



NOTICE OF MEETING

CITY OF PACIFIC GROVE ARCHITECTURAL REVIEW BOARD

REGULAR MEETING AGENDA

Tuesday, February 11, 2020, 4:00 P.M.

Council Chamber – City Hall – 300 Forest Avenue, Pacific Grove, CA

Copies of the agenda packet are available for review at the Community Development Department, Pacific Grove Library, and on the internet at www.cityofpacificgrove.org/arb. The most effective method of communication with the Architectural Review Board (ARB) is by submitting comments via the following webform link: <https://www.cityofpacificgrove.org/webform/contact-architectural-review-board>. In order to receive due consideration by the Architectural Review Board, written communications pertaining to agenda items should be submitted by 9 A.M. the day prior to the meeting.

1. **CALL TO ORDER AND ROLL CALL**
2. **APPROVAL OF AGENDA**
3. **BOARD AND STAFF ANNOUNCEMENTS (City-Related Items Only)**
4. **GENERAL PUBLIC COMMENT**

General Public Comment must deal with matters subject to the jurisdiction of the City and the Architectural Review Board (ARB) that are not on the Regular Agenda. This is the appropriate place to comment as to items on the Consent Agenda, only if you do not wish to have the item pulled for individual consideration by ARB. Comments from the public will be limited to three minutes and will not receive ARB action. Comments regarding items on the Regular Agenda shall be heard prior to ARB's consideration of such items at the time such items are called. Whenever possible, written correspondence should be submitted to the Board in advance of the meeting, to provide adequate time for its consideration.

5. **REPORTS OF COUNCIL LIAISON**

CONSENT AGENDA

The Consent Agenda deals with routine and non-controversial matters, and may include action on resolutions, ordinances, or other public hearings for which testimony is not anticipated. The vote on the Consent Agenda shall apply to each item that has not been removed. Any member of the ARB, staff, or the public may remove an item from the Consent Agenda for individual consideration. When items are pulled for discussion, they will be automatically placed at the end of their respective section within the Regular Agenda. One motion shall be made to adopt all non-removed items on the Consent Agenda.

6. A. **Approval of the December 10, 2019 Architectural Review Board Meeting Minutes**
Reference: Laurel O'Halloran, Associate Planner
Recommended Action: Approve minutes.
CEQA Status: Does not constitute a "Project" as defined by CEQA Guidelines Section 15378.

REGULAR AGENDA

7. **PUBLIC HEARINGS**

For public hearings involving a quasi-judicial determination by ARB, the proponent of an item may be given 10 minutes to speak and others in support of the proponent's position may be given three minutes each. A designated spokesperson for opposition to the item may be given 10 minutes to speak and all others in opposition may be given three minutes each. Very brief rebuttal and surrebuttal may be allowed in the sole discretion of ARB. In public hearings not involving a quasi-judicial determination by the Board, all persons may be given three minutes to speak on the matter. Public hearings on non-controversial matters or for which testimony is not anticipated may be placed on the Consent Agenda, but shall be removed if any person requests a staff presentation or wishes to be heard on the matter.

A. Election of Officers

Recommendation: Hold an election for Chair, Vice Chair, and Secretary

Reference: Laurel O'Halloran, Associate Planner

CEQA Status: Does not constitute a "Project" as defined by CEQA Guidelines Section 15378

B. 873 Del Monte Blvd | AP 19-0776 | APN 006-063-014

Description: To allow an existing two-story single-family residence to alter the fenestration of the front façade and replace the siding of the second story.

Zone District/General Plan Designation: Residential Single-Family / Medium Density

Coastal Zone: No **Archaeological Zone:** Yes **Historic Resources Inventory:** No

Area of Special Biological Significance: Yes

CEQA Status: Exempt per §15301(a) – Minor Alterations to Existing Structures

Applicant/Owner: Philip C. Johnson (Applicant) / Ceree Eberly (Owner)

Recommendation: Approve the project as proposed subject to findings, conditions of approval and a Class 1, Section 15301(a) CEQA exemption.

Staff Reference: Alex Othon, Assistant Planner | aathon@cityofpacificgrove.org

C. Capital Improvement Projects

Recommendation: Review the Capital Improvement Program Form and discuss

Staff Reference: Laurel O'Halloran, Associate Planner

8. Presentations and Trainings

None

ADJOURNMENT

NOTICE OF ADA COMPLIANCE: Pursuant to Title II of the Americans with Disabilities Act (Codified At 42 United States Code Section 12101 and 28 Code of Federal Regulations Part 35), and Section 504 of the Rehabilitation Act of 1973, the City of Pacific Grove does not discriminate on the basis of race, color, religion, national origin, ancestry, sex, disability, age or sexual orientation in the provision of any services, programs, or activities. The City of Pacific Grove does not discriminate against persons with disabilities. City Hall is an accessible facility. A limited number of assisted listening devices will be available at this meeting. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting or provide the requested agenda format.



MINUTES

CITY OF PACIFIC GROVE

ARCHITECTURAL REVIEW BOARD

REGULAR MEETING

Tuesday, December 10, 2019, 4:00 P.M.
Council Chamber – City Hall – 300 Forest Avenue, Pacific Grove, CA

1. CALL TO ORDER AND ROLL CALL

Board Members Present: Jeff Edmonds, Vice-Chair; Mike Gunby, Secretary; Terrence Coen, Garrett Van Zanten, Jen Veitengruber

Board Members Absent: Present: Sarah Boyle, Chair, Terrence Coen,

One vacancy

2. APPROVAL OF AGENDA

On a motion by Member Gunby, seconded by Member Veitengruber, the Board voted 4-0-2-1 (Boyle and Cohen absent, one vacancy) to approve the Consent Agenda.

Motion passed.

3. BOARD AND STAFF ANNOUNCEMENTS (City-Related Items Only)

Alyson Hunter, Senior Planner, provided an update on the ATC project the NOP scoping comment deadline is December 13, 2019.

4. GENERAL PUBLIC COMMENT

Lisa Ciani, member of the public, spoke.

5. REPORTS OF COUNCIL LIAISON

Mayor Peake provided an update on actions taken at the recent City Council meetings as well as planned items for future meeting agendas.

CONSENT AGENDA

6. A. [Approval of the November 12, 2019 Architectural Review Board Meeting Minutes](#)
Reference: Laurel O'Halloran, Associate Planner
Recommended Action: Approve minutes.
CEQA Status: Does not constitute a "Project" as defined by CEQA Guidelines Section 15378.
- B. [909 Egan Avenue | AP 19-0671 | APN 006-092-009](#)
Description: Exterior changes to those previously approved by AP 18-0896 in February 2019. Changes are proposed to the following exterior materials: siding, roofing, windows,

doors, and the addition of a rear yard stone patio, front walk realignment and changes to other architectural components. No changes to structural components are proposed and no new ground disturbance or tree removal is proposed.

Zone District/General Plan Designation: Residential Single-Family / Med. Density

Coastal Zone: No **Archaeological Zone:** Yes **Historic Resources Inventory:** No

Area of Special Biological Significance: Yes

CEQA Status: Exempt per §15301(a) – Minor Alterations to Existing Structures

Applicant/Owner: Fletcher+Hardoin Architects / Paul & Debbie Baker

Recommendation: Approve the project as proposed subject to findings, conditions of approval and a Class 1, Section 15301(a) CEQA exemption.

Staff Reference: Alyson Hunter, Senior Planner | ahunter@cityofpacificgrove.org

C. **1030 Bay View Avenue | AP 19-0722 | APN 006-122-015-000**

Description: The expansion of an existing second-story deck by ± 82 sf (for a total of 166 sf) and the replacement of all doors and windows. No increase in size or structural alterations are proposed.

Zone District/General Plan Designation: Residential Single-Family / Medium Density

Coastal Zone: No **Archaeological Zone:** No **Historic Resources Inventory:** No

Area of Special Biological Significance: Yes

CEQA Status: Exempt per §15301(a) – Minor Alterations to Existing Structures

Applicant/Owner: Forma Design Studio / David & Kay Stringfield

Recommendation: Approve the project as proposed subject to findings, conditions of approval and a Class 1, Section 15301(a) CEQA exemption.

Staff Reference: Alyson Hunter, Senior Planner | ahunter@cityofpacificgrove.org

On a motion by Member Gunby, seconded by Member Veitengruber, the Board voted 4-0-2-1 (Boyle and Cohen absent, one vacancy) to approve the Consent Agenda.

Motion passed.

REGULAR AGENDA

7. PUBLIC HEARINGS

None.

8. FULL PRESENTATIONS

- A. **Description:** Viewing of the California Preservation Foundation's webinar on "Applying the Secretary of the Interior Standards for the Treatment of Historic Properties"

Recommended Action: Receive information.

Reference: Laurel O'Halloran, Associate Planner, lohalloran@cityofpacificgrove.org

CEQA: Does not constitute a "Project" as defined by CEQA Guidelines Section 15378.

ADJOURNMENT – 5:30 p.m.

APPROVED BY ARCHITECTURAL REVIEW BOARD

Michael Gunby, Secretary

Date



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Chair Boyle and Members of the Architectural Review Board

FROM: Laurel O'Halloran, Associate Planner

MEETING DATE: February 11, 2020

SUBJECT: Election of Officers

CEQA: Does not constitute a "Project" as defined by CEQA Guidelines Section 15378

RECOMMENDATION

Staff recommends the Architectural Review Board (ARB) elect a Chair, Vice-Chair, and Secretary for a one-year term in accordance with the Pacific Grove Municipal Code (PGMC) § 3.02.050(b), Members – Terms.

BACKGROUND

In accordance with PGMC § 3.02.050(b), election of a Chairperson, Vice-Chair, and Secretary shall occur at the first ARB meeting in February. The first ARB meeting is February 11, 2020, so it is appropriate to perform this function.

The Chair, Vice-Chair, and Secretary can serve more than one term and there is no right of succession to be Chair, Vice-Chair, or Secretary. Procedurally, the current Chair, or if there is no Chair, the member who called the meeting to order, takes the lead on this action by first requesting nomination of Chair from other members. Any member may nominate himself/herself or any other member of the board; no second is required. Once nominations are complete, the current Chair will close nominations, announce the slate of nominees, and ask for a vote on the nominees in the order of nomination. The nominee receiving votes from a majority of the members in attendance shall be declared the newly elected Chair. If no member receives the majority, the process shall be repeated, except in the event of a tie, in which case a run-off shall be held.

The same procedure is followed for the Vice-Chair and Secretary position. The term of the new Chair, Vice-Chair, and Secretary shall begin immediately.

Responsibilities

In accordance with the [Board and Commission Member Handbook](#), Standard Protocol, the responsibilities and powers of board officers shall be as follows:

Chair

- In consultation with staff, determine the agenda.
- Call special meetings of the board.
- Preside at all meetings.
- Fully participate in the board's deliberations.
- See that all actions of the board are properly taken.
- Act as parliamentarian, applying and enforcing these protocols and parliamentary procedures.
- Sign all documents of the board.
- Report to the Council, at scheduled times and as needed, on matters of interest.

As a member of the body, the Chair has full rights to participate in dialogue and decision making, and to make and second motions. The Chair often strives to be the last to speak during any round, and generally does not make or second a motion unless he or she is convinced that no other member of the body will do so.

Vice Chair

During the absence, disability, or disqualification of the Chair, the Vice-Chair shall exercise or perform all the duties and be subject to all responsibilities of the Chair.

Secretary

- Repeat motions prior to a vote, if requested by Chair.
- Prepare and attest to approved action minutes.

Attendance

Please note the importance of attendance and participation in order to serve the public and conduct City business. Therefore, the [Board and Commission Member Handbook](#) indicates that absences for more than 25% of meetings within a 12-month period, or 3 consecutive absences, may result in removal of a member. Attendance is necessary to pass a motion: pursuant to the PGMC § 3.04.080, "An affirmative vote of a majority of the appointed members of the board, committee, or commission shall be required for any action by the board, committee, or commission." For example, if there are 6 appointed members, and only 4 members are present, the motion still requires 4 votes of approval in order to pass the motion. Please kindly notify staff in advance if unable to attend a meeting.

RESPECTFULLY SUBMITTED:



Laurel O'Halloran, Associate Planner



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Chair Boyle and Members of the Architectural Review Board

FROM: Alex Othon, Assistant Planner

MEETING DATE: February 11, 2020

PERMIT APPLICATION NO.: Architectural Permit (AP) No. 19-0776

LOCATION: 873 Del Monte Avenue, Pacific Grove, CA 93950
(APN 006-063-014)

SUBJECT: An Architectural Permit (AP) to allow an existing two-story single-family residence to alter the fenestration of the front façade and replace the siding of the second story.

APPLICANT / OWNER: Philip C. Johnson (Applicant) / Ceree Eberly (Owner)

ZONING/LAND USE: R-1 / Residential Medium Density (up to 7.3 dwelling units/acre)

CEQA: The project qualifies for a Class 1 Categorical Exemption, Section 15301(e) – Existing Facilities

RECOMMENDATION

Approve the project subject to the recommended findings, conditions of approval and a Class 1 CEQA exemption.

PROJECT DESCRIPTION

The proposed project consists of altering the existing roofline, replace two (2) second story bay windows with picture windows and construct one (1) bay window, remove exterior second-story siding and replace with board & batten siding.

