



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Chair Boyle and Members of the Architectural Review Board

FROM: Alyson Hunter, Associate Planner

MEETING DATE: May 14, 2019

PERMIT APPLICATION NO.: Architectural Permit (AP) / Accessory Dwelling Unit (ADU) / Use Permit Application No. 18-0957

LOCATION: 905 Lighthouse Ave. Pacific Grove, CA 93950
(APN 006-342-003)

SUBJECT: The proposed development includes the demolition of an existing detached garage, the remodel of and 1,050 sf addition to the existing 1926 Craftsman style residence, and a new single-car detached garage with a 550 sf ADU above. Other than an Admin. Use Permit to allow the front stairs to encroach 6' into the front yard setback, the project complies with the development standards of the R-4 zoning district.

APPLICANT: MBA Architects on behalf of Richard Gallagher, owner

ZONING/LAND USE: R-4 / Residential High Density (up to 29 dwelling units/acre)

CEQA: Categorical Exemptions, Sections 15301(l) and 15303(a), Residential Demolition and New Construction, respectively

RECOMMENDATION

Approve the project subject to the recommended findings, conditions and Classes 1 and 3 CEQA exemptions.

PROJECT DESCRIPTION

The proposed development includes the demolition of an existing detached garage, the remodel of and 1,050 sf addition to the existing 1926 Craftsman style residence that includes a 1-car garage below, and a new two-story detached, single-car garage with a 550 sf ADU above. Given the elevation above the street, the proposed front stairs will need to be located in the front yard setback. An encroachment of up to 6' is allowed with an Admin. Use Permit per Section [23.64.030](#) of the Municipal Code. Other than the encroachment into the front yard setback, the project complies with the development standards of the R-4 zoning district, including the 30' maximum height limit.

This item was discussed at and continued from the February 12, 2019, ARB Meeting to a date uncertain. The continuance was given to allow the applicant team to redesign the project so that it better fit the character of the neighborhood. This meeting has been renoticed. The complete agenda report packet with attachments can be viewed on the City's [website](#) and the meeting minutes are attached herein.

BACKGROUND

Site Description

The approximately 7,014 sq. ft. residential lot is located in an area of Lighthouse Avenue that consists of both single-family and multi-family development. The 1926 Craftsman style residence is not on the Historic Resources Inventory (HRI). In 2013, the owner requested that the Historic Resources Committee (HRC) conduct an Initial Historic Screening for the property. The HRC was unable to determine eligibility for the HRI. A Phase I Historic Assessment has subsequently been prepared by a qualified architectural historian which asserts that the property is not a historic resource.

There is a large, multi-trunk Coast live oak in the northwest corner of the property which will be retained and protected through demolition and construction activities. No tree removal is proposed in association with this project and the project includes with tree protection measures as a condition of approval.

Like many of the properties along the south side of Lighthouse Avenue, the subject property is elevated above street level and has an approximately 13% average slope with portions of the property at 25%. Given the elevation above the sidewalk and road right-of-way (ROW), steps to access the front door will need to be developed within the front yard setback and partially within the ROW. An encroachment permit is included as a condition of approval for all work within the public ROW. In order to ensure that grading and drainage requirements are met, the project is conditioned on the receipt of a Grading Permit from the City's Building Department. At less than 2,500 sq. ft. of new or modified impervious surface, however, a Tier I Stormwater Plan was not required.

Surrounding Land Uses

The parcel's immediate vicinity consists of one- and two-story, single- and multi-family residential uses on similarly-sized lots. The parcel has a 50' frontage along Lighthouse Avenue.

DISCUSSION

Applicable General Plan Policies

The Pacific Grove General Plan provides a framework for future growth and development within the City. The Land Use Element includes goals and policies that call for the orderly, well-planned, and balanced development, consistent with the historic nature of Pacific Grove, the capacity of the City's infrastructure, and ability to assimilate new growth. The City's General Plan Land Use Map designates the subject parcel as Residential High-Density. This designation provides for residential development up to 29 dwelling units per acre. This project helps the City achieve several of its housing goals as stated in the General Plan including in the Residential High-Density land use designation.

The policies of the General Plan and Housing Element are implemented through the R-4 zoning district which allows single- and multi-family development along this portion of the Lighthouse Avenue corridor. Through the addition of an ADU, the project does result in a minor increase in housing units, as supported in the Plan.

Applicable Zoning Code Regulations

The proposed project is in full compliance with the zoning regulations set forth in PGMC 23.28 (R-4). This includes and is not limited to the height limit (30'), setback requirements, and allowable site and building coverage. There is no maximum Gross Floor Area (GFA) in the R-3 and R-4 zoning districts. The project is also in compliance with the parking standards for single-family residential development in a multi-family district which requires two covered parking spaces; the proposed ADU does not require parking. This project provides two, one-car garages and some room for additional vehicles in the driveway which will be surfaced with permeable pavers.

Architecture and Design Consideration

The original submittal was for a significant remodel of an existing craftsman-style home to a very modern style home. As a result of comments made by members of the public and direction from the ARB, the applicant and his architect redesigned the project such that the resulting design enlarges the home as desired, but continues the craftsman-style features along the home's street frontage and lowers the roofline of the two-story ADU at the rear of the property.

The proposed additions to the front and rear of the existing house and the new detached garage/ADU structure continue the craftsman-style architectural features of the existing house including roof pitch, wood eave brackets, double-hung windows and stucco siding. The proposed covered front porch with vertical posts and a low-slung gable roof end help retain the original bungalow style. The proposed garage/ADU will mimic the primary residence in style and materials.

The project complies with a variety of the recommendations in the Design Guidelines, including the main guidance regarding neighborhood compatibility, relationship to site and topography, mass and scale, and the use of materials and textures.

The additions to the existing 1,180 sq. ft. residence will result in a 2,230 sq. ft. residence (including the 262 sq. ft. downstairs garage), which is compatible with many residences in the neighborhood. The two-story detached garage/ADU located to the rear of the property, approximately 100' from the front property line, will be visible from the street, but will be of a similar design and height as other properties nearby. **The highest portion of the redesigned ADU, adjacent to the south property line, is 11'11" tall which is an 11.5' reduction from the original plan.** This reduction in the ADU height and also to accommodate the lower-level garage for the primary residence will be achieved by removing approximately 206 cubic yards of material. The proposed project's massing and height fit in with the character of the neighborhood and comply with the following [Design Guidelines](#):

No. 1 The mass and height of a new building should blend well with neighboring structures and not overwhelm them with disproportionate size or a design that is out of character.

The redesigned remodel and lowered detached accessory building are compatible in mass, height and design with those residential developments in the immediate vicinity.

No. 5 The location and size of the garage should not dominate the street view of the structure.

The proposed detached two-story garage/ADU will be located to the rear of the property, approximately 100' from the street, behind the primary residence. It is sited in an area that allows for the protection and retention of the large oak tree. The redesigned primary residence does include a single-car garage door set back slightly from the face of the newly expanded front façade, but it is not out of character for the neighborhood.

No. 7 Second floor balconies and decks should be designed and located to minimize the loss of privacy for neighboring properties.

No second floor balconies are proposed for the primary residence, but the proposed ADU to be located above the new detached garage will have a small balcony on the north (front) side. This balcony will be will be 5'6" from the east property line.

No. 9 Attempt to preserve some portion of neighbors' views by carefully positioning or limiting the width, depth, or height of proposed building elements.

The originally-proposed height of the ADU was a concern of the neighbors to the south and was requested by the ARB to be reduced. The revised proposal has lowered the finished roof height to 11'11", an approximately 11.5' reduction.

No. 21 The design and siting of a dwelling should take into consideration all existing trees in order to avoid unneeded cutting and trimming.

As mentioned previously, the large Coast live oak tree in the northwest corner of the property will be retained. The project's conditions of approval include the standard tree protection requirements of Title 12 of the PGMC.

No. 28 An addition should complement and balance the overall form, mass, and composition of the existing building.

As redesigned, the front and rear additions adhere, generally, to the existing rectangular shape of the existing house. The roofline, windows, trim and architectural details will match the existing craftsman-style and complement the existing development. The reduction in height of the ADU will also soften the view from Lighthouse Avenue and will result in the maintenance of existing views enjoyed by the neighbors to the south.

Privacy Design Guidelines (Informational Bulletin No. 35) See #7 above.

