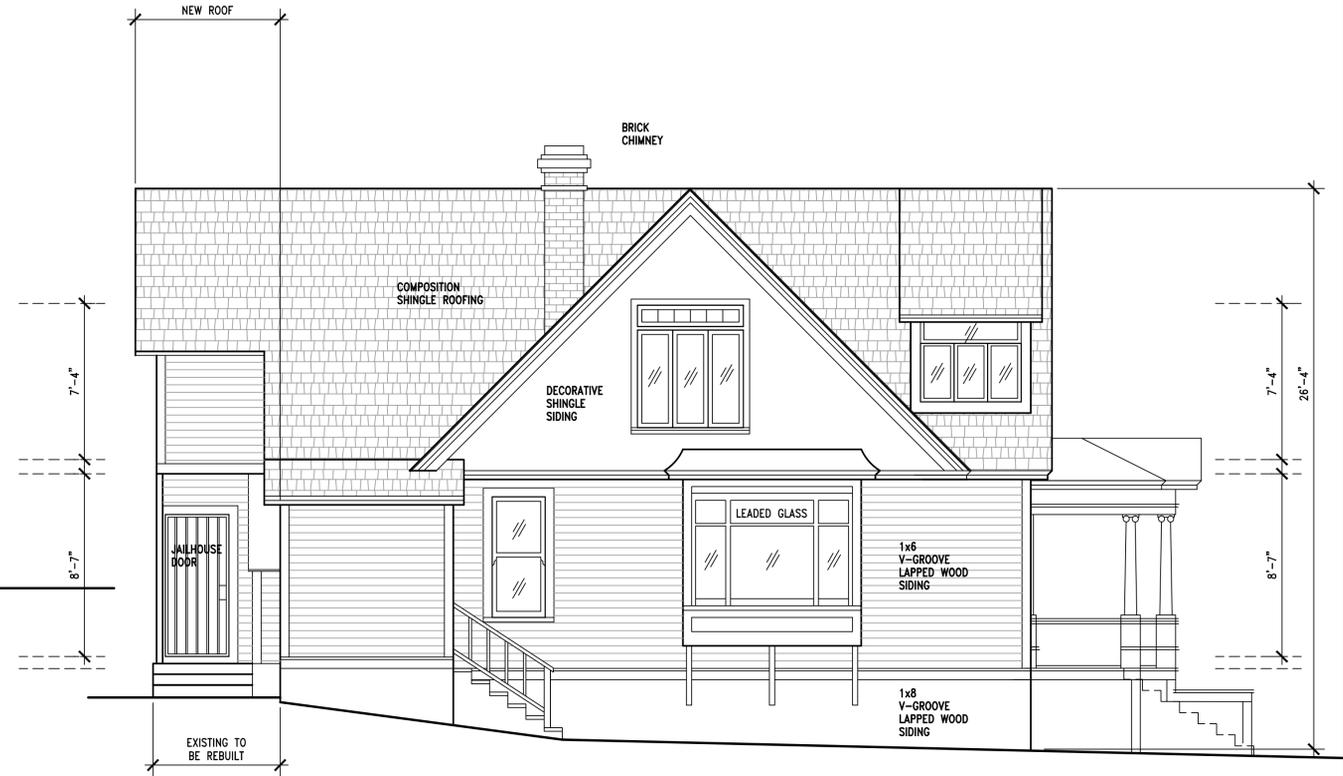


Second Floor Plan
 ADDITION & REMODEL
Kane Residence
 149 13th STREET, PACIFIC GROVE, CA, 93950