BACKGROUND

Site Description

The approximately 4,500 sq. ft. lot is on the west side of Del Monte Boulevard as it approaches Siren St. The lot is currently developed with a 2,407 sq. ft. two-story single-family residence with an attached two car garage.

Surrounding Land Uses

The parcel's immediate vicinity is developed primarily with one- and two-story residential residences on similarly-sized lots.

DISCUSSION

Applicable General Plan Policies

The Pacific Grove General Plan provides a framework for future growth and development within the City. The Land Use Element includes goals and policies that call for orderly, well-planned, and balanced development, consistent with the historic nature of Pacific Grove, the capacity of the City's infrastructure, and the City's ability to assimilate new growth. This residential project helps the City achieve several of its housing goals as stated in the General Plan and is compatible with the Residential Medium Density land use designation which allows residential development of up to 7.3 dwelling units per acre.

Applicable Zoning Code Regulations

The policies of the General Plan are implemented through the R-1 zoning district which allows single-family residential development in areas with adequate public services.

The proposed project is in full compliance with all development standards set forth in PGMC 23.16 (R-1). This includes building height, building coverage, setbacks, and gross floor area. The existing structure is 19' – 4", when finished the structure will be 22' – 11", the maximum allowed height in the R-1 district is 25'.

The maximum allowed site coverage for this property is 2,710 sq. ft. The site is currently covered with approximately 3,370 sq. ft. of impervious surface, as a part of the project the site coverage will be reduced by 660 sq. ft. in order to bring the site into compliance.

The R-1 zoning requires one covered and one uncovered parking space. The site is currently developed with two substandard covered parking spaces. As a part of the remodel, one covered parking space will be converted to habitable space. The remaining covered parking space will be enlarged in order to be more conforming to the Code requirements. The existing driveway is partially constructed within the public right-of-way, while it is over 20' long, only 12' – 7" is on the property. Per PGMC 23.16.070 (b), the driveway will serve as the required uncovered parking space.

Architecture and Design Consideration

While the general architectural style of the existing home will not be changed, the existing flat roof will be replaced with a hip and gable roof with a height of 22' – 11". Proposed exterior finishes include board & batten siding, an asphalt shingle roof, a stacked stone wainscot, and fiberglass windows.

The City of Pacific Grove maintains a set of Architectural Design Guidelines to help guide residential development. The proposed addition will be in general conformance with the following Design Guidelines:

Guideline No. 6: *Attempt to place new windows where they will respect privacy between properties.*

A majority of the proposed window work will occur on the front façade of the residence, looking out towards the street and bay. One new window is proposed on the south elevation; however there is a large hedge on the property line to help screen the neighbor's property.

Guideline No. 29: *Design new roofs to appear similar in scale to those seen traditionally in the neighborhood.*

The proposed pitch roof will complement the roof of the existing one-story portion of the home, and will more closely match the pitched roofs of the surrounding properties.

Guideline No 35: *Design a façade to appear similar in scale and character to those in its context.*

The proposed window and roof changes well help to break up the façade and reduce the sense of mass and bulk of the existing second story.

Guideline No. 40: *Although the selection of exterior color is a personal decision, the colors should complement the structure and the streetscape.*

The proposed white finish on the residence will help complement the surrounding properties, which are all earth tones and subdued pastels.

ENVIRONMENTAL REVIEW

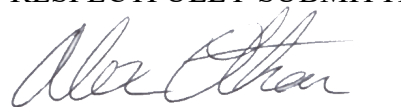
The project qualifies for a Class 1 exemption from CEQA requirements, pursuant to Section 15301(e) – Existing Facilities. The proposed remodel does not present any unusual circumstances that would result in a potentially significant impact to the environment. The proposed alterations do not constitute a substantial adverse impact, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

This Class of exemption is subject to exceptions from the exemption listed under §15300.2 of the CEQA Guidelines pertaining to location, cumulative impacts, significant effects, scenic highways, hazardous waste sites, and historical resources. Staff finds that none of these exceptions apply and that the proposed project qualifies for the Class 1 exemption.

ATTACHMENTS

1. Permit Application
2. Project Data Sheet
3. Draft Permit
4. Notice of Exemption
5. Plans

RESPECTFULLY SUBMITTED:



Alex Othon
Assistant Planner



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Application # AP 19-0776

Date: 12/18/19

Total Fees: _____

APPLICANT/OWNER:

Project Address: 873 DEL MONTE BLVD. APN: 006-063-014-000
Project Description: RESIDENTIAL REMODEL, REPLACE 2ND FLR DOUBLE BAYS W/SINGLE BAY WINDOW, NEW ROOF, CHANGE HORIZONTAL SIDING TO BOARD & BATTEN, MODIFY FRONT ENTRY ROOF, REPLACE WINDOWS IN KIND, LANDSCAPING.

Will the project create, add, or replace impervious surface? ☒ Yes ☐ No

Will the project impact any tree(s) on site? ☐ Yes ☒ No

Applicant

Name: PHILIP C. JOHNSON, RA, ABC

Phone: 831-659-4160

Email: PHIL@JAGARCH.COM

Mailing Address: PO BOX 112
CARMEL VALLEY, CA 93924

Owner

Name: CEREE EBERLY

Phone: 404-372-6685

Email: CTEBERLY@GMAIL.COM

Mailing Address: 7105 FAUNSWORTH DR.
ATLANTA, GA 30328

PLANNING STAFF USE ONLY:

Permit Request:

- | | | | |
|---|---|--|---|
| <input type="checkbox"/> CRD: Counter Determination | <input type="checkbox"/> SP: Sign Permit | <input type="checkbox"/> IHS: Initial Historic Screening | <input type="checkbox"/> VAR: Variance |
| <input type="checkbox"/> AP: Architectural Permit | <input type="checkbox"/> UP: Use Permit | <input type="checkbox"/> HPP: Historic Preservation | <input type="checkbox"/> MMP: Mitigation Monitoring |
| <input type="checkbox"/> AAP: Administrative AP | <input type="checkbox"/> AUP: Administrative UP | <input type="checkbox"/> A: Appeal | <input type="checkbox"/> Stormwater Permit |
| <input type="checkbox"/> ADC: Arch Design Change | <input type="checkbox"/> ADU: Acc. Dwelling Unit | <input type="checkbox"/> TPD: Tree Permit W/ Dev't | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> ASP: Admin Sign Permit | <input type="checkbox"/> LLA: Lot Line Adjustment | <input type="checkbox"/> EIR: Environmental Impact | <input type="checkbox"/> Other: _____ |

CEQA Determination:

- ☐ Exempt
☐ Initial Study & Mitigated Negative Declaration
☐ Environmental Impact Report

Review Authority:

- ☐ Staff ☐ HRC
☐ ZA ☐ PC
☐ SPRC ☐ CC
☐ ARB ☐ _____

Active Permits:

- ☐ Active Planning Permit
☐ Active Building Permit
☐ Active Code Violation
Permit #: _____

Overlay Zones:

- ☐ Butterfly Zone
☐ Coastal Zone
☐ Area of Special Biological Significance (ASBS)
☐ Environmentally Sensitive Habitat Area (ESHA)

Property Information

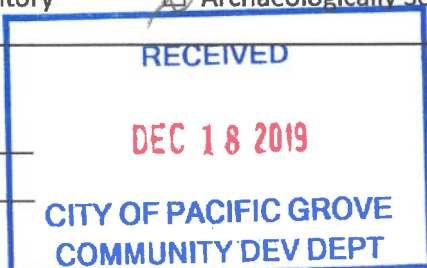
Lot: 7 Block: 250 Tract: Beach Tract
ZC: R-1 GP: M.O. Res. Lot Size: 5425 sq

☐ Historic Resources Inventory ☒ Archaeologically Sensitive Area

Staff Use Only:

Received by: AO

Assigned to: _____



PAID
3,592.10
12-18-19

Application #

AP 19-0776

INDEMNIFICATION CONDITION

In consideration for City review and approval of application in this matter, the Owner/Applicant shall indemnify, defend, protect and hold harmless the City, its elected and appointed officials, officers, agents, and employees (collectively "Indemnitees"), using counsel approved in writing by the City, from and against, any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorneys' fees and disbursements which may accrue against Indemnitees by reason of the City's processing, approval or denial of the request and application in this matter. Indemnification shall include, but shall not be limited to any action, or proceeding brought to attack, set aside, void, annul, limit, or inhibit the approval of the application referenced above, and shall expressly include causes of action under the California Environmental Quality Act (CEQA), or the National Environmental Policy Act (NEPA).

The obligation to indemnify shall include, but not be limited to, all costs relating to preparing administrative records, investigations, responses to discovery, retention of experts, and other costs, including attorney's fees or obligations related to this matter, including actions brought by the Owner/Applicant and also extend to any expense incurred in establishing the City's right to indemnification. City expenses shall be paid by Owner/Applicant upon City request notwithstanding final disposition of the matter has not yet occurred. If the City is later determined to not be entitled to indemnification, the City shall repay amounts so advanced.

This indemnification condition is the Owner/Applicant's inducement to the City to process and approve the application, which approval would otherwise be withheld by City due to its concern for liability or expense that may result from performance of the City's duties. Should any dispute arise regarding interpretation of this condition, the prevailing party shall recover all reasonable costs incurred, including court costs, attorney fees and related expenses. Recovery of expenses shall be as additional costs awarded to the prevailing party, and shall not require initiation of a separate legal proceeding.

This indemnification condition shall not require the Owner/Applicant to indemnify the City or other Indemnities: (a) to the extent that an obligation is actually paid by an insurer pursuant to an insurance policy; (b) in connection with any remuneration paid to the City, if it shall be finally adjudged that such remuneration was in violation of law; or (c) on account of the City's misconduct if such misconduct shall be finally adjudged to have been knowingly fraudulent, deliberately dishonest or willful.

Any permit or other approval given by the City to the Owner/Applicant Guarantor shall be valid only so long as this indemnification condition is given full force and effect. If this indemnification condition is revoked, the permit or other approval of the City shall then become null and void.

Owner/Applicant represents it (and any subsidiary) is (a) duly formed and organized, (b) validly existing and in good standing under state law, and (c) has all necessary power to execute and deliver this document and perform its obligations. Owner/Applicant also represents it is authorized to enter into this agreement by all requisite partnership, corporate or other action, and its terms are a valid and legally binding obligation. Neither execution nor delivery of this document nor performance of its obligations will violate any law or provision of any agreement, articles of incorporation, by-laws or other organizational or governing documents relating to Owner/Applicant, nor conflict with any court order relating to Owner/Applicant.

Applicant Signature: _____

Date: 12-15-19

Owner Signature (Required): _____

Date: 12-3-2019



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cdd

Item No. 7B

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Application #

AP 19-0776

Planning Permit Fee Calculation

Permit	Select	Fee
Architectural Permit – Single Family	<input checked="" type="checkbox"/>	\$3,052
Administrative Architectural Permit	<input type="checkbox"/>	\$1,469
Architectural Design Change	<input type="checkbox"/>	\$1,469
Counter Review & Determination – no new square footage	<input type="checkbox"/>	\$212
Counter Review & Determination – new square footage	<input type="checkbox"/>	\$856
Initial Historic Screening	<input type="checkbox"/>	\$452
Sign Permit	<input type="checkbox"/>	\$2,241
Administrative Sign Permit	<input type="checkbox"/>	\$1,241
Use Permit and Amendments – Single Family	<input type="checkbox"/>	\$1,832
Major Administrative Use Permit	<input type="checkbox"/>	\$1,184
Minor Administrative Use Permit	<input type="checkbox"/>	\$1,199
Variance and Amendment	<input type="checkbox"/>	\$2,548
Administrative Variance and Amendment	<input type="checkbox"/>	\$1,425
Inquiry Fee	<input type="checkbox"/>	\$334
Historic Preservation Permit	<input type="checkbox"/>	\$1,735
Accessory Dwelling Unit Permit	<input type="checkbox"/>	\$1,783
Tree Permit with Development	<input type="checkbox"/>	\$272
Appeal	<input type="checkbox"/>	25% of base permit fee or \$1,045 whichever is greater plus noticing costs
Other	<input type="checkbox"/>	

Additional Fees

General Plan Update Fee	5% of Permit Fee	<input checked="" type="checkbox"/>	\$152.60
CEQA Exemption Fee	\$278	<input checked="" type="checkbox"/>	\$278
Butterfly Buffer Zone	5% of Permit Fee	<input type="checkbox"/>	
Coastal Zone	25% of Permit Fee	<input type="checkbox"/>	
Area of Special Biological Significance	5% of Permit Fee	<input type="checkbox"/>	
Environmentally Sensitive Habitat Area	15% of Permit Fee	<input type="checkbox"/>	
Noticing – Mailings	\$0.55 * (# of Mailings)	<input checked="" type="checkbox"/>	\$5.50
Noticing – Herald Ad	\$349	<input type="checkbox"/>	
Stormwater Fee	Varies	<input type="checkbox"/>	
County filing fee	Varies	<input checked="" type="checkbox"/>	\$50
File maintenance fee	Varies	<input checked="" type="checkbox"/>	\$54
Other	Varies	<input type="checkbox"/>	

Total Fees: \$3,592.10

PROJECT DATA SHEET

Project Address: _____ Submittal Date: _____
Applicant(s): _____ Permit Type(s) & No(s): _____

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District				
Building Site Area				
Density (multi-family projects only)				
Building Coverage				
Site Coverage				
Gross Floor Area				
Square Footage not counted towards Gross Floor Area				
Impervious Surface Area Created and/or Replaced				
Exterior Lateral Wall Length to be demolished in feet & % of total*	_____	_____	____ ft/ ____ %	
Exterior Lateral Wall Length to be built	_____	_____		
Building Height				
Number of stories				
Front Setback				
_____ Side Setback (specify side)				
_____ Side Setback (specify side)				
Rear Setback				
Garage Door Setback				
Covered Parking Spaces				
Uncovered Parking Spaces				
Parking Space Size (Interior measurement)	9' x 20'			
Number of Driveways	1			
Driveway Width(s)				
Back-up Distance				
Eave Projection (Into Setback)	3' maximum			
Distances Between Eaves & Property Lines	3' minimum			
Open Porch/Deck Projections				
Architectural Feature Projections				
Number & Category of Accessory Buildings				
Accessory Building Setbacks				
Distance between Buildings				
Accessory Building Heights				
Fence Heights				

**If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.*

[Rev. 01/14/14]

PROJECT DATA SHEET

Item No. 7B
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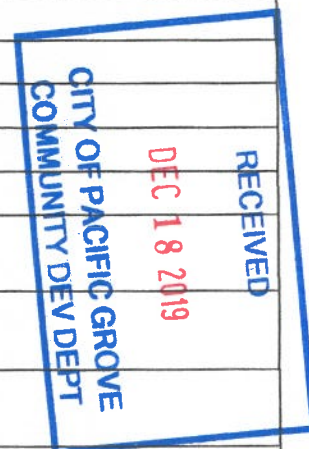
Project Address: 873 DEL MONTE BLVD.