Landscape & Lighting

In the R-4 zoning district, a minimum of 50% of the front yard is required to be landscaped. This has been added as a condition of approval. In compliance with Design Guidelines Nos. 10 - 12, exterior lighting will be positioned so that no direct light extends onto neighboring properties and the light fixtures will be compatible with the architectural style of the project.

Stormwater Treatment Measure

At less than 2,500 sq. ft. of change in impervious surface, the project does not require a stormwater plan or treatment of stormwater runoff.

Water

Water availability must be established prior to the issuance of a Building Permit for the proposed residence. If water is not available, the property will be added to the City's water wait list.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

In reviewing this action, the City has followed guidelines adopted by the State of California as published in California Administrative Code, Title 14, §15000, et seq. The proposed project is found to be exempt under the CEQA Guidelines Categorical Exemption, Section 15301(l)(1), Class 1, Demolition of Single-Family Residences, and Section 15303, Class 3, New Construction.

Section 15301, Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. The types of "existing facilities" itemized below are not intended to be all-inclusive of the types of projects which might fall within Class 1. The key consideration is whether the project involves negligible or no expansion of an existing use. Examples include but are not limited to:

- (l) Demolition and removal of individual small structures listed in this subdivision;
 - (1) One single-family residence. In urbanized areas, up to three single-family residences may be demolished under this exemption.

Section 15303, Class 3 consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The numbers of structures described in this section are the maximum allowable on any legal parcel. Examples of this exemption include, but are not limited to:

- (a) One single-family residence, or a second dwelling unit in a residential zone. In urbanized areas, up to three single-family residences may be constructed or converted under this exemption.

The project is not subject to the exceptions to these exemptions per Section 15300.2 of the CEQA Guidelines relating to location, cumulative impacts, significant effects, scenic highways, hazardous waste sites, or historical resources.

ATTACHMENTS

- A. Application
- B. Draft Permit
- C. CEQA Exemption
- D. Minutes from the February 12, 2019, ARB Meeting
- E. REVISED Site Plan & Elevations, Project Data Sheet, Materials Board

RESPECTFULLY SUBMITTED:

Alyson Hunter

Alyson Hunter
Associate Planner



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Application # AP ADU 18-0957
Date: 10/16/18
Total Fees: \$3,589.90

APPLICANT/OWNER:

Project Address: 905 LIGHTHOUSE AVE APN: 006 342063 000

Project Description: NEW ADDITION TO EXISTING PRIMARY RESIDENCE
REMOVE EXISTING GARAGE & CONSTRUCT NEW GARAGE
W/ SECONDARY DWELLING ON TOP

Will the project create, add, or replace impervious surface? Yes No

Will the project impact any tree(s) on site? Yes No

Applicant	Owner
Name: <u>MBA ARCHITECTS/Maia Gendreau</u>	Name: <u>DR RICHARD GALLAGHER</u>
Phone: <u>408 297-0288 X114</u>	Phone: <u>408 846-5887</u>
Email: <u>Maia@mbs-architects.net</u>	Email: <u>gallagherorthodontics@gmail.com</u>
Mailing Address: <u>1176 Lincoln Ave</u> <u>San Jose CA 95125</u>	Mailing Address: <u>939 San Benito St.</u> <u>Hollister CA 95023</u>

PLANNING STAFF USE ONLY:

Permit Request:

<input type="checkbox"/> CRD: Counter Determination	<input type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> VAR: Variance
<input checked="" type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> UP: Use Permit	<input type="checkbox"/> HPP: Historic Preservation	<input type="checkbox"/> MMP: Mitigation Monitoring
<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> AUP: Administrative UP	<input type="checkbox"/> A: Appeal	<input type="checkbox"/> Stormwater Permit
<input type="checkbox"/> ADC: Arch Design Change	<input type="checkbox"/> ADU: Acc. Dwelling Unit	<input type="checkbox"/> TPD: Tree Permit W/ Dev't	<input type="checkbox"/> Other: _____
<input type="checkbox"/> ASP: Admin Sign Permit	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> EIR: Environmental Impact	<input type="checkbox"/> Other: _____

CEQA Determination: Exempt

Initial Study & Mitigated Negative Declaration

Environmental Impact Report

Review Authority:

Staff HRC

ZA PC

SPRC CC

ARB _____

Active Permits:

Active Planning Permit

Active Building Permit

Active Code Violation

Permit #: _____

Overlay Zones:

Butterfly Zone

Coastal Zone

Area of Special Biological Significance (ASBS)

Environmentally Sensitive Habitat Area (ESHA)

Property Information

Lot: 3 Block: 311 Tract: PG Acres

ZC: R-4 GP: HD to 29 du/ac Lot Size: 7013 ±

Historic Resources Inventory Archaeologically Sensitive Area

Staff Use Only:

Received by: _____

Assigned to: _____

PAID
3583.09 + .81 = 3,589.90
11-12-18

RECEIVED
NOV 08 2018

CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

Application # NOV 08 2018

CITY OF PACIFIC GROVE
COMMUNITY DEPT

INDEMNIFICATION CONDITION

In consideration for City review and approval of application in this matter, the Owner/Applicant shall indemnify, defend, protect and hold harmless the City, its elected and appointed officials, officers, agents, and employees (collectively "Indemnitees"), using counsel approved in writing by the City, from and against, any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorneys' fees and disbursements which may accrue against Indemnitees by reason of the City's processing, approval or denial of the request and application in this matter. Indemnification shall include, but shall not be limited to any action, or proceeding brought to attack, set aside, void, annul, limit, or inhibit the approval of the application referenced above, and shall expressly include causes of action under the California Environmental Quality Act (CEQA), or the National Environmental Policy Act (NEPA).

The obligation to indemnify shall include, but not be limited to, all costs relating to preparing administrative records, investigations, responses to discovery, retention of experts, and other costs, including attorney's fees or obligations related to this matter, including actions brought by the Owner/Applicant and also extend to any expense incurred in establishing the City's right to indemnification. City expenses shall be paid by Owner/Applicant upon City request notwithstanding final disposition of the matter has not yet occurred. If the City is later determined to not be entitled to indemnification, the City shall repay amounts so advanced.

This indemnification condition is the Owner/Applicant's inducement to the City to process and approve the application, which approval would otherwise be withheld by City due to its concern for liability or expense that may result from performance of the City's duties. Should any dispute arise regarding interpretation of this condition, the prevailing party shall recover all reasonable costs incurred, including court costs, attorney fees and related expenses. Recovery of expenses shall be as additional costs awarded to the prevailing party, and shall not require initiation of a separate legal proceeding.

This indemnification condition shall not require the Owner/Applicant to indemnify the City or other Indemnitees: (a) to the extent that an obligation is actually paid by an insurer pursuant to an insurance policy; (b) in connection with any remuneration paid to the City, if it shall be finally adjudged that such remuneration was in violation of law; or (c) on account of the City's misconduct if such misconduct shall be finally adjudged to have been knowingly fraudulent, deliberately dishonest or willful.

Any permit or other approval given by the City to the Owner/Applicant Guarantor shall be valid only so long as this indemnification condition is given full force and effect. If this indemnification condition is revoked, the permit or other approval of the City shall then become null and void.

Owner/Applicant represents it (and any subsidiary) is (a) duly formed and organized, (b) validly existing and in good standing under state law, and (c) has all necessary power to execute and deliver this document and perform its obligations. Owner/Applicant also represents it is authorized to enter into this agreement by all requisite partnership, corporate or other action, and its terms are a valid and legally binding obligation. Neither execution nor delivery of this document nor performance of its obligations will violate any law or provision of any agreement, articles of incorporation, by-laws or other organizational or governing documents relating to Owner/Applicant, nor conflict with any court order relating to Owner/Applicant.