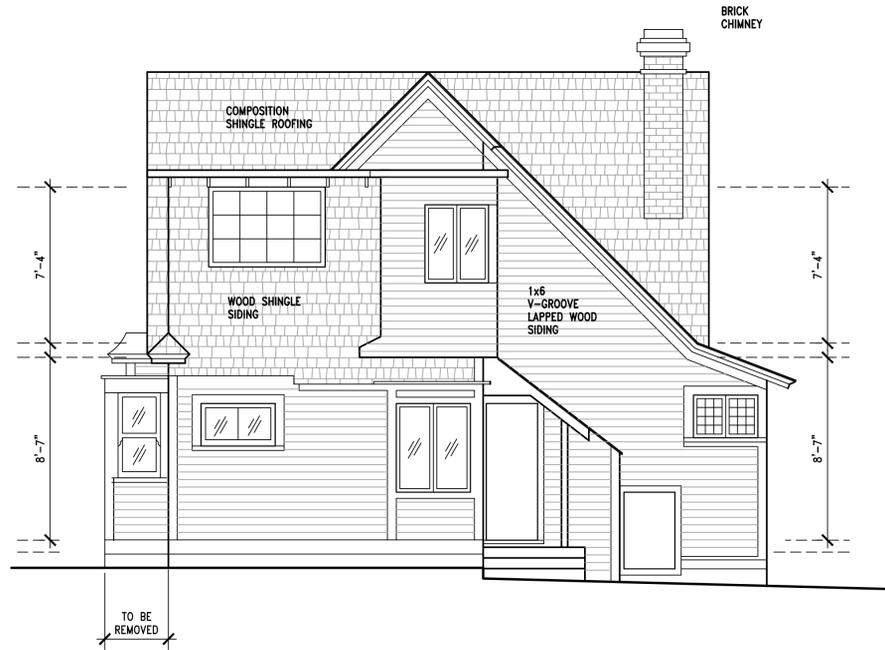
DATE	JUNE 2017
SCALE	1/4"=1'-0"
JOB NUMBER	1603
SHEET	A2



Existing North (left side)



Proposed North (left side)



Existing East (rear)



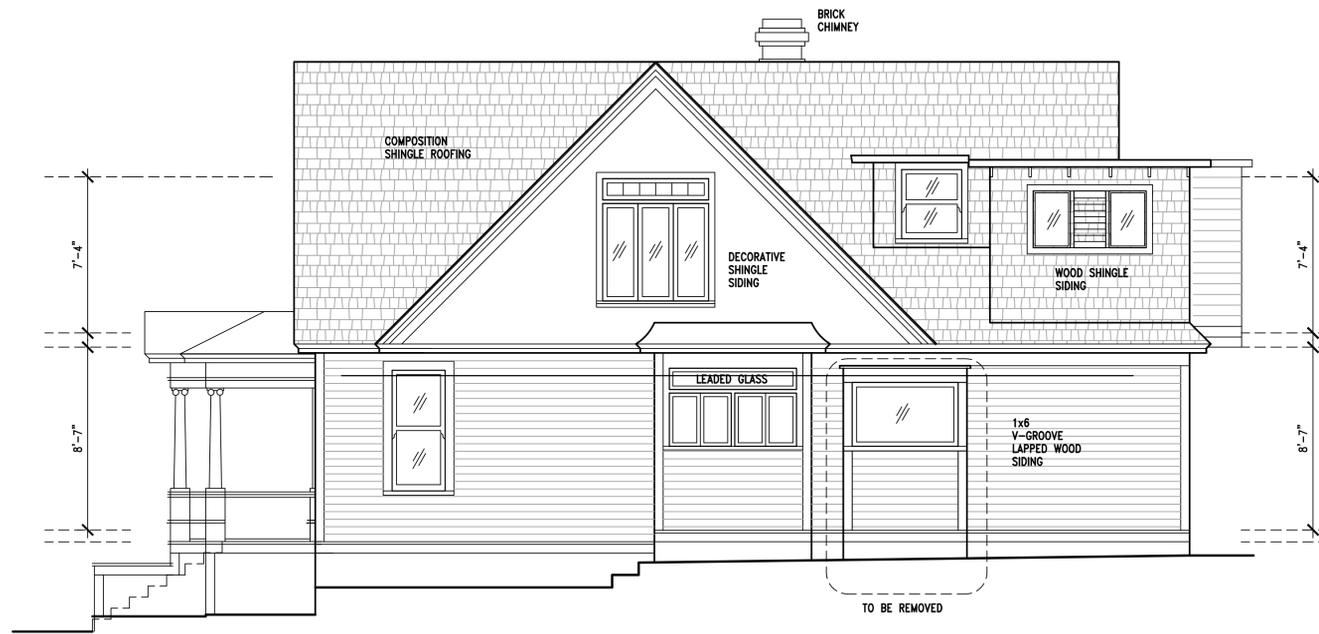
Proposed East (rear)