Submittal Date:

Applicant(s): PHILIP C. JOHNSON, RA, GBC

Permit Type(s) & No(s):

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R1	R1	R1	
Building Site Area	4,517 SF	4,517 SF	4,517 SF	
Density (multi-family projects only)	-----	-----	-----	
Building Coverage	40%	37.7%	37.7%	
Site Coverage	60%	79%	60%	
Gross Floor Area	2,407 SF	2,407 SF	2,407 SF	
Square Footage not counted towards Gross Floor Area	0	0	0	
Impervious Surface Area Created and/or Replaced	2,710 SF	(660 SF OVER) 3,370 SF	(660 SF LESS) 2,710 SF	
Exterior Lateral Wall Length to be demolished in feet & % of total*	-----	-----	164 ft/ 57 %	
Exterior Lateral Wall Length to be built	-----	-----	164'	
Building Height	25'	19'-4'	22'-11"	
Number of stories	2	2	2	
Front Setback	15'	15'-7"	15'-7"	
SOUTH Side Setback (specify side)	7'-0"	7'-0"	7'-0"	
NORTH Side Setback (specify side)	7'-0"	12'-6"	12'-6"	
Rear Setback	10'	8'-6"	8'-6"	
Garage Door Setback	20'-0"	16'-0"	16'-0"	
Covered Parking Spaces	1	1 (SUBSTD)	1(SUBSTD)	
Uncovered Parking Spaces	1	1 (SUBSTD)	1(SUBSTD)	
Parking Space Size (Interior measurement)	9' x 20'	9'-4"X17'-4"	11'-4"X19'-1"	
Number of Driveways	1	1	1	
Driveway Width(s)	20'	20'	20'	
Back-up Distance	-----	-----	-----	
Eave Projection (Into Setback)	3' maximum	5'-9"	3'-0"	
Distances Between Eaves & Property Lines	3' minimum	7'-0"	5'-10"	
Open Porch/Deck Projections	3' MAX.	5'-9"	3'-0"	
Architectural Feature Projections	3' MAX	0'-8"	1'-6"	
Number & Category of Accessory Buildings	-----	0	0	
Accessory Building Setbacks	N/A	N/A	N/A	
Distance between Buildings	N/A	N/A	N/A	
Accessory Building Heights	N/A	N/A	N/A	
Fence Heights	6'	6'	6'	



*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

ARCHITECTURAL PERMIT (AP) 19-0776 FOR A PROPERTY LOCATED AT 873 DEL MONTE AVE TO ALLOW ALTERATIONS TO AN EXISTING TWO-STORY SINGLE FAMILY RESIDENCE WHICH INCLUDE ALTERING THE FENESTRATION OF THE FRONT FACADE, CHANGING SECOND STORY SIDING TO BOARD & BATTEN, AND ALTERING THE EXISTING ROOFLINE.

FACTS

1. The subject site is located at 873 Del Monte Ave, Pacific Grove, 93950 APN 006-063-014
2. The subject site has a designation of Medium Density Residential (17.4 du/ac) on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-1 zoning district.
4. The subject site is 4,517 square feet.
5. The subject site is located in the Archaeological Zone and the Area of Special Biological Significance.
6. The subject site is developed with a two-story single-family residence with an attached two car garage.
7. This project has been determined to be CEQA Exempt under CEQA Guidelines §15301(e) – Existing Facilities

AP FINDINGS

1. The proposed development will meet the development regulations set forth in the R-1 zoning district including building coverage and height requirements;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines No.'s 6, 29, 35, and 40;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property; and,
4. The Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

PERMIT

Architectural Permit (AP) 19-0776 for a property located at 873 Del Monte Ave to allow an existing two-story single family residence to alter an existing roofline, replace two (2) second story windows with one (1) bay window, remove existing second story siding and replace with board & batten siding.

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within two (2) years from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approved plans for “Residential Remodel for Cerec Eberly” dated 12/18/19, on file with the Community Development Department and to the Building Code, with the exception of any subsequently approved changes.

6. **Tree Protection Standards During Construction.** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
7. **Lighting.** All exterior lighting must conform to Architectural Review Guidelines Nos. 10,11,12
8. **Stormwater Control Plan.** An erosion and sediment control plan shall be provided by the property owner to the City of Pacific Grove at the time of building permit submittal.
9. **Story Poles and Netting.** Following the 10 day appeal period all story poles and netting are required to be removed.
10. **Building Plans.** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.
11. **Archeology.** A qualified archaeological monitor shall be present during project excavations. The monitor should recover any potentially significant cultural materials that may be found. Applicant shall provide a copy of the executed contract between owner and archaeological monitor prior to issuance of a building permit.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes Approval of AP 19-0776 for a property located at 873 Del Monte Ave to allow an existing two-story single family residence to alter an existing roofline, replace two (2) second story windows with one (1) bay window, remove existing second story siding and replace with board & batten siding.
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 11th of February, 2020, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

Sarah Boyle, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Ceree Eberly, Owner

Date

Notice of Exemption

Appendix E

To: Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044

County Clerk

County of: Monterey

From: (Public Agency): City of Pacific Grove
300 Forest Ave
Pacific Grove, CA 93950

(Address)

Project Title: Eberly Remodel

Project Applicant: Philip C. Johnson

Project Location - Specific:

873 Del Monte Boulevard, between Siren St and Sea Palm Ave

Project Location - City: Pacific Grove Project Location - County: Monterey

Description of Nature, Purpose and Beneficiaries of Project:

Residential remodel, with proposed roof changes resulting in a height increase for a total height of 22' 11". No additional square footage is proposed.

Name of Public Agency Approving Project: City of Pacific Grove

Name of Person or Agency Carrying Out Project: Philip C. Johnson

Exempt Status: **(check one):**

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- ☒ Categorical Exemption. State type and section number: 15301(e) - Existing Facilities
- ☐ Statutory Exemptions. State code number: _____

Reasons why project is exempt:

The exemption allows for small remodels, the proect has no potential environmental issues.

Lead Agency

Contact Person: Alex Othon Area Code/Telephone/Extension: 831-648-3183

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project? ☐ Yes ☐ No

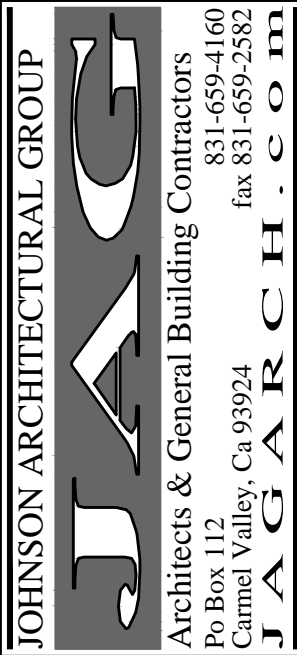
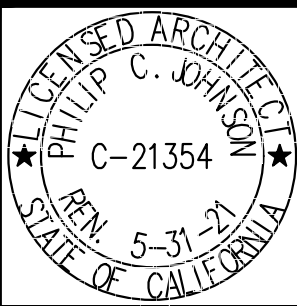
Signature: _____ Date: _____ Title: Assistant Planner

☐ Signed by Lead Agency ☒ Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR: _____

REVISIONS	BY



RESIDENTIAL REMODEL FOR CEREE EBERLY
873 DEL MONTE BLVD.
PACIFIC GROVE, CALIFORNIA 93950

THIS DOCUMENT AND THE IDEAS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF PHILIP C. JOHNSON ARCHITECT, AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PHILIP C. JOHNSON ARCHITECT.

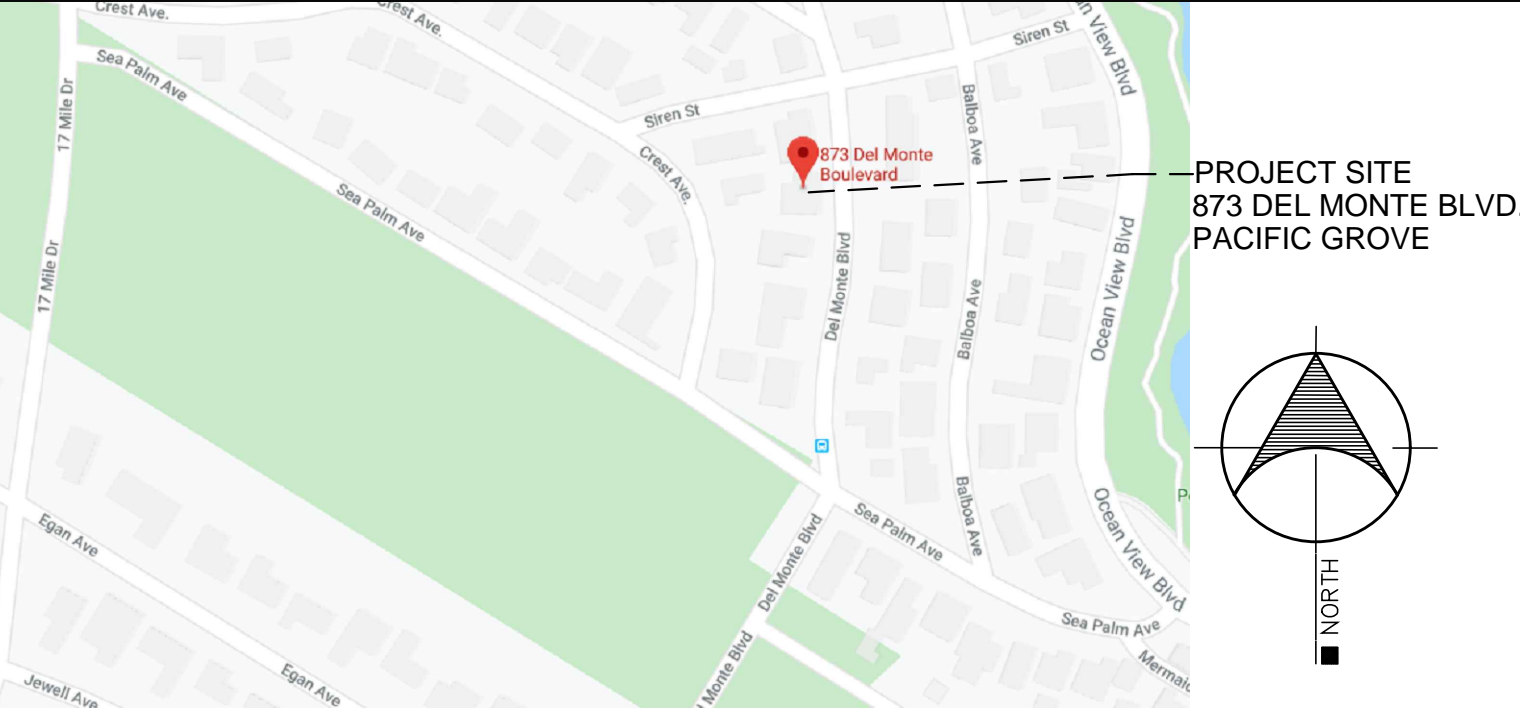
INFORMATIONAL SHEET

Date 12/1/19
Scale AS SHOWN
Drawn by DDJ
Job 1905
Sheet
A0.1
1 of 3 Sheet

873 DEL MONTE BLVD., PACIFIC GROVE, CALIFORNIA 93950



VICINITY MAP



SCOPE OF WORK

RESIDENTIAL REMODEL TO INCLUDE REPLACEMENT OF SECOND FLOOR ROOF, SECOND FLOOR WALLS THAT ARE EFFECTED BY MOLD OR WOOD ROT. REPLACE WORN EXTERIOR 2D FLOOR SIDING WITH BOARD AND BATTEN SIDING. REPLACE TWO 2D FLOOR BAY WINDOWS AT MASTER BEDROOM WITH ONE SINGLE BAY WINDOW, CENTERED IN THE SPACE. REMOVE FRONT ENTRY PORCH AND ROOF OVERHANG. REPLACE WITH NEW WALKWAY AND PLANTERS WITH SMALLER GABLE ROOF AT ENTRY DOOR. REPLACE OLD WINDOWS WITH IN KIND UPDATED. KITCHEN RENOVATION, RELOCATE LOWER FLOOR PLUMBING TO CREATE ANOTHER SECOND FLOOR FULL BATH AND MOVE LAUNDRY ROOM TO EXISTING MECHANICAL SPACE IN THE GARAGE. NO ADDITIONAL SQUARE FOOTAGE.