Applicant Signature: Maria Garcia

Date: 6 NOV 2018

Owner Signature (Required): Phil R. Lynn

Date: 2 NOV 2018



CITY OF PACIFIC GROVE
Community Development Department – Planning Division
 300 Forest Avenue, Pacific Grove, CA 93950
 Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Application #

AP
ADU 18-0957

RECEIVED

NOV 08 2018

Planning Permit Fee Calculation

Permit	Select	Fee
Architectural Permit – Single Family	<input checked="" type="checkbox"/>	\$2,921
Administrative Architectural Permit	<input type="checkbox"/>	\$844
Architectural Design Change	<input type="checkbox"/>	\$844
Counter Review & Determination – no new square footage	<input type="checkbox"/>	\$90
Counter Review & Determination – new square footage	<input type="checkbox"/>	\$451
Initial Historic Screening	<input type="checkbox"/>	\$432
Sign Permit	<input type="checkbox"/>	\$1,008
Administrative Sign Permit	<input type="checkbox"/>	\$345
Use Permit and Amendments – Single Family	<input type="checkbox"/>	\$1,753
Major Administrative Use Permit	<input type="checkbox"/>	\$1,133
Minor Administrative Use Permit	<input type="checkbox"/>	\$1,116
Variance and Amendment	<input type="checkbox"/>	\$2,438
Administrative Variance and Amendment	<input type="checkbox"/>	\$1,363
Inquiry Fee	<input type="checkbox"/>	\$149
Historic Preservation Permit	<input type="checkbox"/>	\$1,307
Accessory Dwelling Unit Permit	<input type="checkbox"/>	\$1,544
Tree Permit with Development	<input type="checkbox"/>	\$260
Appeal	<input type="checkbox"/>	25% of base permit fee or \$1,000 whichever is greater plus noticing costs

Additional Fees

General Plan Update Fee	5% of Permit Fee	<input checked="" type="checkbox"/>	146.05
CEQA Exemption Fee	\$266	<input checked="" type="checkbox"/>	266
Butterfly Buffer Zone	5% of Permit Fee	<input type="checkbox"/>	
Coastal Zone	25% of Permit Fee	<input type="checkbox"/>	
Area of Special Biological Significance	5% of Permit Fee	<input checked="" type="checkbox"/>	146.05
Environmentally Sensitive Habitat Area	15% of Permit Fee	<input type="checkbox"/>	
Noticing – Mailings	\$0.48 * (# of Mailings)	<input checked="" type="checkbox"/>	4.80
Noticing – Herald Ad	\$334	<input type="checkbox"/>	
Stormwater Fee	Varies	<input type="checkbox"/>	
County filing fee	Varies	<input checked="" type="checkbox"/>	50
File maintenance fee	Varies	<input checked="" type="checkbox"/>	50
Other	Varies	<input type="checkbox"/>	

Total Fees: \$3,583.90



CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.cityofpacificgrove.org

ARCHITECTURAL PERMIT (AP), ACCESSORY DWELLING UNIT PERMIT (ADU), AND ADMIN. USE PERMIT (AUP) 18-0957 FOR THE REMODEL OF AND ADDITION TO AN EXISTING RESIDENCE, DEMOLITION OF AN EXISTING GARAGE, AND DEVELOPMENT OF A NEW DETACHED ONE-CAR GARAGE WITH A SECOND-STORY ADU AT 905 LIGHTHOUSE AVENUE. THIS ITEM WAS CONTINUED FROM THE FEBRUARY 12, 2019, MEETING OF THE ARCHITECTURAL REVIEW BOARD.

FACTS

1. The subject site is located at 905 Lighthouse Avenue, Pacific Grove, 93950 (APN 006-342-003)
2. The subject site has a designation of Residential High Density on the adopted City of Pacific Grove General Plan Land Use Map. This designation allows a density up of to 29 dwelling units per acre.
3. The project site is located in the Residential Multi-Family zoning district (R-4).
4. The subject site is approximately 7,014 sq. ft. in size.
5. The subject site is currently developed with an approximately 1,180 sq. ft. residence and a detached 336 sq. ft. garage.
6. The subject site is not located in the Coastal zone, the Archaeological sensitivity zone, nor is it included on the City's Historic Resources Inventory, but it is within the Area of Special Biological Significance.
7. The existing development received a recommendation of “determination of ineligibility cannot be made” by the Historic Resources Committee (HRC) in August 2013. As a result, the owner had a Phase I Historic Assessment conducted by a qualified historian which resulted in a finding of ineligibility for the HRI.
8. This project has been determined to be CEQA Exempt under CEQA Guidelines, Section 15301(l), Residential Demolition, and Section 15303(a), New Residential Development.

FINDINGS

Architectural Permits are subject to the following findings per PGMC Section 23.70.060(f):

1. The architecture and general appearance of the completed project are compatible with the neighborhood;
2. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood; and
3. The board has been guided by and has made reference to applicable provisions of the architectural review guidelines in making its determinations on the structure.

The design's style and materials, and site layout are in substantial conformance to the City's Residential Design Guidelines, specifically Nos. 1, 5, 7, 9, 21, and 28 relating to the site's natural setting, high quality materials and finishes, and neighborhood compatibility, and Nos. 10-12 relating to exterior lighting.

Detached Accessory Dwelling Units (ADUs) are subject to the development standards per PGMC [Section 23.80.060](#) which does not include specific findings.

Administrative Use Permits (AUP) are subject to the following findings per [PGMC 23.70.030](#):

- (A) The proposed development conforms to the applicable provisions of the general plan, the local coastal program, any applicable specific plan, and these regulations;
- (B) The proposed development is located on a legally created lot;
- (C) The subject property is in compliance with all laws, regulations, and rules pertaining to uses, subdivision, setbacks, and any other applicable provisions of this municipal code, and all applicable zoning violation enforcement and processing fees have been paid; and
- (D) The proposed development is in compliance with all citywide permits, including, but not limited to, the National Pollutant Discharge Elimination System (NPDES) permit.

But for the exception to allow the front stairs to encroach up to 6' into the front yard setback as permitted through this issuance of an AUP, the proposed demolition and new construction are in compliance with the development standards of the R-4 zoning district and general plan.

PERMIT

Architectural Permit / Accessory Dwelling Unit / Admin. Use Permit 18-0957: The proposed development includes the demolition of an existing detached garage, the remodel of and 1,050 sf addition to the existing 1926 Craftsman style residence, and a new single-car detached garage with a 550 sf ADU above. Other than an AUP to allow the front stairs to encroach 6' into the front yard setback, the project complies with the development standards of the R-4 zoning district.

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Demolition Permit.** A demolition permit from the Building Department is required prior to any demolition activities on the site.
3. **Encroachment Permit.** All work within the public road right-of-way shall be completed in compliance with an approved encroachment permit issued by the Building Department.
4. **Uncovered Stairs in Front Yard Setback.** The front stairs may encroach up to 6' into the front yard setback in accordance to the issuance of an Administrative Use Permit.
5. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
6. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the Community and Economic Development Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
7. **Archaeological Resources.** If archaeological resources or human remains are unexpectedly discovered during construction, work shall be halted on the project parcel until it can be evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated, with the approval of the lead agency, and implemented.
8. **Rock Wall.** The existing rock wall along the front property line shall be retained and repaired as feasible.
9. **Tree Protection Standards During Construction.** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction and submit a report to the City Arborist for review and approval.

- 10. **Grading Permit.** The applicant shall prepare an engineered grading plan for submittal to the Building Department. The plan shall include the depository for the any cut materials that will not be used elsewhere onsite.
- 11. **Landscaping.** Prior to the final Planning inspection, the application shall provide a landscaping plan for a minimum of 50% of the front yard as required by PGMC §23.24.060. The plan shall include the plant palette, irrigation, and maintenance schedule. The plan shall refer to the City’s [Landscape Guidelines & Planting Palette](#).
- 12. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way, including the development of a new residential driveway and the relocation of the existing PG&E guy wires, shall require an encroachment permit prior to issuance of the building permit.
- 13. **Building Plans.** All conditions of approval for the Planning Permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.
- 14. **Exterior Lighting.** All exterior lighting fixtures shall conform to Architectural Review Guidelines #10-#12.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

- 1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
- 2. The Board authorizes Approval of Architectural Permit (AP) / Accessory Dwelling Unit (ADU) 18-0957 through the adoption of CEQA Guidelines Categorical Exemptions, Section 15301(1), Class 1, Demolition of Single-Family Residences, and Section 15303(a), Class 3, New Construction.
- 3. This permit shall become effective upon the expiration of the 10-day appeal period.
- 4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

PASSED AND ADOPTED AT A REGULAR MEETING OF THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE ON THE 14th DAY OF MAY, 2019, BY THE FOLLOWING VOTE:

AYES:

NOES:

ABSENT:

ABSTENTIONS:

APPROVED: _____

Sarah Boyle, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Richard Gallagher, owner

Date



CITY OF PACIFIC GROVE

Community and Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950
T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

NOTICE OF EXEMPTION FROM CEQA

Property Address/Location: 905 Lighthouse Avenue, Pacific Grove, CA 93950

File No. AP/ADU 18-0957

APN: 006-342-003

Project Description: The proposed development includes the demolition of an existing detached garage, the remodel of and 1,050 sf addition to the existing 1926 Craftsman style residence, and a new single-car detached garage with a 550 sf ADU above. The project complies with the development standards of the R-4 zoning district.