REVISIONS	DATE	BY

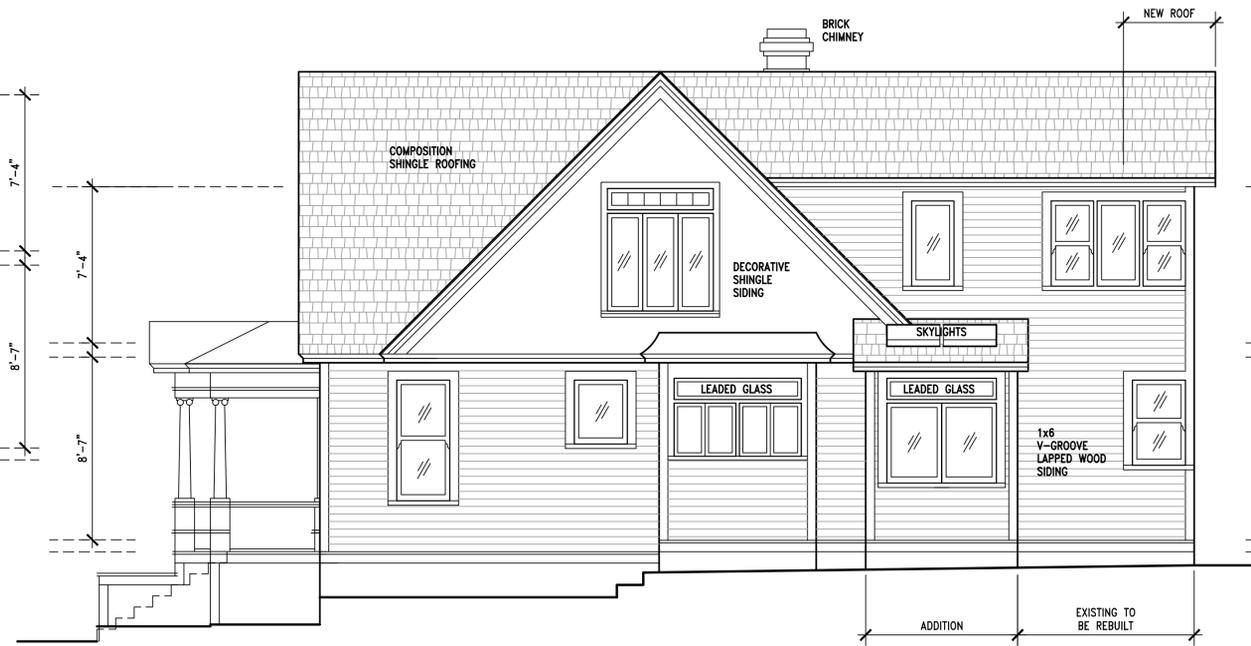
Sick Steres Architect
 RICHARD B. STERES
 C 14191
 LICENSED ARCHITECT
 STATE OF CALIFORNIA
 Phone & Fax: 831-646-1131
 200 Fountain Avenue Suite 6, Pacific Grove, CA, 93950
 ricksteres@hotmail.com
 ricksteresarchitect.com
 Web Site:

North & East Elevations
 ADDITION & REMODEL
Kane Residence
 149 13th STREET, PACIFIC GROVE, CA 93950