PROJECT DATA

APN: 006-063-014-000
PROJECT ADDRESS:
873 DEL MONTE BLVD., PACIFIC GROVE, CA 93950

ZONING - R1
SITE AREA - 4,517 SF / .104AC
BUILDING COVERAGE:
EXISTING - 1,704 SF
PROPOSED (UNCHANGED)-1,704 SF
MAX. ALLOWED (40%) - 1,806 SF

FLOOR AREA:
EXISTING - 2,407 SF
PROPOSED (UNCHANGED)-2,407 SF
MAX. ALLOWED - 2,407 SF

IMPERVIOUS SURFACE:
EXISTING PROPOSED
DECKS - 211 SF 181 SF
PATIO - 1,719 SF 825 SF
TOTAL - 1,930 SF 1006 SF

SITE COVERAGE:
EXISTING - (79%) 3,370 SF*
PROPOSED - (60%) 2,710 SF (REDUCED 660 SF)
MAX. ALLOWED(60%) 2,710 SF

* ALLOWS FOR 60 SF OF FRONT WALKWAY AND PATIO THAT IS EXEMPT. DOES NOT EXEMPT 400 SF OF DRIVEWAY, THAT PORTION IS UNCHANGED.

HEIGHT:
EXISTING - 19'-4"
PROPOSED - 22'-11"
MAX. ALLOWED - 25'-0"

SETBACKS
(ALSO SEE A1.0, SITE PLAN)
FRONT SIDE REAR
EXISTING - 16'-0"(GARAGE 16') 7'-0"/12'-6" 8'-6"(1ST) -9'-8"/16'-2"(2D)
PROPOSED - 16'-0"(GARAGE 16') 7'-0"/12'-6" 8'-6"(1ST) -9'-8"/16'-2"(2D)
MIN. REQUIRED - 15'-0" 7' (10%) 10'-0"
20' (GARAGE)

GRADING: CUT - 1 C.Y. (LANDSCAPING)
FILL - 1 C.Y. (LANDSCAPING)

CONSTRUCTION TYPE: V-B
OCCUPANCY: R-3

SPRINKLED: NO

PROJECT DATA SHEET

PROJECT DATA SHEET				
Project Address: 873 DEL MONTE BLVD.		Submittal Date:		
Applicant(s): PHILIP C. JOHNSON, RA, GBC		Permit Type(s) & No(s):		
	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R1	R1	R1	
Building Site Area	4,517 SF	4,517 SF	4,517 SF	
Density (multi-family projects only)	-----	-----	-----	
Building Coverage	40%	37.7%	37.7%	
Site Coverage	60%	79%	60%	
Gross Floor Area	2,407 SF	2,407 SF	2,407 SF	
Square Footage not counted towards Gross Floor Area	0	0	0	
Impervious Surface Area Created and/or Replaced	2,710 SF	(660 SF OVER) 3,370 SF	(660 SF LESS) 2,710 SF	
Exterior Lateral Wall Length to be demolished in feet & % of total*	-----	-----	164 ft/ 57 %	
Exterior Lateral Wall Length to be built	-----	-----	164'	
Building Height	25'	19'-4"	22'-11"	
Number of stories	2	2	2	
Front Setback	15'	15'-7"	15'-7"	
SOUTH Side Setback (specify side)	7'-0"	7'-0"	7'-0"	
NORTH Side Setback (specify side)	7'-0"	12'-6"	12'-6"	
Rear Setback	10'	8'-6"	8'-6"	
Garage Door Setback	20'-0"	16'-0"	16'-0"	
Covered Parking Spaces	1	1 (SUBSTD)	1(SUBSTD)	
Uncovered Parking Spaces	1	1 (SUBSTD)	1(SUBSTD)	
Parking Space Size (Interior measurement)	9' x 20'	9'-4"x17'-4"	11'-4"x19'-1"	
Number of Driveways	1	1	1	
Driveway Width(s)	20'	20'	20'	
Back-up Distance	-----	-----	-----	
Eave Projection (Into Setback)	3' maximum	5'-9"	3'-0"	
Distances Between Eaves & Property Lines	3' minimum	7'-0"	5'-10"	
Open Porch/Deck Projections	3' MAX.	5'-9"	3'-0"	
Architectural Feature Projections	3' MAX	0'-8"	1'-6"	
Number & Category of Accessory Buildings	-----	0	0	
Accessory Building Setbacks	N/A	N/A	N/A	
Distance between Buildings	N/A	N/A	N/A	
Accessory Building Heights	N/A	N/A	N/A	
Fence Heights	6'	6'	6'	

*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.

[Rev: 01/14/14]

SHEET INDEX

ARCHITECTURAL
A0.1 INFORMATIONAL SHEET
A0.2 GENERAL NOTES, ABBREV & SYMBOLS
SHT 1 TOPOGRAPHIC SURVEY
A1.0 SITE PLAN
A1.1 EXISTING SITE PLAN
A1.2 PROPOSED SITE PLAN
A2.0 EXISTING FLOOR PLAN
A2.1 PROPOSED FLOOR PLAN
A3.1 ELEVATIONS
A3.2 ELEVATIONS
A4.1 ENLARGED PLANS
R1.1 MATERIALS AND FINISHES

LEGEND:

NEW WALLS
EXISTING WALLS TO REMAIN
REMOVED WALLS
REPAIRED OR REPLACED WALLS
IMPERVIOUS SURFACE
PROPERTY LINE
EXISTING FENCE

DIRECTORY

OWNER
CEREE EBERLY
7105 FAUNSWORTH DR.
ATLANTA, GA 30328
TEL: (404) 372-6685

ARCHITECT:
JOHNSON ARCHITECTURAL GROUP
ATTN: PHILIP C. JOHNSON, RA, GBC
PO BOX 112
CARMEL VALLEY, CA 93924
TEL: (831) 659-4160
Phil@JAGARCH.com

CIVIL ENGINEER:
L&S ENGINEERING AND SURVEYING
ATTN: JEFF LORENTZ
2460 GARDEN RD, SUITE G
MONTEREY, CA 93940
(831) 655-2723

STRUCTURAL ENGINEER:
CENTRAL COAST ENGINEERS
ATTN: DEREK JOHNSON, P.E.
21 W. ALISALST., #119
SALINAS, CA 93901
TEL: (831) 757-5554

APPLICABLE CODES

APPLICABLE CODES:

ALL CONSTRUCTION AND INSTALLATION SHALL CONFORM TO THE MOST RECENT CODE ADOPTED BY THE JURISDICTION OR THE FOLLOWING CODES:

2016 CALIFORNIA BUILDING CODE (CBC)
2016 CALIFORNIA MECHANICAL CODE (CMC)
2016 CALIFORNIA PLUMBING CODE (CPC)
FEDERAL FAIR HOUSING ACT - PART VI ACCESSIBILITY GUIDELINES
2016 CALIFORNIA ELECTRIC CODE (CEC)
2011 CALIFORNIA ENERGY STANDARDS
TITLE-19 CALIFORNIA ADMINISTRATIVE CODE
TITLE-24 CALIFORNIA ADMINISTRATIVE CODE
2010 AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES
2016 CALIFORNIA FIRE CODE (CFC)
LATEST EDITION OF COUNTY OF MONTEREY CODE ORDINANCES AND ADOPTED AMENDMENTS
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (PROJECT EXEMPT PER CALGREEN SECTION 101.3, EXISTING BUILDING)
2016 CALIFORNIA RESIDENTIAL CODE (CRC)

C:\WORK\ACTIVE\1905-873 Del Monte\Current Set\Floor Plan 1905.dwg, 12/17/2019 11:59:32 PM, DWG To PDF.pc3