ZC: Residential Multi-Family (R-4) **GP:** High Density Residential (up to 29 du/ac) **Lot Size:** 7,013.74 sq. ft.

Applicant/Owner Name: Richard Gallagher, DDS
Phone #: 408-846-5887
Mailing Address: 939 San Benito St., Hollister, CA 95023
Email Address: gallagherorthodontics@gmail.com

Public Agency Approving Project: City of Pacific Grove, Monterey County, California

Exempt Status (Check One):

- Ministerial (Sec. 21080(b)(1):15268))
- Declared Emergency (Sec. 21080(b)(3): 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption

Type and Section Number: Class 1, Section 15301 and Class 3, Section 15303

- Statutory Exemptions
Type and Section Number: _____
- Other: _____

Exemption Findings:
Section 15301 for (l) Demolition and removal of individual small structures listed in this subdivision; and (1) One single-family residence. In urbanized areas, up to three single-family residences may be demolished under this exemption.

Section 15303(a) for one single-family residence, or a second dwelling unit in a residential zone. In urbanized areas, up to three single-family residences may be constructed or converted under this exemption.

The project does not qualify for any of the following exceptions to the exemptions, Section 15300.2: location, cumulative impact, significant effect, scenic highways, hazardous waste sites or historical resources.

Contact: Alyson Hunter, Associate Planner

Contact Phone: (831) 648-3127

Signature:

Date: May 15, 2019



MINUTES

CITY OF PACIFIC GROVE ARCHITECTURAL REVIEW BOARD REGULAR MEETING MINUTES

4:00 p.m., February 12, 2019

Council Chambers – City Hall – 300 Forest Avenue, Pacific Grove, CA

1. Called to Order – 4:02 pm

2. Roll Call

Architectural Review Board Members Present: Sarah Boyle, Jeff Edmonds, Michael Gunby, Terrence Coen, Garrett Van Zantan

Absent: Jen Veitengruber

3. Election of Officers: Chair, Vice-Chair and Secretary

Staff Reference: Alyson Hunter, Associate Planner

CEQA: Does not constitute a “Project” as defined by CEQA Guidelines Section 15378

Member Edmonds nominated Member Boyle for Chair, seconded by Member Gunby. The Board voted 5-0-1 (Member Veitengruber absent) to elect Member Boyle as Chair.

Motion passed.

Member Gunby nominated Member Edmonds for Vice Chair, seconded by Member Coen. The Board voted 5-0-1 (Member Veitengruber absent) to elect Member Edmonds as Vice-Chair

Motion passed.

Chair Boyle nominated Member Gunby for Secretary, seconded by Member Coen. The Board voted 5-0-1 to elect Member Gunby as Secretary.

Motion passed.

4. Approval of Agenda

On a motion by Member Gunby, seconded by Member Edmonds, the Board voted 5-0-1 (Member Veitengruber absent) to approve the agenda.

Motion passed.

5. Approval of Minutes

a. Approval of January 8, 2019 Minutes

Recommended Action: Approve as presented

On a motion by Member Edmonds, seconded by Member Gunby, the Board voted 5-0-1 (Member Veitengruber absent) to approve the minutes.

Motion passed.

6. Public Comments

a. Written Communications

None

b. Oral Communications

Lisa Ciani – Staff Reports and Historic Preservation Ordinance

Betty Aecklin – Requests ARB members be present for a Zoning Administrator hearing.

Mary Ann Larson Spradling – Voices support of Ms. Aecklin.

7. Reports of Council Liaison

Mayor Peake provided an update on actions taken by the City Council during its most recent meeting.

8. Consent Agenda

a. Address: 642 Hillcrest Avenue (APN 006-652-015)

Application #: Use Permit (UP) / Admin. Architectural Permit (AAP) 18-0993

Description: A recommendation from the ARB to the Planning Commission is needed for exterior and interior alterations to, as well as for a change in use of, an existing detached accessory building in excess of 120 sq. ft. in size. No changes to the existing building are proposed at this time. This review will assist in legitimizing alterations that have occurred in the recent past without the benefit of review.

On a motion by Chair Boyle, seconded by Member Edmonds, the Board voted 5-0-1 (Member Veitengruber absent) to approve the Consent Agenda.

9. Regular Agenda

Members of the public are welcome to offer their comments on any of the following items after being recognized by the Chair. Presentations will be limited to three minutes, or as otherwise established by the Commission Chair. Persons are not required to give their name or address, but it is helpful for speakers to state their name in order that they are identified in the minutes.

a. Address: 246 Forest Avenue (APN 006-281-008)

Application #: Architectural Permit (AP) 18-0733

Description: The proposed project is for the development of two, two-bedroom residential units above the Mum's Place commercial building located at 246 Forest Avenue. The two units will total ± 2,783 sq. ft. and will be located at the rear one-third of the building overlooking 16th Street. One onsite parking space will be provided in the existing garage. Additional access improvements on the 16th Street side are included as is the return of an in-fill window on the Forest Ave. façade to match the other existing windows. Although this building is not on the City's Historic Resources Inventory, it is considered a historic resource given its age and remaining original architectural features. A Phase II Historic Assessment was prepared by a qualified historian which indicates that the project will retain the building's existing character-defining features and will be undertaken in substantial conformance to the Secretary of the Interior's Standards for Rehabilitation.

Alyson Hunter, Associate Planner, provided a staff report and answered the Board's questions.

Jeanne Byrne, the project Architect presented the project and answered the Board's questions

The Chair opened the floor to public comments.

Lisa Ciani spoke in opposition to the proposed CEQA Exemption, and asked that the project be reviewed by the Historic Resources Committee.

Rick Steres spoke in favor of the project.

Anthony Ciani recommended changes be made to the design to respect the historicity of the building.

Frank Pierce spoke on the proposed CEQA Exemption findings.

The Chair closed the floor to public comment.

The Board discussed the item.

On a motion by Member Gunby, seconded by Member Coen, the Board voted 5-0-1 (Member Veitengruber absent) to approve the project with a change to the required number of parking permits, subject to findings, and Class 1 and Class 31 CEQA Exemptions.

Motion passed.

b. Address: 945 Jewell Avenue (APN 006-131-005)

Application #: Architectural Permit (AP) 18-0946

Project Description: An 808 sq. ft. addition to the rear of an existing 1,080 sq. ft. single-story residence. The ± 11,740 sq. ft. parcel is developed with a detached one-car garage, a small shed, and several trees, all of which will remain. All development standards of the R-1 zoning district will be met. No tree removal is proposed.

Alyson Hunter, Associate Planner, provided a staff report.

Aaron Tollefson, the project applicant, spoke on the project and answered the Board's questions.

The Chair opened the floor to public comment.

Lisa Ciani asked for the project to be reviewed by the Historic Resources Committee, and also asked for a tribal monitor to be present during ground disturbing activities and for tree protection during construction.

The Chair closed the floor to public comment.

The Board discussed the item.

The Chair reopened the floor to public comment.

Paul Ratto, the property owner spoke to the tree protection requirements.

The Chair closed the floor to public comment.

The Board discussed the item.

On a motion by Member Gunby, seconded by Member Edmonds, the Board voted 5-0-1 (Member Veitengruber absent) to approve the project, subject to findings, Class 1 and 31 CEQA Exemptions, with an added condition to have a tribal monitor present during ground disturbing activities.

Motion passed.

c. Address: 909 Egan Avenue (APN 006-092-009)

Application #: Architectural Permit (AP) / Tree Permit (TP-D) 18-0896

Description: The project consists of a residential remodel including the demolition of a portion of the rear of the existing two-story house, a 176 sq. ft. attached replacement structure, and a new second-story deck of 77 sq. ft. on the northwest corner of the house to match the existing second-story deck on the northeast corner. The project includes removal of one (1) 19" diameter non-native holly tree which is regulated by Title 12 of the PGMC. The project meets all of the development standards of the R-1 zoning district.