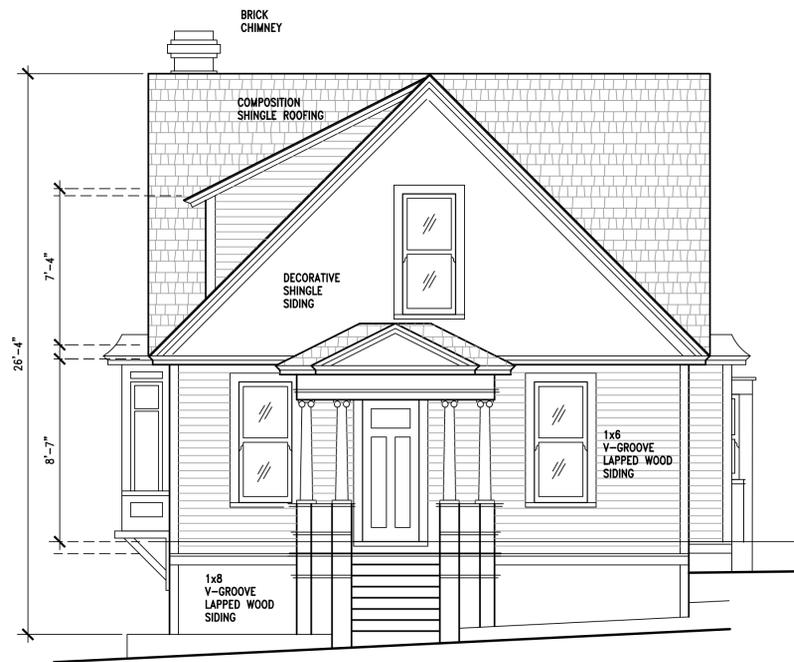
DATE
 JUNE 2017
 SCALE
 1/4"=1'-0"
 JOB NUMBER
 1603
 SHEET
A3
 OF 27 SHEETS



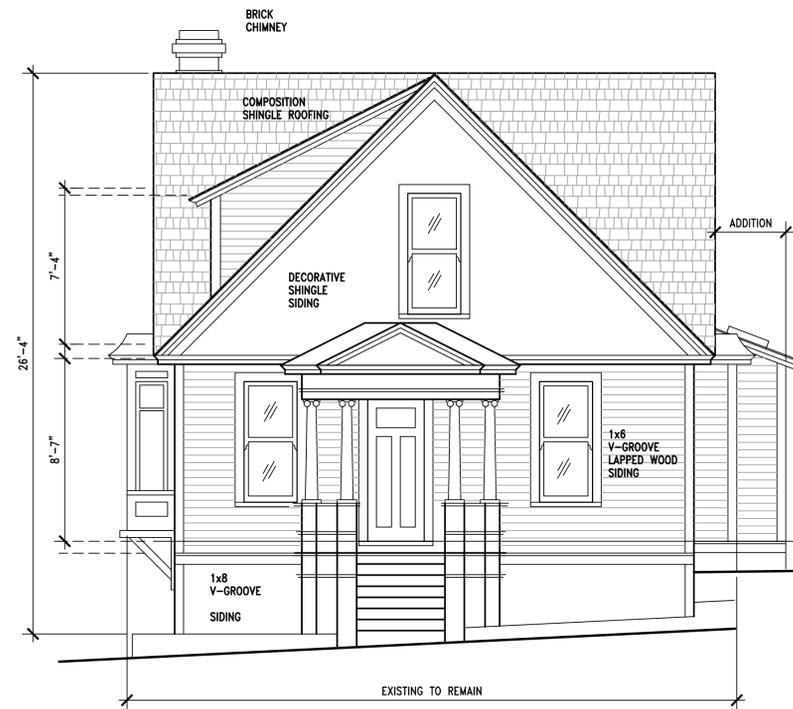
Existing South (right side)



Proposed South (front)



Existing West (front)



Proposed West (left side)

REVISIONS	DATE	BY

Richard B. Steres Architect
 LICENSED ARCHITECT
 C 14191
 RICHARD B. STERES
 148 13th STREET, PACIFIC GROVE, CA 93950
 PHONE & FAX: 831-646-1131
 200 Fountain Avenue Suite 6, Pacific Grove, CA 93950
 ricksteres@hotmail.com
 ricksteresarchitect.com
 Web Site: ricksteresarchitect.com

South & West Elevations
 ADDITION & REMODEL
Kane Residence
 148 13th STREET, PACIFIC GROVE, CA 93950

DATE: JUNE 2017
 SCALE: 1/4"=1'-0"
 JOB NUMBER: 1603
 SHEET: **A4**
 OF 27 SHEETS