ABBREVIATIONS				SYMBOLS		GENERAL NOTES				
<div><div><div>AB. ANCHOR BOLT ABV. ABOVE A/C AIR CONDITIONING A.C. ASPHALTIC CONCRETE A.D. AREA DRAIN ADJ. ADJUSTABLE A.F.F. ABOVE FINISH FLOOR ALUM. ALUMINUM ALT. ALTERNATIVE/ ALTERNATE ANOD. ANODIZED APPROX. APPROXIMATE ARCH. ARCHITECTURAL</div><div><div>Q/</div><div>O.C.</div><div>O.D.</div><div>OFF.</div><div>OH.</div><div>OPNG.</div><div>OPP.</div><div>OVHD.</div><div>PAR.</div><div>P.D.</div><div>PERF.</div><div>P.G.</div><div>PL.</div><div>PLAS.</div><div>PLUMB.</div><div>PLYWD.</div><div>PNTD.</div><div>PR.</div><div>PRCST.</div><div>PRFAB.</div><div>PSI.</div><div>PT.</div><div>P.T.D.</div><div>P.T.D/R</div><div>PTN.</div><div>P.T.R.</div><div>PVC</div><div>QTY.</div><div>R.</div><div>R.A.</div><div>RAD.</div><div>R.B.</div><div>R.C.</div><div>R.D.</div><div>REBAR.</div><div>REF.</div><div>REFL.</div><div>REINF.</div><div>REQD.</div><div>RM.</div><div>RND.</div><div>R.O.</div><div>R.S.</div><div>RWD.</div><div>S.</div><div>SAN.</div><div>S.C.</div><div>SCHED.</div><div>S.D.</div><div>SECT.</div><div>SEL.</div><div>S.G.</div><div>SHR.</div><div>SHT.</div><div>SIM.</div><div>SL.</div><div>S.M.S.</div><div>S.N.D.</div><div>S.N.R.</div><div>SPEC.</div><div>SHP</div><div>SQ.</div><div>SST.</div><div>STA.</div><div>STD.</div><div>STEEL</div><div>STOR.</div><div>STRL.</div><div>SUSP.</div><div>SYM.</div><div>T.</div><div>T.B.</div><div>T&B</div><div>T.C.</div><div>TEL.</div><div>TEMP.</div><div>T&G</div><div>THK.</div><div>THRES.</div><div>T.O.F.</div><div>TOIL.</div><div>T.O.P.</div><div>T.O.S.</div><div>T.O.W.</div><div>T.P.</div><div>T.P.D.</div><div>TREAD.</div><div>T.V.</div><div>TYP.</div><div>U.O.N.</div><div>U.R.</div><div>VENT.</div><div>VERT.</div><div>VEST.</div><div>V.I.F.</div><div>V.P.</div><div>W.</div><div>W/</div><div>W.C.</div><div>WD.</div><div>W.GL.</div><div>WH.</div><div>WM.</div><div>W/O</div><div>WP.</div><div>W.R.</div><div>WSCT.</div><div>WSP.</div><div>WT.</div><div>WTR.</div><div>W.W.F.</div><div>&</div><div>@</div><div>φ</div><div>#</div><div>o</div><div>⊥</div><div>AND</div><div>AT</div><div>DIAMETER OR ROUND</div><div>POUND OR NUMBER</div><div>PENNY</div><div>PERPENDICULAR</div></div><div><div>DBL.</div><div>DEPT.</div><div>DET.</div><div>D.F.</div><div>DIA.</div><div>DIAG.</div><div>DIM.</div><div>DISP.</div><div>DN.</div><div>DR.</div><div>DS.</div><div>DWG.</div><div>(E)</div><div>E.A.</div><div>E.G.</div><div>E.J.</div><div>E.L.</div><div>ELEC.</div><div>ELEV.</div><div>EMER.</div><div>ENCL.</div><div>E.P.</div><div>EQ.</div><div>EQPT.</div><div>EXH.</div><div>EXP.</div><div>EXPO.</div><div>EXST.</div><div>EXT.</div><div>F.A.</div><div>F.D.</div><div>FDN.</div><div>F.E.</div><div>F.E.C.</div><div>F.F.</div><div>F.H.C.</div><div>FIN.</div><div>FIN.GR.</div><div>FIXT.</div><div>FL.</div><div>FLASH.</div><div>FLUOR.</div><div>F.O.C.</div><div>F.O.F.</div><div>F.O.M.</div><div>F.O.S.</div><div>F.O.T.</div><div>FT.</div><div>FTG.</div><div>FURR.</div><div>FUT.</div><div>G.</div><div>GA.</div><div>GALV.</div><div>G.B.</div><div>GL.</div><div>GLB.</div><div>GND.</div><div>GR.</div><div>GYP.</div><div>H.</div><div>H.B.</div><div>H.C.</div><div>HDR.</div><div>HDWD.</div><div>HDWE.</div><div>H.M.</div><div>HNDRL.</div><div>HORIZ.</div><div>HR.</div><div>HT.</div><div>H.V.A.C.</div><div>H.W.</div><div>I.D.</div><div>INFO.</div><div>INSUL.</div><div>JAN.</div><div>JH.</div><div>JT.</div><div>KIT.</div><div>LAB.</div><div>LAM.</div><div>LAV.</div><div>LKR.</div><div>LT.</div><div>MAX.</div><div>M.B.</div><div>M.C.</div><div>MECH.</div><div>MEMB.</div><div>MET.</div><div>MEZ.</div><div>MFR.</div><div>MH.</div><div>MIN.</div><div>MIR.</div><div>MISC.</div><div>MTD.</div><div>(N)</div><div>N.</div><div>NAT.GR.</div><div>N.I.C.</div><div>N.I.P.</div><div>NO. or #</div><div>NOM.</div><div>N.T.S.</div></div></div><div><div><div>1</div><div>A</div></div><div><div>42</div><div>NUMERICAL DOOR REFERENCE</div></div><div><div>B</div><div>NUMERICAL WINDOW REFERENCE</div></div><div><div>960'-0"</div></div><div><div>A101-A</div><div>A1A</div><div>9'-0"</div><div>12</div><div>A6.1</div><div>ROOM NUMBER</div><div>FINISH</div><div>CEILING HEIGHT</div><div>DETAIL NUMBER</div><div>SHEET WHERE DETAIL IS DRAWN</div><div><div>1</div><div>A3.7</div><div>ELEVATION NUMBER</div><div>SHEET WHERE ELEVATION IS DRAWN</div></div><div><div>1*</div><div>A3.7</div><div>ELEVATION NUMBER</div><div>SHEET WHERE ELEVATION IS DRAWN</div></div><div><div>2</div><div>CLOUD AROUND REVISION</div></div></div></div><div><div>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ARE TO BE USED.</div><div>THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS, AND CONDITIONS PRIOR TO STARTING CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ORDERING MATERIALS AND STARTING CONSTRUCTION.</div><div>ALL NAILING SHALL CONFORM WITH TABLE 2304.9.1, 2013 EDITION C.B.C.</div><div>THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS, AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.</div><div>NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLE AVAILABLE SOURCE OF RECLAIMED OR OTHER SUB-POTABLE WATER APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCH USE.</div><div>NO VERBAL CHANGES SHALL BECOME LEGAL AND BINDING UNTIL APPROVED IN WRITING.</div><div>CONTRACTOR SHALL NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER SO THAT THE DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. NO CONSTRUCTION MATERIALS SHALL BE STORED ON OVERHANGING FRAMING.</div><div>DO NOT CUT OR TRIM ANY TREES ON THE PROPERTY UNLESS NOTED BY THE ARCHITECT, AND APPROVED BY THE COUNTY OF MONTEREY.</div><div>MATCH EXISTING CONDITIONS UNLESS OTHERWISE NOTED.</div><div>PROTECT EXISTING CONDITIONS FROM DAMAGE, DUST, AND DEBRIS.</div><div>MAINTAIN SITE IN BROOM CLEAN CONDITION BY THE END OF EACH WORK DAY.</div><div>ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUTOFF NOZZLE. WHEN AN AUTOMATIC SHUTOFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUTOFF NOZZLE.</div><div>NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.</div><div>DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.</div><div>ITEMS NOT CONSTRUCTED PER THESE PLANS MAY REQUIRE BUILDING DEPARTMENT REVIEW AND APPROVAL PRIOR TO MAKING THE CHANGE.</div><div>PLUMBING, IF ANY, PER LATEST C.P.C. ADOPTED BY THE COUNTY OF MONTEREY, INCLUDING USE OF LEAD FREE SOLDER & FLUX.</div><div>NOT USED</div><div>WEATHERSTRIP ALL DOORS & WINDOWS. CAULK ALL EXTERIOR SILL PLATES, TYP.</div><div>SEE ALSO INDIVIDUAL SHEET NOTES.</div><div>PATCH, PAINT AND FINISH ALL SURFACES EFFECTED BY CONSTRUCTION TO MATCH (E), TYP. U.O.N..</div><div>ALL HOT WATER FAUCETS THAT HAVE MORE THAN 10' OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SHALL BE EQUIPPED WITH HOT WATER RECIRCULATING SYSTEM.</div><div>PLUMBING WALLS ARE TO BE OF 2X6 STUDS TO ACCOMODATE MAXIMUM ALLOWABLE BORING AND NOTCHING PROVISIONS.</div><div>CONTRACTOR TO VERIFY STRUCTURAL CONDITIONS PRIOR TO ANY DEMOLITION, TYP.</div><div>ALL CONDITIONS ARE EXISTING. U.O.N.</div><div>NOT USED</div><div>A WATER PRESSURE REGULATOR IS REQUIRED IF PRESSURE IS IN EXCESS OF 80 PSI, PER CPC SECTION 608.2.</div><div>ALL BATH AND KITCHEN OUTLETS TO BE GFCI PROTECTED.</div><div>ALL WORK PER LATEST C.E.C., C.F.C., C.M.C., AND TITLE 24 ADOPTED BY APPROVING AUTHORITY.</div><div>COORDINATE CONSTRUCTION SCHEDULE WITH OWNERS.</div><div>NOT USED</div><div>GAS PIPE DIAGRAM TO DESIGN BUILD AND SUBMITTED PRIOR TO FRAMING INSPECTION, IF REQUIRED.</div><div>STORM WATER DRAINAGE SHALL COMPLY W/2010 Cal Green Standards Code section 4. 106.2, INCLUDING COMPLIANCE WITH A LAWFULLY ENACTED STORM WATER MANAGEMENT ORDINANCE.</div><div>PAINT OUT ALL ROOF PLUMBING VENTS TO MATCH ROOF COLOR, TYP.</div><div>2010 Cal Green Standards FOR Residential Mandatory Measures SHALL BE COMPLIED WITH INCLUDING SECTION 4.408 CONSTRUCTION WASTE REDUCTION DISPOSAL AND RECYCLING.</div><div>A WATER PRESSURE REGULATOR IS REQUIRED IF PRESSURE IS IN EXCESS OF 80 PSI, PER CPC SECTION 608.2</div><div>PRIOR TO FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182 PER CRC R327.1.5.</div><div>PROVIDE MINIMUM CLASS 'A' ROOF ON ALL STRUCTURES WHERE APPLICABLE.</div><div>EXTERIOR WINDOWS & GLAZED DOOR ASSEMBLIES SHALL MEET CRC R327.8.2.1;<div><div>A) BE CONSTRUCTED OF MULTI-PANE GLAZING W/ A MIN. OF ONE TEMP. PANE PER SECTION 2406, OR-</div><div>B) BE CONSTRUCTED OF GLASS BLOCK, OR-</div><div>C) HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MIN. PER NFPA 257, OR-</div><div>D) MEET SFM STANDARD 12-7A-2</div></div></div><div>EXTERIOR DOORS SHALL MEET CRC R327.8.3;<div><div>A) THE EXTERIOR SURFACE SHALL BE NONCOMBUSTIBLE FOR OR IGNITION-RESISTANT MATERIAL, OR-</div><div>B) SHALL BE CONSTRUCTED OF SOLID CORE WOOD THAT HAS<div><div>i. STILES & RAILS SHALL NOT BE LESS THAN 1 3⁄8" THICK</div><div>ii. RAISED PANELS SHALL NOT BE LESS THAN 1 1⁄2" THICK, EXCEPT FOR THE EXTERIOR PERIMETER OF THE RAISED PANEL THAT MAY TAPER TO A TONGUE NOT LESS THAN 3⁄8" THICK.</div></div></div><div>C) SHALL HAVE A MIN. 20 MIN. FIRE RESISTANCE RATING PER NFPA 252, OR-</div><div>D) SHALL BE TESTED TO MEET SFM STANDARD 12-8A-1</div></div></div></div></div> <tr><td colspan="6"><div>JOHNSON ARCHITECTURAL GROUP</div><div>PHILIP C. JOHNSON</div><div>ARCHITECTS & General Building Contractors</div><div>831 659-4160</div><div>831 659-2582</div><div>PO Box 112</div><div>JAMAR VALLEY, CA 93924</div><div>RESIDENTIAL REMODEL FOR CEREE EBERLY</div><div>873 DEL MONTE BLVD.</div><div>PACIFIC GROVE, CALIFORNIA 93950</div><div>THIS DOCUMENT AND THE IDEAS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF PHILIP C. JOHNSON, ARCHITECT, AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PHILIP C. JOHNSON, ARCHITECT.</div><div>GENERAL NOTES.</div><div>ABBREVIATIONS AND SYMBOLS</div><div>Date 12/1/19</div><div>Scale AS SHOWN</div><div>Drawn by DDJ</div><div>Job 1905</div><div>Sheet</div><div>A0.2</div><div>1 of 3 Sheets</div></td><td></td></tr>				<div>JOHNSON ARCHITECTURAL GROUP</div> <div>PHILIP C. 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REVISIONS

BY

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ARCHITECT
C-21354
5-31-21
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GENERAL NOTES.
ABBREVIATIONS AND
SYMBOLS

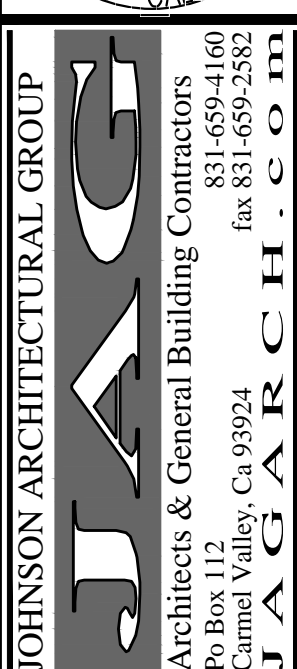
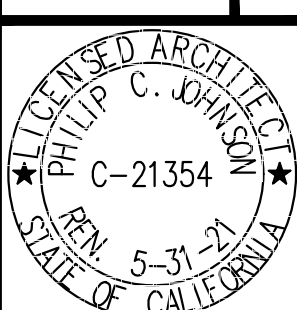
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Scale AS SHOWN

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Job 1905

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PROPOSED SITE PLAN

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Drawn by DDJ
Job 1905
Sheet A1.2 Of Sheet

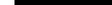






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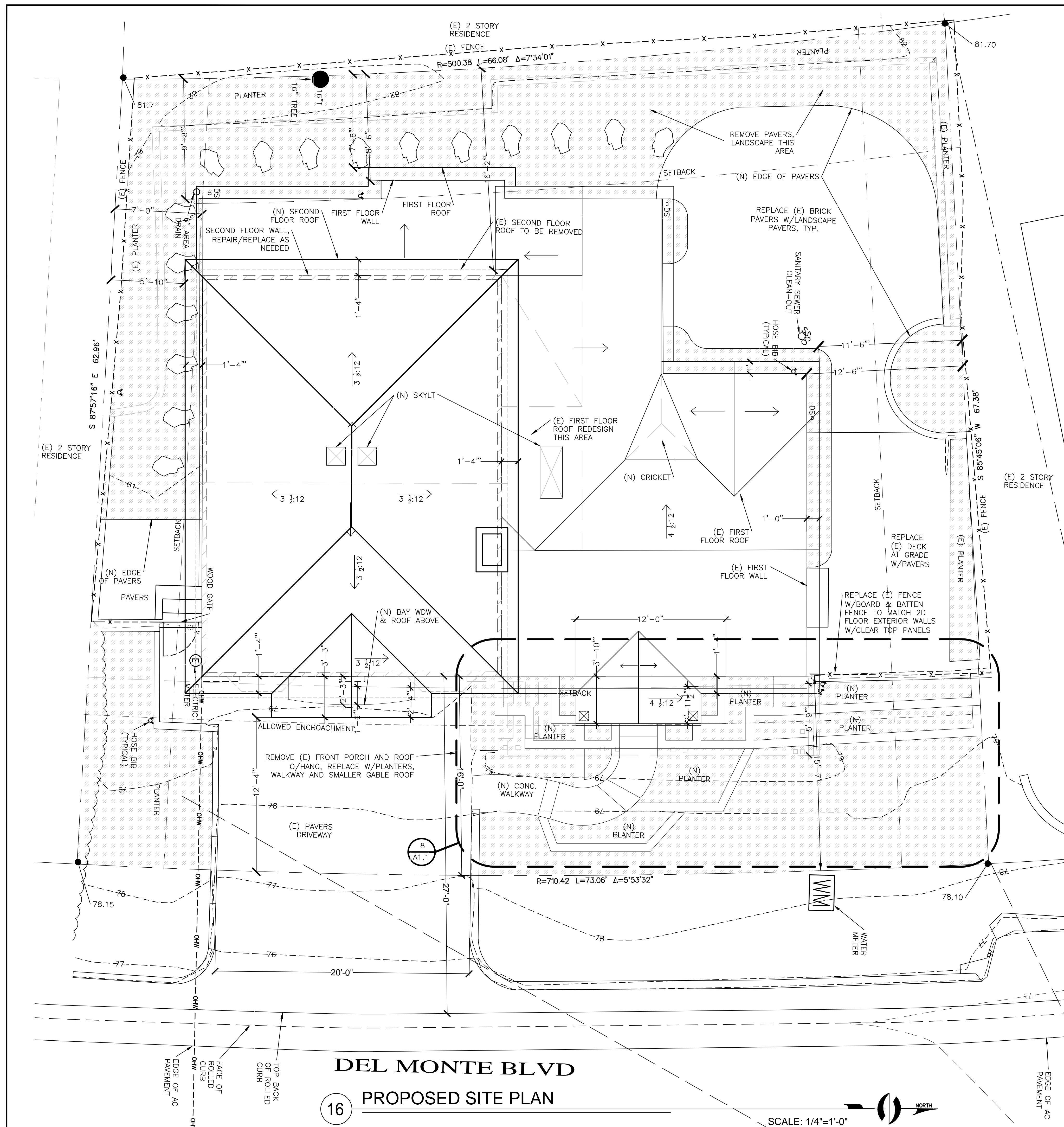
Lot 7, in Block 250, as said Lot and Block are shown on that certain Map entitled, "Map of Pacific Grove Beach, Monterey County, California", filed August 7, 1916 in Volume 3, Maps of "Cities and Towns", at Page 6, in the Office of the County Recorder of the County of Monterey, State of California.