Alyson Hunter, Associate Planner, provided a staff report.

Doug Howe, the project Architect, presented and answered Board Member's questions.

The Chair opened the floor to public comment.

Lisa Ciani asked for additional conditions to be imposed on the project.

The Chair closed the floor to public comment.

The Board discussed the item.

On a motion by Member Gunby, seconded by Chair Boyle, the Board voted 5-0-1 (Member Veitengruber absent) to approve the project with an added condition requiring a tribal monitor during ground disturbing activities, subject to Findings, modified Conditions of Approval, and Class 1 CEQA Exemption.

Motion passed.

d. Address: 905 Lighthouse Avenue (APN 006-342-003)

This item was continued from the January 8, 2019, ARB meeting.

Application #: Architectural Permit (AP) / Accessory Dwelling Unit (ADU) 18-0957

Description: The project consists of the demolition of an existing detached garage, the remodel of and 1,284 sf addition to an existing 1926 Craftsman style residence, and a new single-car detached garage with a 550 sf ADU above. The project complies with the development standards of the R-4 zoning district.

Alyson Hunter, Associate Planner, provided a staff report.

Maia Gendreau, the Project Architect, and Rich Gallagher, the owner, presented the project and answered the Board's questions.

Jim Bustillo spoke in opposition to the project.

Lisa Ciani spoke in opposition to the project.

Joy Calangelo spoke in favor of the project.

A neighbor spoke in opposition of the project.

Karen Bustillo spoke in opposition of the project.

The Chair closed the floor to public comment.

The Board discussed the item.

On a motion by Member Gunby, seconded by Edmonds, the Board voted 5-0-1 (Member Veitengruber absent) to continue the item to a future meeting to allow the project applicant to revise the height of the proposed Accessory Dwelling Unit and to design the primary residence façade to be more sympathetic to the neighborhood.

Motion passed.

10. Reports of ARB Members

Member Gunby provided an update on the Downtown Design Guidelines subcommittee.

Chair Boyle welcomed the newest member of the Architectural Review Board, Garrett Van Zantan.

11. Staff Update

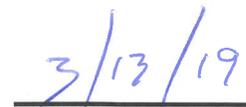
Anastazia Aziz, Principal Planner, provided a status report on the Historic Resources Inventory update.

12. Adjournment – 6:04p.m.

APPROVED BY ARCHITECTURAL REVIEW BOARD



Michael Gunby, Secretary



Date

ABBREVIATIONS

AB	ANCHOR BOLT	LF	LINEAL FOOT
AC	ASPHALTIC CONCRETE	LG, L	LONG LOCKER
ACUST	ACOUSTICAL	LT	LIGHT
ADD	ADDENDUM	MAX	MAXIMUM
ADJ	ADJUSTABLE	MB	MACHINE BOLT
AGOR	AGGREGATE	MC	MEDICINE CABINET
AHJ	AUTHORITIES HAVING JURISDICTION	MFG	METAL MANUFACTURE(R)
ALT	ALTERNATE	MEMB	MEMBRANE
ALUM	ALUMINUM	MET	METAL
APPROX	APPROXIMATELY	MFG	MANUFACTURE(R)
ARCH	ARCHITECT	MS	MANHOLE
∠	ANGLE	MI	MALLEABLE IRON
BO	BOARD	MIN	MINIMUM
BLDG	BUILDING	MIR	MIRROR
BLK(G)	BLOCKING	MISC	MISCELLANEOUS
BM	BEAM	M.O.	MASONRY OPENING
BOT	BOTTOM	MTD	MOUNTED
BOV	BACK OF VALVE	MUL	MULLION
B.S.L.	BUILDING SETBACK LINE	N	NORTH
B.S.P.L.	BACKSPLASH	NEW	NEW
BTU	BETWEEN	NEC	NATIONAL ELECTRIC CODE
B.W.R.	BUILT-UP ROOFING	N.I.C.	NOT IN CONTRACT
B.W.	BOTH WAYS	NO.	NUMBER
CAB	CABINET	NGM	NOMINAL
CAL.	CLEAR ALL HEART	N.T.S.	NOT TO SCALE
CB	CATCH BASIN, CORNER BEAD	O	OVER
C.B.C.	CALIFORNIA BUILDING CODE	O.A.	OVERALL
C.C.	CENTER TO CENTER	OBSCURE	OBSCURE
C.C.R.	CALIFORNIA CODE OF REGULATION	O.C.	ON CENTER
CEM	CEMENT	O.D.	OUTSIDE DIMENSION (DIA)
CI	CAST IRON	OFF	OFFICE
C.J.	COLD JOINT, CONTROL JOINT	OH	OVERHEAD, OVERHANG
CL	CELLING	OPG	OPENING
CLKG	CAULKING	OPF	OPPOSITE
CLO	CLOSET	OZ	OUNCE
CLR	CLEAR	PC	PLUMBING CONTRACTOR
C.M.C.	CALIFORNIA MECHANICAL CODE	P.F.B.	PLASTIC FINISH BOARD
C.M.P.	CORRUGATED METAL PIPE	P.L.E.	PLATE, PROPERTY LINE
CMU	CONCRETE MASONRY UNIT	PLASTER	PLASTER
COL	COLUMN	PLYUD	PLYWOOD
CONC	CONCRETE	POL	POLISHED
CONN	CONNECTION	PR	PAPER
CONSTR	CONSTRUCTION	PRECAST	PRECAST
CONT	CONTINUOUS	PT	POINT
C.O.N.C.	CALIFORNIA OFFICE OF NOISE CONTROL	P.T.D.	PAPER TOL, TOILET DISPENSER
C.O.T.A.	CLEANOUT TO GRADE	P.T.D.F.	PRESURE TREATED DOUGLAS FIR
C.P.C.	CALIFORNIA PLUMBING CODE	P.T.D./R	COMBINATION P.T.D. & P.T.R.
CPT	CARPET	PTN	PARTITION
C.T.	CERAMIC TILE	P.T.R.	PAPER TOL, RECEIPTABLE
CTR	CENTER	P.U.E.	PUBLIC UTILITY EASEMENT
CRK	COUNTERSINK	GT	QUARRY TILE
CJ	CONDENSING UNIT CENTERLINE	R	RISER
D	DRYER	R.A.	RETURN AIR
DBL	DOUBLE	RAD	RADIUS
DET	DETAIL	RAG	RETURN AIR GRILLE
D.F.	DOUGLAS FIR	RCF	REINFORCED CONCRETE PIPE
D.F.	DRINKING FOUNTAIN	R.D.	ROOF DRAIN
DIA.	DIAMETER	REF	REFERENCE
D.I.A.G.	DIAGONAL	REINFORCING	REINFORCING
DIM	DIMENSION	RES	RESINOUS FLOORING
D.I.S.P.	DISPENSER, DISPOSER	RET	RETAINING
DN	DOWN	REQ	REQUIRED
DO	DOOR	RESIL	RESILIENT
DR	DOOR	REFR	REFRIGERATOR
D.S.	DOWN SPOUT	REG	REGISTER
DW	DISHWASHER	RF	ROUGH
DWG	DRAWING	R.O.	ROUGH OPENING
DWR	DRAWER	RS	REGAIN
E	EAST	RUL	RAINWATER LEADER
E.A.	EACH	RWD	RIGHT OF WAY
E.J.	EXPANSION JOINT	S	SOUTH
ELEC	ELECTRICAL	SAD	SEE ARCHITECTURAL DWGS.
EL	ELEVATION	SD	SEE STRUCTURAL DRAWINGS
ELEV	ELEVATOR	S.A.S.	SUPPLY AIR REGISTER
EMER	EMERGENCY	S.B.M.	SELF-ADHERED SHEET MEMBRANE
EN	EDGE NAILING	SC	SOLID CORE
ENCL	ENCLOSURE	S.C.D.	SEAT COVER DISPENSER
EQ	EQUAL	S.D.	SOAP DISPENSER
E.Q.P.	EQUIPMENT	SECT	SECTION
EWIC	ELECTRIC WATER COOLER	SF	SQUARE FEET
EW	EACH WAY	SH	SHELF
EXIST	EXISTING	SHR	SHOWER
EXP	EXPANSION	SHT	SHEET
EXPD	EXPOSED	SHTG	SHEATHING
EXT	EXTERIOR, EXTENSION	SPL	SPILLAR
FA	FIRE ALARM	S.S.	SHEETMETAL SCREWS
FAU	FORCED AIR UNIT	SND.	SANITARY NAPKIN DISPENSER
FB	FLAT BAR	SNK	SANITARY NAPKIN RECEPTACLE
FC	FRAMING CLIP	S.O.V.	SHUT-OFF VALVE
F.C.O.	FLOOR CLEANOUT	S.P.	SHELF & POLE
F.D.	FLOOR DRAIN	SQ	SQUARE
FDC	FIRE DEPT. CONNECTION	S.S.	SELECT STRUCTURAL
F.F.	FIRE EXTINGUISHER	SS	STAINLESS STEEL
FFA	FREE FLOW AREA	ST	STREET
FGL	FIXED GLASS	STA	STATION
FN	FINISH	STD	STANDARD
FL	FLOOR	STL	STEEL
FLASH	FLASHING	STO	STORAGE
FLUOR	FLUORESCENT	STR	STRUCTURAL
F.O.C.	FACE OF CONCRETE	SUSP	SUSPENDED
F.O.F.	FACE OF FINISH	SV	SHEET VINYL FLOORING
F.O.H.	FACE OF MASONRY	SHK	SHED
F.O.S.	FACE OF STUD	SYM	SYMMETRICAL
F.O.	FINISHED OPENING	T	TEMPERED
FR	FIREPROOF	T.S.	TEMPERED TOILET, BASK
FR.T.	FIRE RETARDANT TREATED	T + B	TOP & BOTTOM
FRG.	FOOTING	T.C.	TOP OF CURB
FT	FOOT	TEL	TELEPHONE
FUR	FURRING	TER	TERMINAL
FUT	FUTURE	TER	TERMINAL
GA	GALVE	T + G	TOP & GROOVE
GAL	GALLON	TH	THRESHOLD
GALV	GALVANIZED	THK	THICK
G.B.	GRAB BAR	T.O.P.	TOP OF PLATE
GLB	GULLY CLEAN	T.O.P.	TOP OF PAVEMENT
GL	GLASS	T.P.D.	TOILET PAPER DISPENSER
GND	GROUND	TRO	TREAD
GR	GRADE	T.S.	TUBULAR STEEL
GSM	GALVANIZED SHEET METAL	T.S.B.	TOP-SET BASE
GWB	GYPSON WALLBOARD	T.V.	TELEVISION
GYP	GYPSON	TW	TOP OF WALL
H.B.	HOLE CORE	TYP	TYPICAL
H.C.	HOLLOW CORE	UNF	UNFINISHED
H.D.	HOLD DOWN	UNL	UNLESS NOTED OTHERWISE
HDR	HARDWARE	UR	URINAL
HDR	HEADER	V.C.P.	VITRIOUS CLAY PIPE
HGT	HEIGHT	V.C.T.	VINTYL COMPOSITION TILE
H.M.	HOLLOW METAL	VERT	VERTICAL
HORIZ	HORIZONTAL	V.G.	VERTICAL GRAIN
HRE	HANDRAIL	V.I.F.	VERT IN FIELD
HSG	HOT DIPPED GALVANIZED	V.V.R.	VENT THRU ROOF
HWH	HOT WATER HEATER	V.W.C.	VINTYL WALL COVERING
I	IN ACCORDANCE WITH	W	WEST
I.D.	INSIDE DIMENSION	WASH	WASHER
I.N.	INCH, INCHES	W.C.	WATER CLOSET
INSUL	INSULATION	W.D.	WINDOW DIMENSION
INT	INTERIOR	W.	WROUGHT IRON
INV	INVERT	W.F.	WOVEN WIRE FABRIC
ISA	INTERNATIONAL SYMBOL ACCESSIBILITY	W/O	WITHOUT
JAN	JANITOR	W.P.	WATERPROOF
JST	JOIST	W.S.	WOOD SCREWS
JT	JOINT	W.S.COT	WANSKOT
KIT	KITCHEN	W	WEIGHT
LAB	LABORATORY	W.P.	WOVEN WIRE MESH
LAM	LAMINATED		
LAV	LAVATORY		
LS	LIST		

GALLAGHER RESIDENCE



FRONT RENDER
SCALE: N.T.S.

INDEX OF DRAWINGS

SHT. #	SEQ.	DESCRIPTION
GO	1	COVER
CCI	2	PROJECT DATA
	3	TOPO
CI	4	PRELIMINARY GRADING PLAN
G1	5	SITE PLAN
A1	6	LOWER LEVEL PLAN
A2	7	MAIN FLOOR PLAN
A3	8	SECONDARY DWELLING PLAN
A4	9	PRIMARY EXTERIOR ELEVATION
A5	10	PRIMARY EXTERIOR ELEVATION
A6	11	PRIMARY EXTERIOR ELEVATION
A7	12	SECONDARY EXTERIOR ELEVATION
A8	13	SITE SECTION
A9	14	PRIMARY ROOF PLAN
A10	15	DETAILS

REVISED

RECEIVED
APR 24 2019

CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

JOB No. 1664
DATE OCT 26, 2018

DESCRIPTION	DATE	REV.
WINDOW ADDITION	1/22/18	1
ARB REDESIGN	4/12/18	1
ARB REDESIGN-2	4/16/18	1

REMODEL AND ADDITION
GALLAGHER RESIDENCE
905 LIGHTHOUSE AVE.
PACIFIC GROVE, CA

ARCHITECTS
MBA ARCHITECTS
1175 LINDOLY AVENUE SAN JOSE CALIFORNIA 95128
PH: 408.939.8813 FAX: 408.939.8814

LICENSED ARCHITECT
Martin Arthur Borwick
No. C-4649
REN.09/19
STATE OF CALIFORNIA

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MBA ARCHITECTS

SHEET TITLE
COVER

SCALE AS SHOWN
CAD FILE 1664-0000.rvt
DRAWN BY
SHEET
GO
1 OF 15 SHEETS

GENERAL

ARCHITECTURAL SYMBOL LEGEND

	EARTH		PLASTER OR GROUT
	GRAVEL OR ROCK		WOOD - FINISH GRADE
	CONCRETE		WOOD FRAMING (THRU MEMBER)
	MASONRY		WOOD FRAMING (INTERRUPTED MEMBER)
	CERAMIC TILE		INSULATION - BATT
	PLANTER AREA		INSULATION - RIGID

	DETAIL REFERENCE NO. SHEET WHERE SHOWN		WINDOW SCH. LETTER
	SECTION REF. LETTER SHEET WHERE SHOWN		DOOR SCHEDULE NO. HARDWARE GRP. NO.
	NOTE REF. NO. SHEET WHERE SHOWN		INTERIOR ELEVATION REF. NO.

PROJECT INFORMATION

BUILDING USE	SINGLE FAMILY RESIDENCE
LOT SIZE	1013.14 SF
ASSESSOR'S PARCEL NUMBER	006342003000
ZONING	R-4
TYPE OF CONSTRUCTION	VB NOT FIRE-SPRINKLERED
ORIGINAL CONSTRUCTION	1976
OCCUPANCY TYPE	R-3
STORIES	2
APPLICABLE CODES:	2016 CBC 2016 CBC 2016 CEC 2016 CFC 2016 CFC 2016 CALGREEN 2016 CALIFORNIA FIRE CODE 2016 CALIFORNIA ENERGY CODE

DESCRIPTION OF WORK:
THIS PROJECT IS A NEW ADDITION TO EXISTING PRIMARY DWELLING BUILDING AND A NEW DETACHED SECONDARY DWELLING BUILDING FOR AN EXISTING SINGLE FAMILY RESIDENCE.