EXCEPTING THEREFROM all that portion conveyed to William H. White, et ux., in Grant Deed recorded October 17, 1980 in Reel 1440, Page 1088, of Official Records.

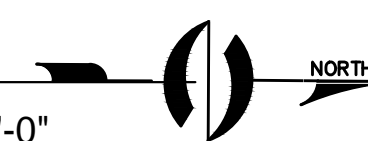
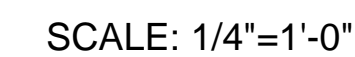
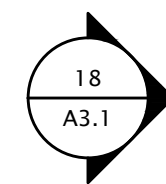
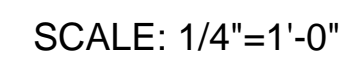
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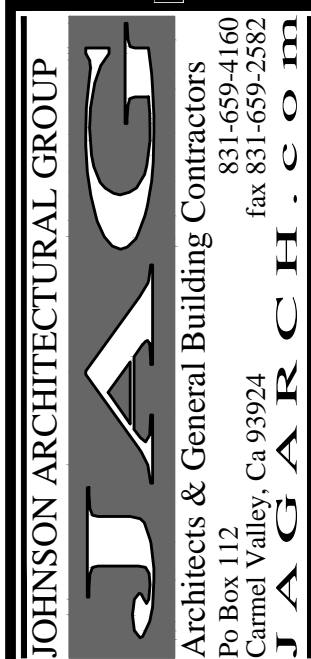
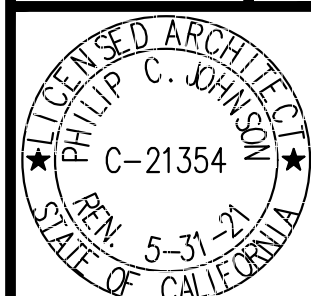
- | | |
|---|----------------------------|
|  | NEW WALLS |
|  | EXISTING WALLS TO REMAIN |
|  | REMOVED WALLS |
|  | REPAIRED OR REPLACED WALLS |
|  | PERVIOUS SURFACE |
|  | PROPERTY LINE |
|  | EXISTING FENCE |



	NEW WALLS
	EXISTING WALLS TO REMAIN
	REMOVED WALLS
	REPAIRED OR REPLACED WALLS
	IMPERVIOUS SURFACE
	PROPERTY LINE
	EXISTING FENCE



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Δ XXXXXX	XX

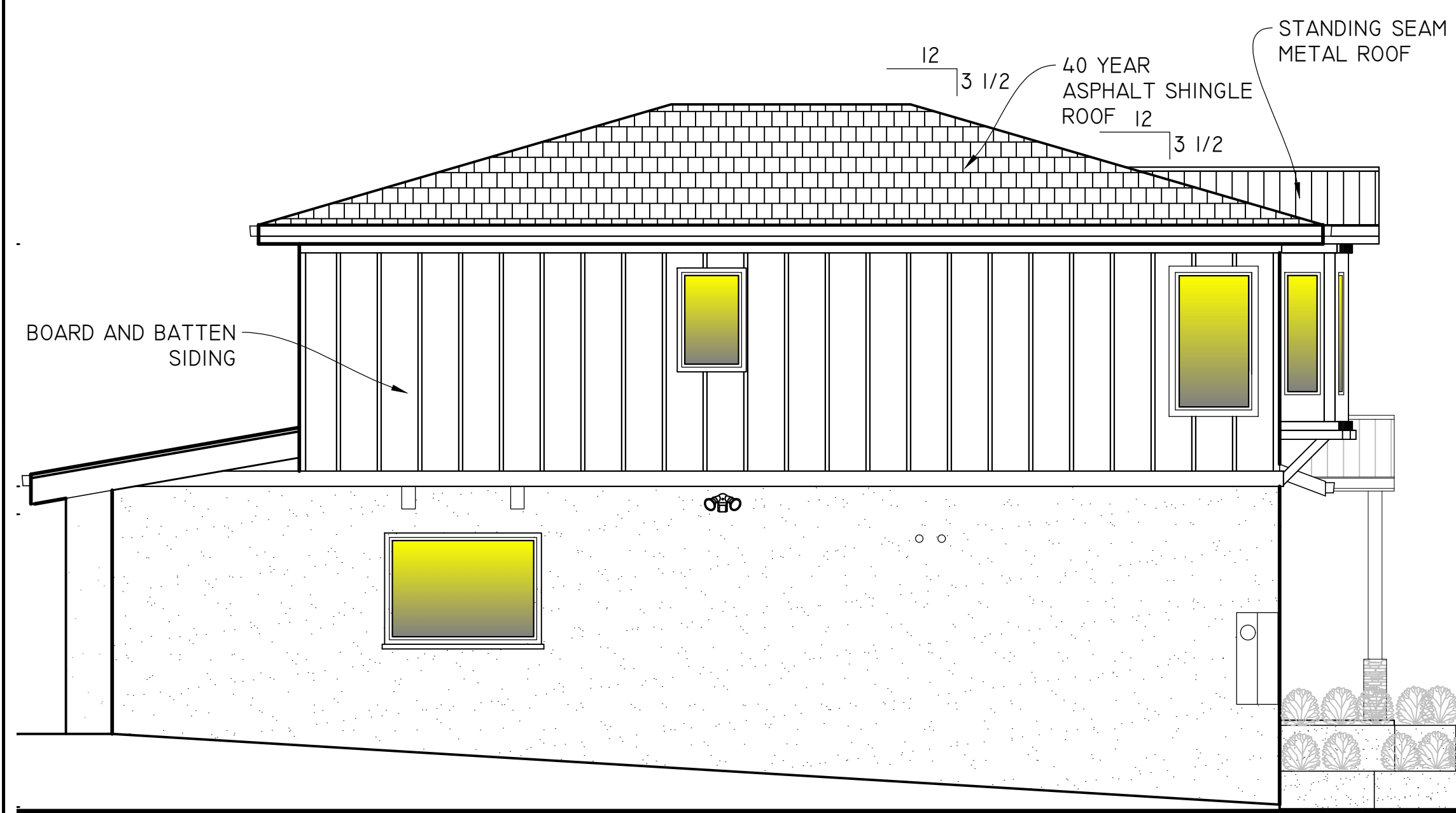


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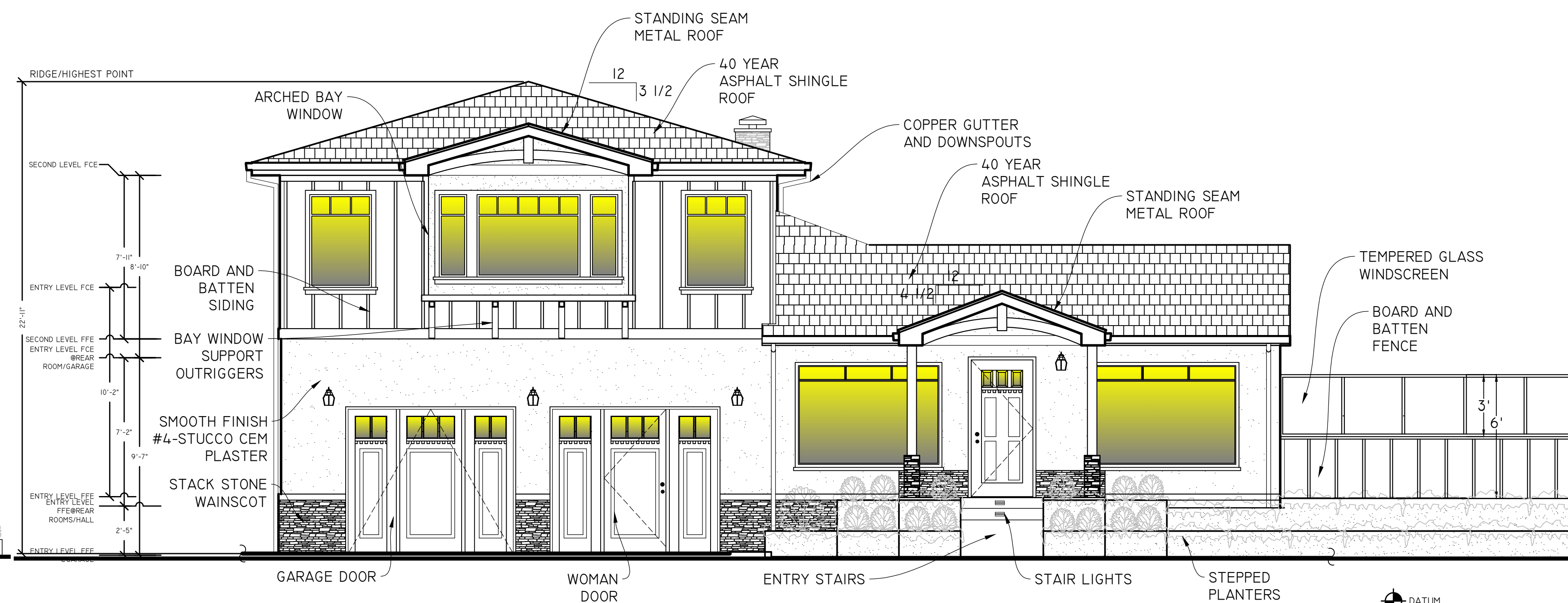
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EXISTING & PROPOSED ELEVATIONS

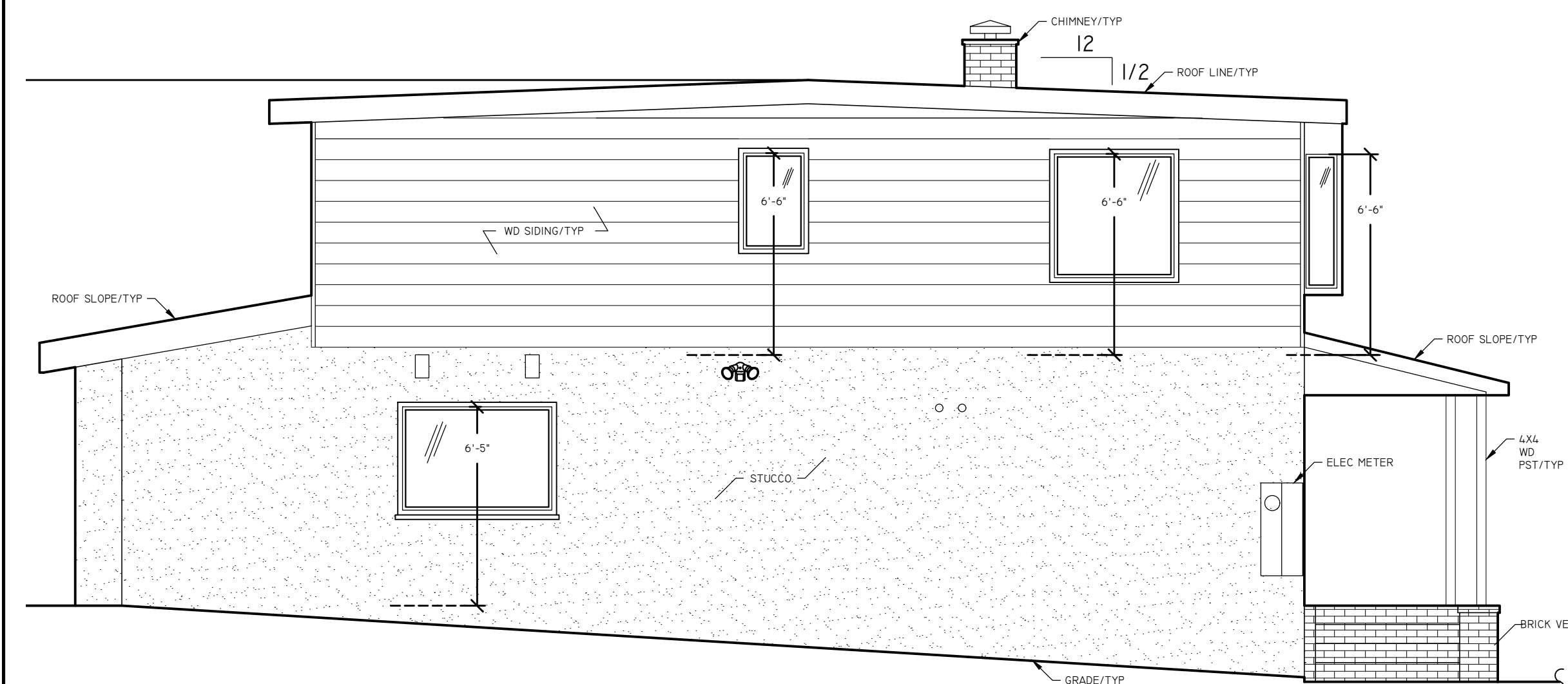
Date 12/1/19
Scale AS SHOWN
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Job 1905
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A3.1
of Sheet



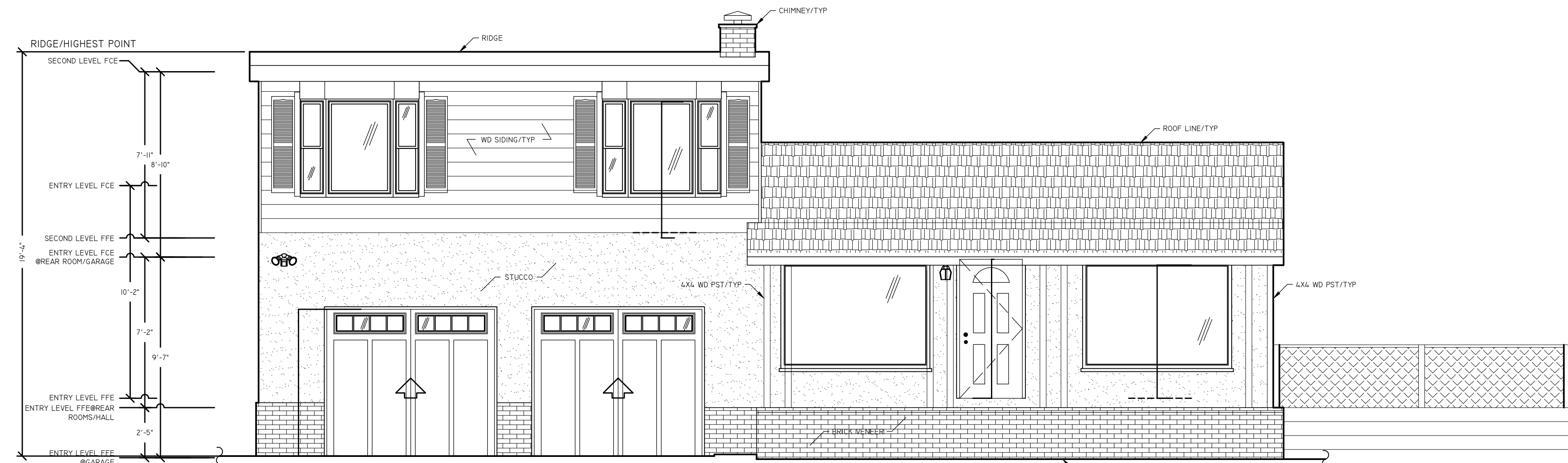
18 PROPOSED SOUTH ELEVATION
SCALE: 1/4"=1'-0"



1 PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"

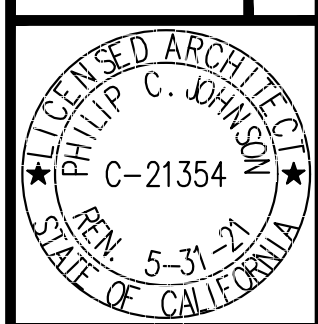


20 EXISTING SOUTH ELEVATION
SCALE: 1/4"=1'-0"



8 EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0"

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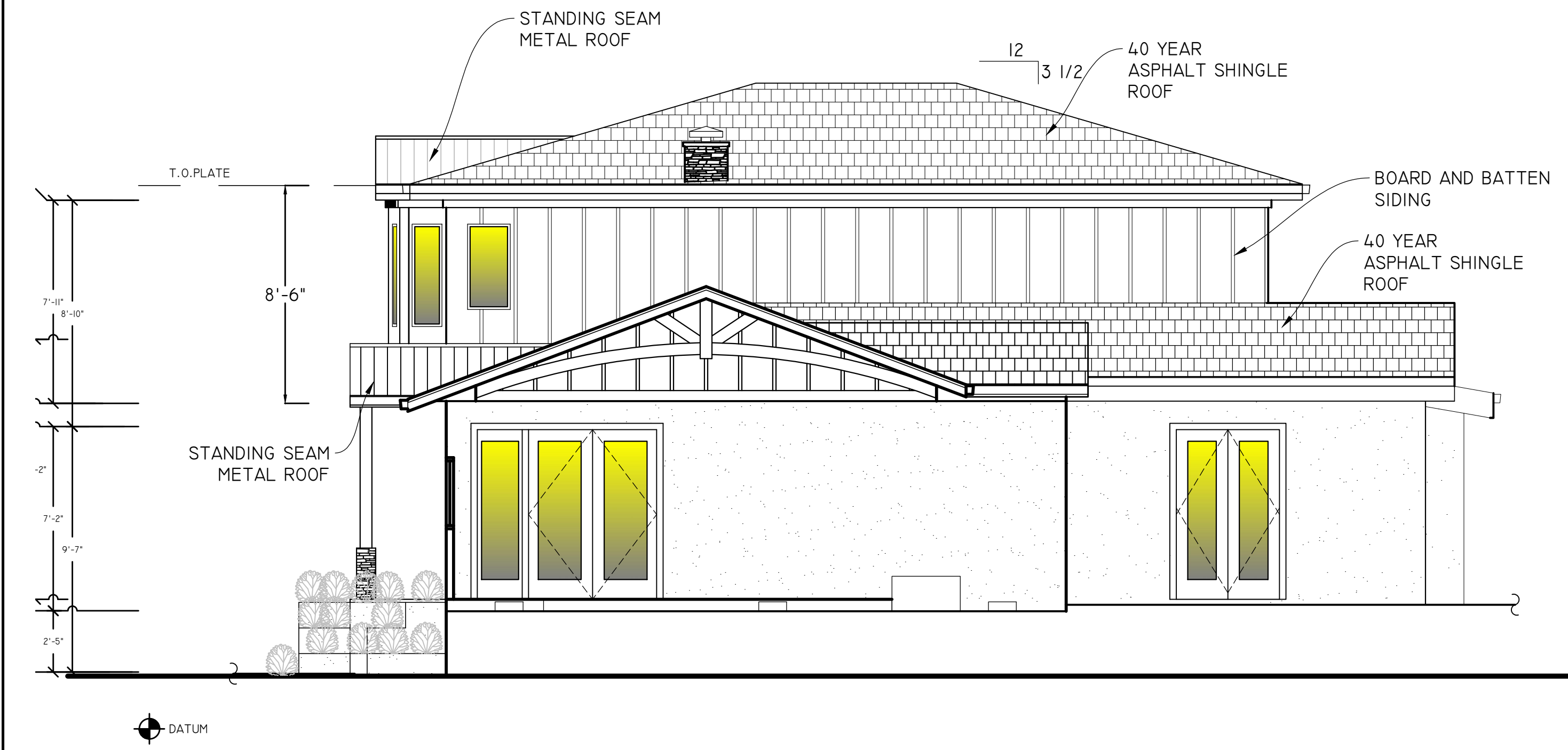
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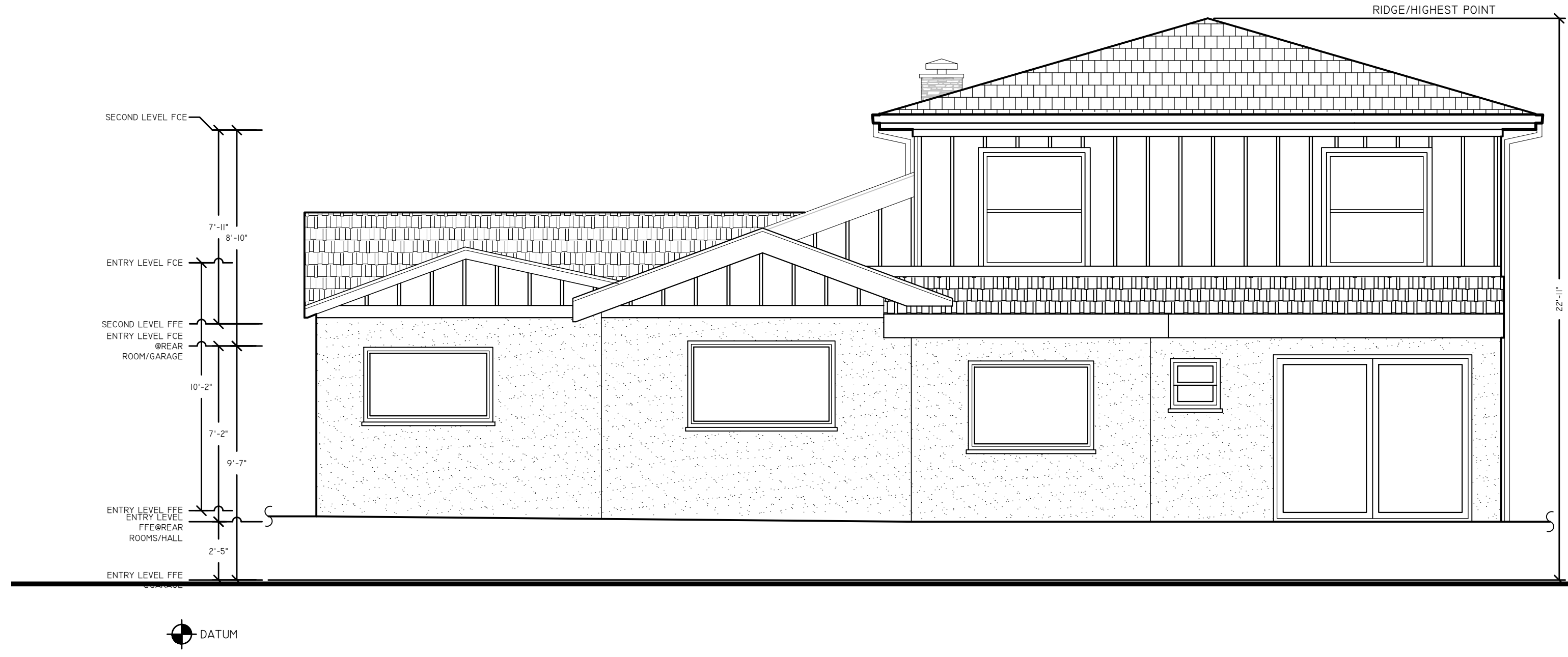
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EXISTING & PROPOSED ELEVATIONS

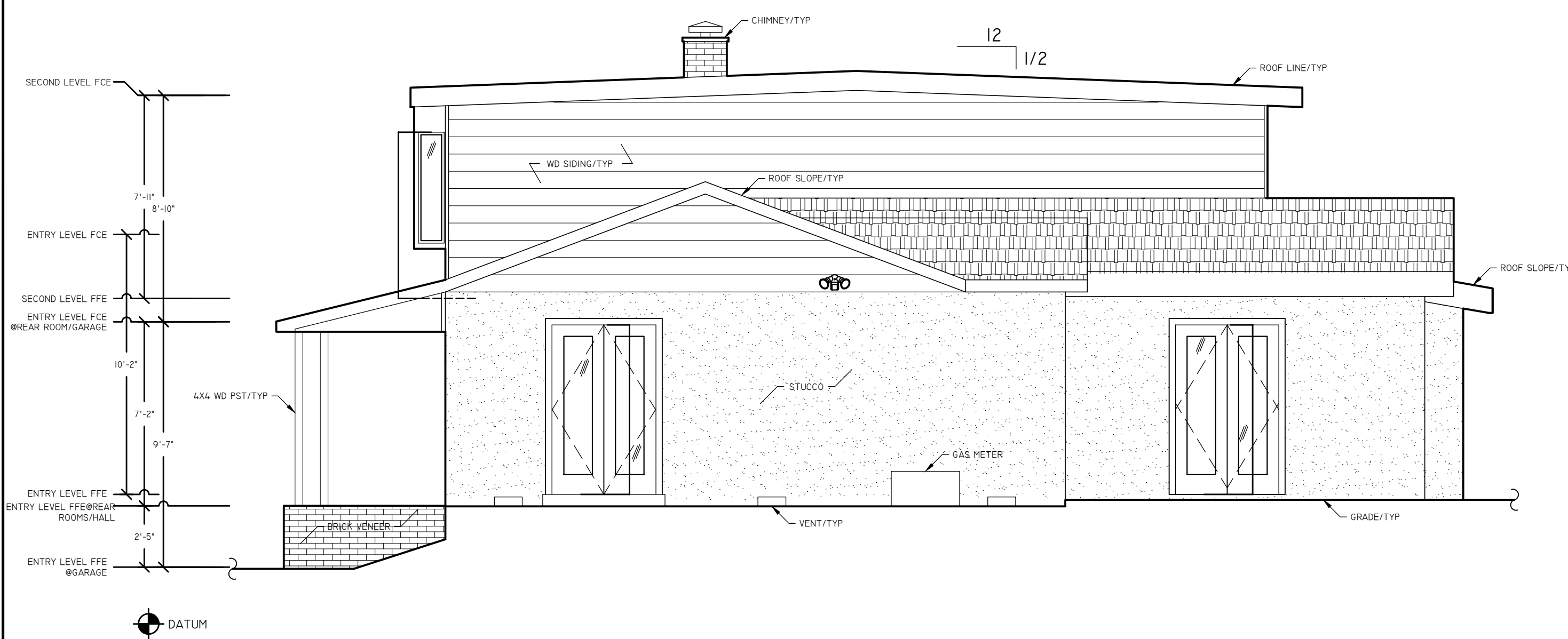
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Sheet A3.2 of Sheet



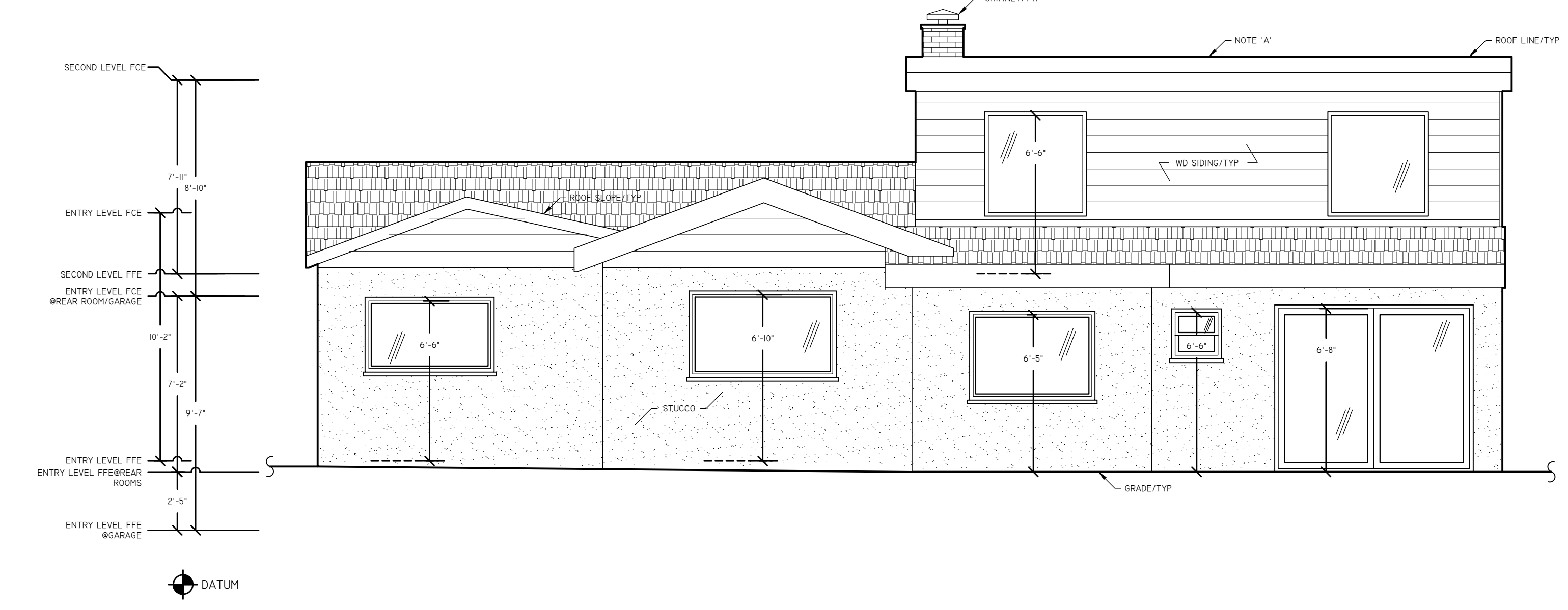
18 PROPOSED NORTH ELEVATION
SCALE: 1/4"=1'-0"



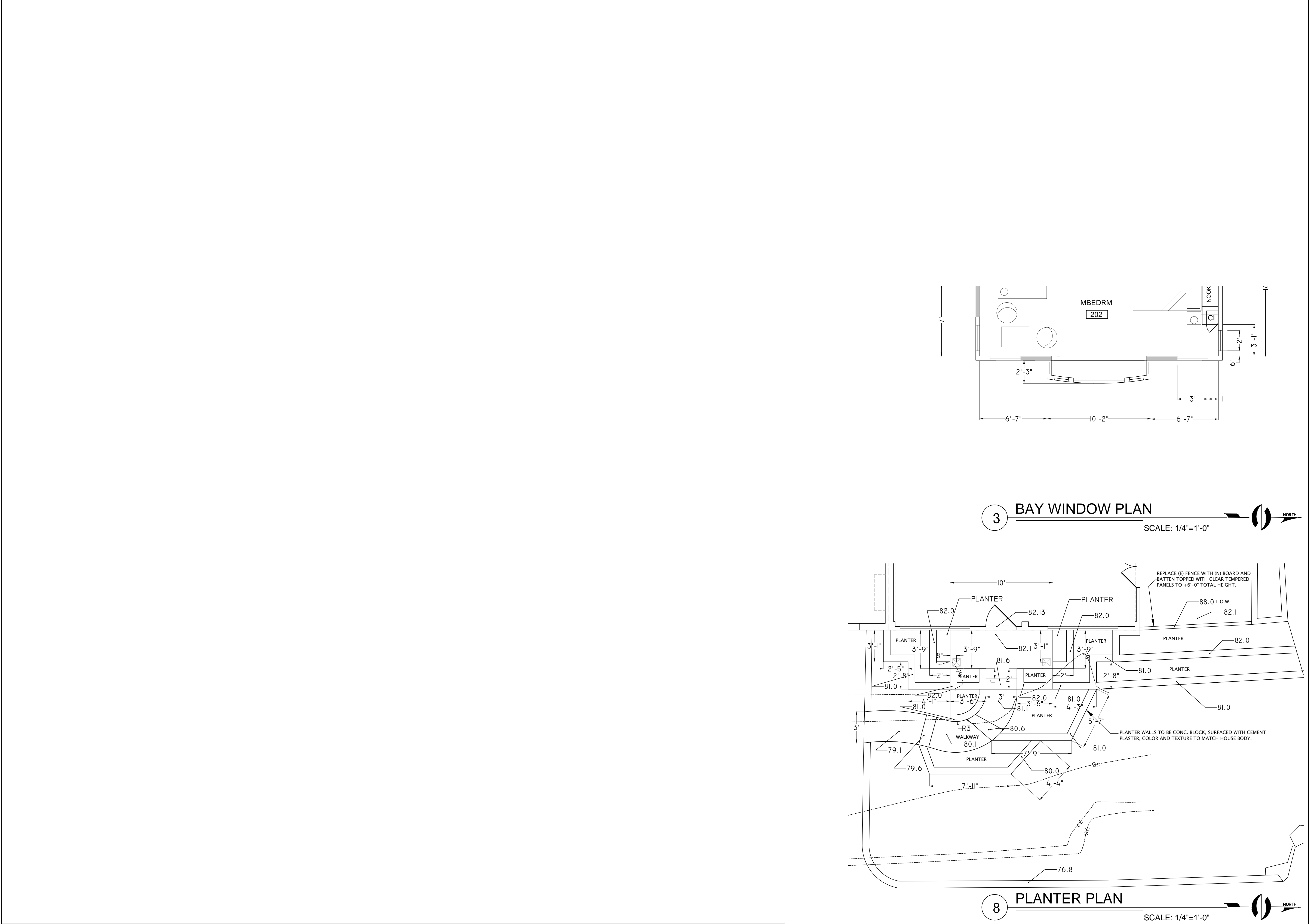
1 PROPOSED WEST ELEVATION
SCALE: 1/4"=1'-0"



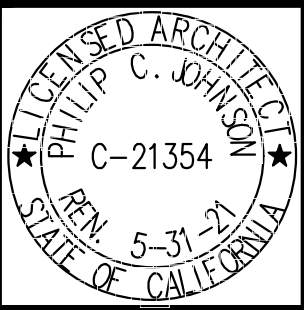
20 EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0"



8 EXISTING WEST ELEVATION
SCALE: 1/4"=1'-0"



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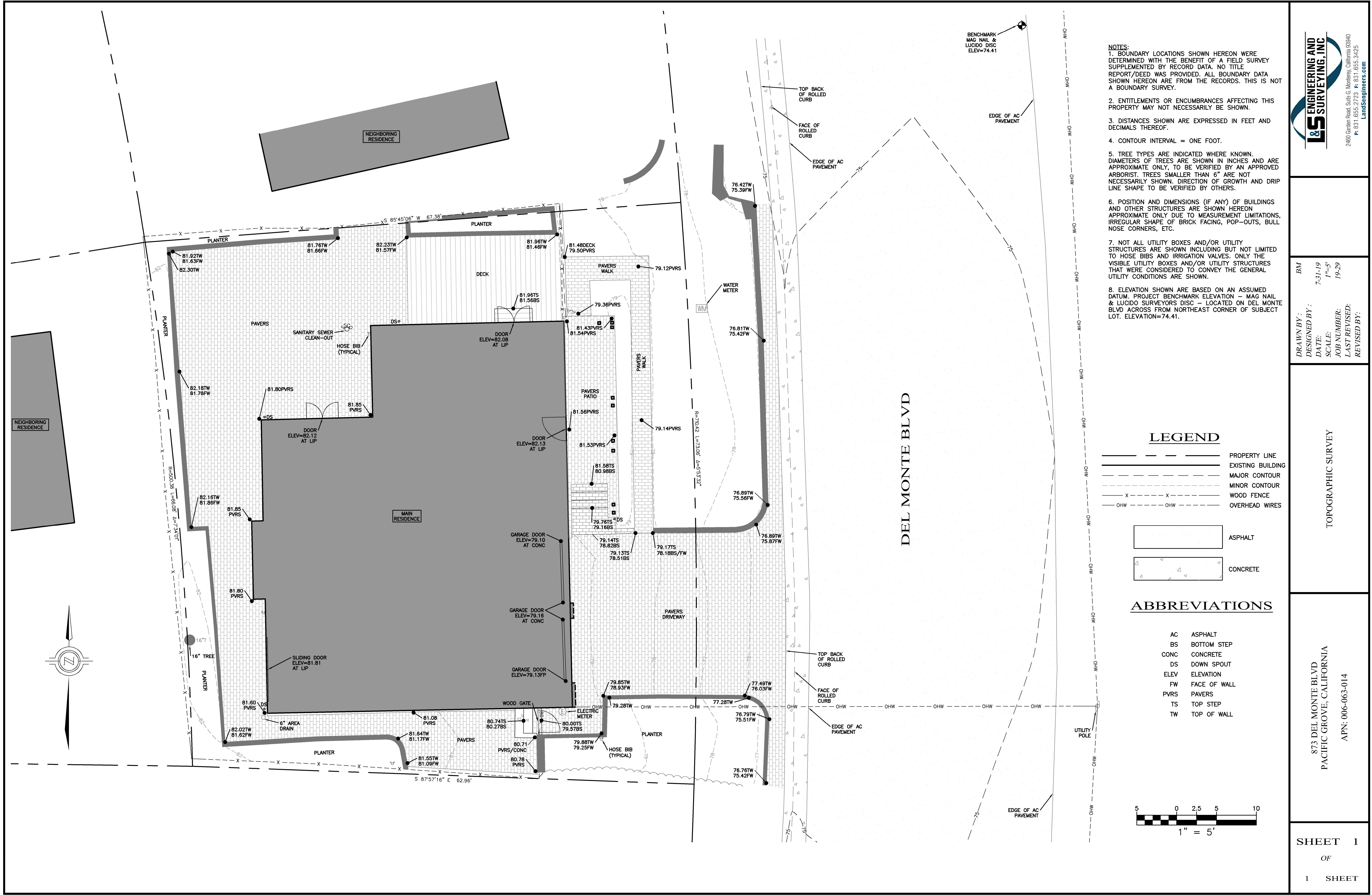
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RESIDENTIAL REMODEL FOR CEREE EBERLY
873 DEL MONTE BLVD.
PACIFIC GROVE, CALIFORNIA 93950

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ENLARGED PLOT PLANS

Date 12/1/19
Scale AS SHOWN
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Job 1905
Sheet A4.1 Or Sheet



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CITY OF PACIFIC GROVE
 300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Honorable Chair Boyle and Members of the Architectural Review Board
FROM: Laurel O'Halloran, Associate Planner
MEETING DATE: February 11, 2020
SUBJECT: Capital Improvement Projects
CEQA: Does not constitute a "Project" under California Environmental Quality Act (CEQA) Guidelines Section 15378

RECOMMENDATION

Review and complete the Capital Improvement Program Form by March 12, 2020:

DISCUSSION

Discuss project ideas for the Fiscal Year 20/21 Capital Improvement Program (CIP).

The development of the CIP is a collaborative process. Public Works for the City of Pacific Grove is requesting City Council, Boards/Commissions, and City employees to formally submit project ideas.

A Capital Improvement is defined as a property, plant, or improvement having a useful life of two or more years and a total amortized acquisition and maintenance cost of \$5,000 or more. These are non-recurring projects and often include maintenance, repairs, improvements or acquisition of City assets.

All fields are mandatory to ensure Public Works Department will have enough information to consider the project.

Process

After the submission period has closed, the City Manager, Administrative Services and Public Works Departments will review all projects from a variety of approaches and prioritize them. Subsequently, a recommended project list will be sent to the City Council for input/approval.

Please note, completing this form does not guarantee funding for the desired project.

ATTACHMENTS

A. CIP Project Submission:

<https://docs.google.com/forms/d/1U6diT6ZrPAcC6bfwY4bwOI1gzNArw8QGd3mp4HljQaY/edit>

Respectfully submitted,

Laurel O'Halloran

Laurel O'Halloran, Associate Planner