CONSULTANTS

OWNER:
DR. RICH GALLAGHER
535 SAN BENITO ST
HOLLISTER, CA 95023
TEL: (408) 718 2850
E-MAIL: (408) 846 5881

SURVEYOR:
L45 ENGINEERING AND SURVEYING, INC
2460 GARDEN ROAD, SUITE G
MONTEREY, CA 93940
PHONE: (831) 655-2123
FAX: (831) 655-3425
E-MAIL: OFFICE@LANDSENGINEERS.COM

LOCATION MAP



JOB No.	1664	
DATE	OCT 26, 2018	
DESCRIPTION	DATE	REV.
CITY COMMENTS	11/19/18	△
CITY COMMENTS	12/12/18	△
ARB REDESIGN	4/12/19	△

REMODEL AND ADDITION

GALLAGHER RESIDENCE
905 LIGHTHOUSE AVE.
PACIFIC GROVE, CA

ARCHITECTS

MBA ARCHITECTS
1176 LINCOLN AVENUE, SAN JOSE, CALIFORNIA 95125
PH: 408.975.8313 FAX: 408.975.4084

LICENSED ARCHITECT

Merrin Arthur Borup

No. C-4649
REN. 9/19

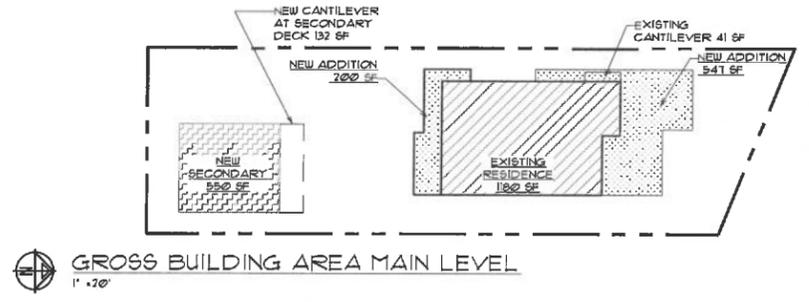
STATE OF CALIFORNIA

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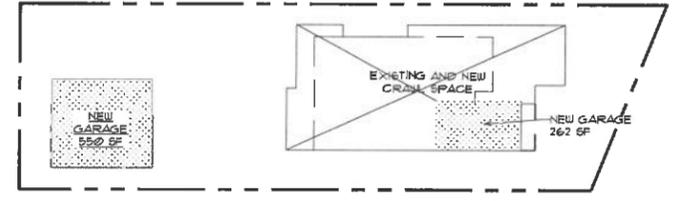
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MBA ARCHITECTS

SHEET TITLE
PROJECT DATA

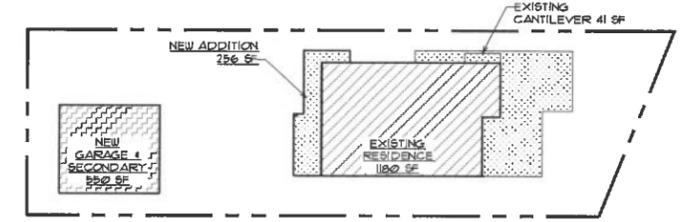
SCALE 1"=20'
CAD FILE 1664-CCI
DRAWN BY
SHEET
CCI
2 OF SHEETS



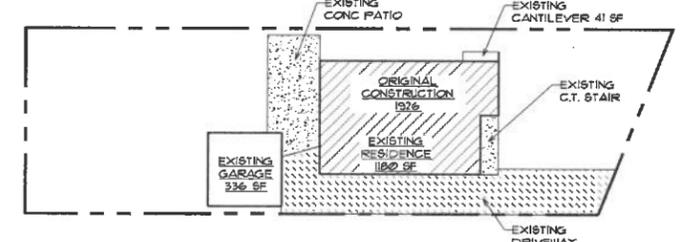
GROSS BUILDING AREA MAIN LEVEL
1" = 20'



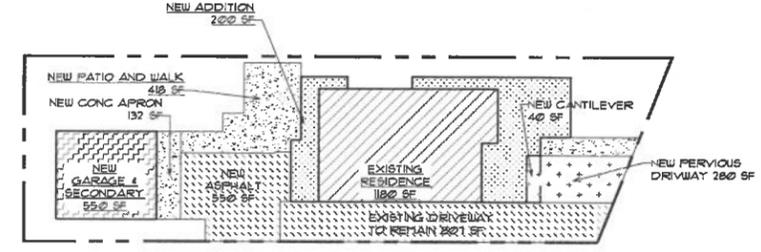
GROSS BUILDING AREA LOWER LEVEL
1" = 20'



BUILDING COVERAGE PLAN
1" = 20'



EXISTING IMPERVIOUS COVERAGE
1" = 20'



PROPOSED IMPERVIOUS COVERAGE
1" = 20'

LEGEND

- EXISTING RESIDENCE TO REMAIN
- NEW PRIMARY RESIDENCE ADDITION AND NEW GARAGE
- NEW SECONDARY DWELLING OVER NEW GARAGE
- CONCRETE IMPERVIOUS - NEW OR EXISTING
- ASPHALT IMPERVIOUS - NEW OR EXISTING
- PERVIOUS PAVING - NEW

GROSS BUILDING AREA

LOWER LEVEL NEW GARAGE 262 SF

MAIN LEVEL

ORIGINAL HOUSE	180 SF
ORIG. CANTILEVER	41 SF
NEW FRONT ADDN	941 SF
NEW REAR ADDITION	700 SF
TOTAL MAIN LEVEL	1,860 SF

GROSS FLOOR AREA PRIMARY RES (2230) SF

GARAGE

SECONDARY UNIT O/GARAGE	550 SF
-------------------------	--------

TOTAL GROSS BUILDING AREA (3330) SF

BUILDING COVERAGE

SITE AREA 7014 SF
MAX ALLOWED BUILDING COVERAGE 50%

EXISTING CONDITION

EXISTING HOUSE	1180
GARAGE TO BE DEMO'D	336
TOTAL	1516 / 7014 = 21%

PROPOSED CONDITION

EXISTING HOUSE	1180 SF
NEW FRONT ADDN	941 SF
NEW REAR ADDITION	700 SF
TOTAL MAIN LEVEL	1,921 SF

GARAGE/SECONDARY 550 SF

BUILDING COVERAGE: 1921 + 550 = 2,471 / 7014 = 35%

IMPERVIOUS COVERAGE

SITE AREA 7014 SF
60% MAX ALLOWED IMPERVIOUS 4208.4 SF

EXISTING CONDITION

EXISTING HOUSE	1180 SF
GARAGE TO BE DEMO'D	336 SF
ASPHALT DRIVEWAY	898 SF
CONC PATIO/STAIR	431 SF
TOTAL	2845 SF

ZONING 23.24.05 (2) A1B ALLOWED NET IMPERVIOUS 1360 SF

PROPOSED CONDITION

PRIMARY RESIDENCE	1920 SF
SECONDARY RESIDENCE	550 SF
CONC PATIO/WALK	640 SF
ASPHALT DRIVEWAY	1281 SF
NET NON-PERVIOUS	4275 SF
NEW PERVIOUS PAVING DRIVEWAY AREA	280 SF
NET IMPERVIOUS	4075 SF

4075 GROSS - 2845 EXISTING = 1230 SF
1230 SF = 3.3% OF SITE

REPLACED IMPERVIOUS AREA:

AREA OF FORMER GARAGE REPLACED WITH NEW DRIVEWAY 336 SF

NET AREA OF PATIO/STAIR REPLACED W/ NEW ADDITION/PATIO AND DRIVEWAY 430 SF

TOTAL REPLACED IMPER 766 SF

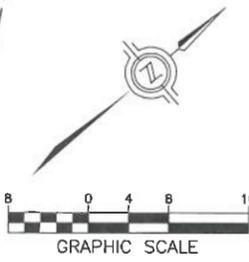
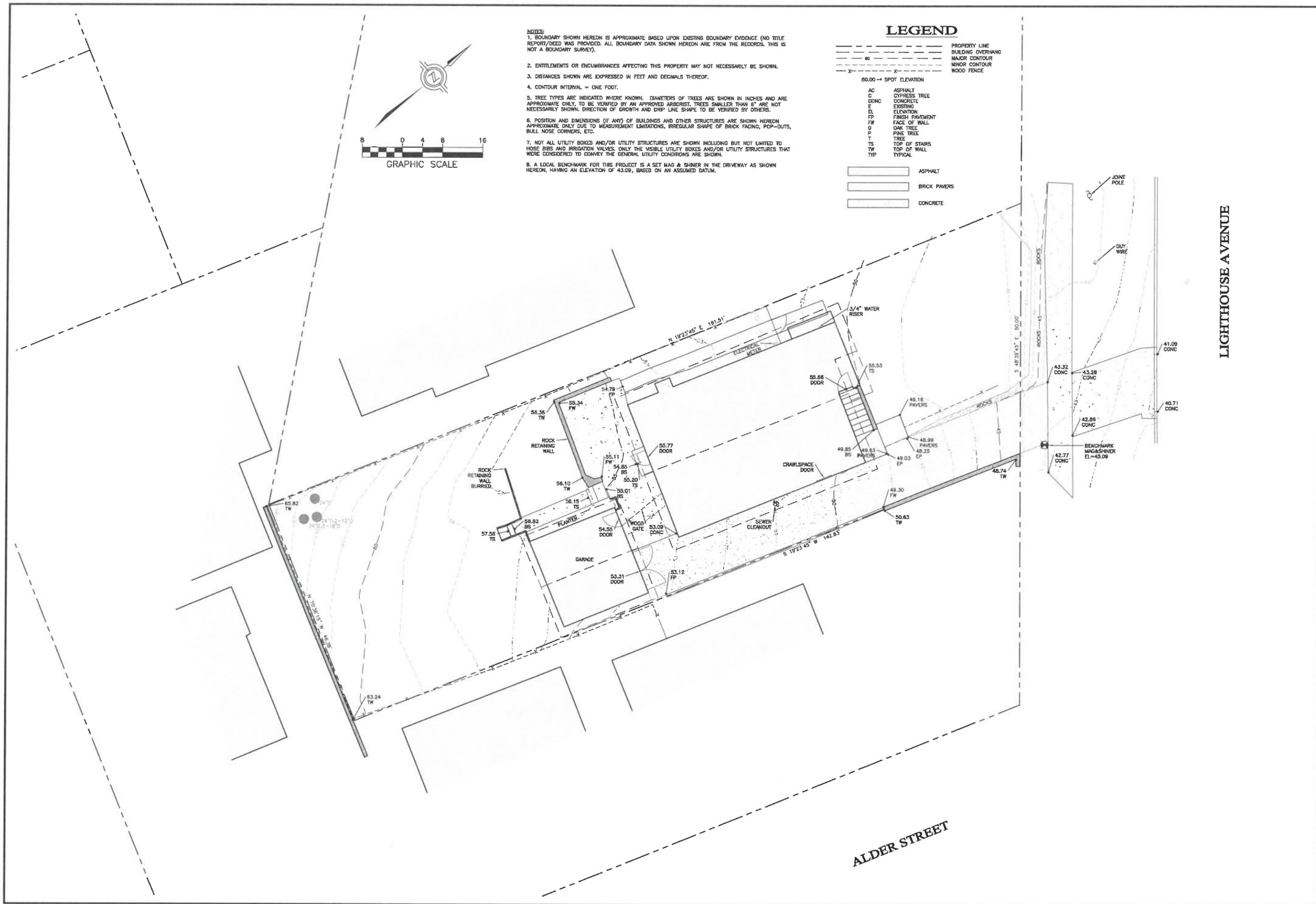
GROSS INCREASE IMPERVIOUS AREA:

4075 GROSS - 2845 EXISTING = 1230 SF

PROJECT DATA SHEET

PROJECT ADDRESS: 905 Lighthouse Ave
APPLICANT: MBA Architects
SUBMITTAL DATE:
PERMIT TYPE: ARB

	REQUIRED/ PERMITTED	EXISTING CONDITION	PROPOSED CONDITION	NOTES
Zone District	R4	R4	R4	
Building Site Area	4000 sf	7013.74 sf	7013.74 sf	
Density	1 primary plus 1 secondary	1 primary	1 primary plus 1 secondary	
Building Coverage	50%	21%	35%	
Gross Floor Area		1180 + 336 = 1516 sf	2477 SF	
Square Footage not counted toward Gross Floor Area		41 sf cantilevered	132 SF	AREA UNDER ADU DECK NOT INCLUDED
Impervious Surface Area Created and/or Replaced	60% MAX.	40.50%	58%	
Exterior Lateral Wall Length to be demolished in feet & % of total		1829 SF EXISTING	1279 SF OBSCURED OR REMOVED = 70% 1892 SF NEW EXTERIOR WALL TO BE CONSTRUCTED	north and south elevations will be obscured by new additions
Exterior Lateral Wall Length to be built				
Building Height	30'	19'	23' MAX.	
Number of Stories	3	1	1	1 over garage
Front Setback	12'	32'	12'	
East Setback	10% of width (47')	5'7"	5' min.	
West Setback	10% of width (47')	10'	10'	
Rear Setback	8'	72'	65'	Primary Residence
Uncovered Parking Spaces	1	1	0	
Parking Space size	9x20'	9x20'	9x20'	
No. of Driveways	1	1	1	
Driveway width	10' min.	10' min	20' min.	
Back Up Distance		80' to Prop line	33'-6" to house	New condition will provide a turnaround
Eave Projection into setback	3' maximum	1'5"	2'	
EAST Distance eave to PL	3' Minimum	3'-1"	3'	
WEST Distance Eave to PL	3' Minimum	7'6"	8'	
Open Porch/Deck Projections	3' to PL	NONE	NONE	
Architectural Feature Projection	3' max from PL	3'	3'	eaves project into setback
Number and Category of Accessory Buildings	1	1- GARAGE	1- GARAGE AND SECONDARY DWELLING	
Accessory Building Setbacks	min 5' side and 8' rear for ADU over garage	>2' garage west side 45' to rear	5'6" west side 8' to rear	
Distance Between Buildings	8' btwn eaves	8' btwn eaves	26'-6"	proposed is clear between porch at ADU and eave at primary residence
Accessory Building Height	30'	5' low side	22' high side 19' low side	
Fence Height	6'	6'	6'	



- NOTES:**
- BOUNDARY SHOWN HEREON IS APPROXIMATE BASED UPON EXISTING BOUNDARY EVIDENCE (NO TITLE REPORT/DEED WAS PROVIDED. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY).
 - ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
 - DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 - CONTOUR INTERVAL = ONE FOOT.
 - TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY. TO BE VERIFIED BY AN APPROVED ARBORIST. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
 - POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS, IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC.
 - NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIDS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
 - A LOCAL BENCHMARK FOR THIS PROJECT IS A SET MAG & SHINER IN THE DRIVEWAY AS SHOWN HEREON, HAVING AN ELEVATION OF 43.09, BASED ON AN ASSUMED DATUM.

LEGEND

- | | |
|-----------|-------------------|
| --- | PROPERTY LINE |
| --- | BUILDING OVERHANG |
| --- | MAJOR CONTOUR |
| --- | MINOR CONTOUR |
| --- | WOOD FENCE |
| 80.00 → | SPOT ELEVATION |
| AC | ASPHALT |
| C | CYPRESS TREE |
| CONC | CONCRETE |
| E | EXISTING |
| EL | ELEVATION |
| FP | FINISH PAVEMENT |
| FW | FACE OF WALL |
| O | OAK TREE |
| P | PINE TREE |
| T | TREE |
| TS | TOP OF STAIRS |
| TW | TOP OF WALL |
| TYF | TYPICAL |
| [Pattern] | ASPHALT |
| [Pattern] | BRICK PAVERS |
| [Pattern] | CONCRETE |

LIGHTHOUSE AVENUE

ALDER STREET



DRAWN BY: P/M
DESIGNED BY: N/A
DATE: 2/22/17
SCALE: 1" = 8'
JOB NUMBER: 17-07
LAST REVISED:
REVISED BY:

PREPARED FOR:
MAIA GENDREAU
C/O MBA ARCHITECTS
1176 LINCOLN AVENUE
SAN JOSE, CA 95125

TOPOGRAPHIC SURVEY
905 LIGHTHOUSE AVENUE
PACIFIC GROVE, CA 93950
APN:006-342-003

SHEET 1
OF
1 **SHEET**

CUT AND FILL CALCULATION

CONTOUR INTERVAL	CUT	FILL
61	195	
60	941	
59	1092	
58	998	
57	572	
56	133	
55	168	
51	181	
50	518	
49	395	
48	217	
47	90	
46	44	
45	7	
TOTAL CU FEET	5551	0
TOTAL CU YARDS	206	0
NET CUT	206	

JOB No.	1664	
DATE	OCT 26, 2018	
DESCRIPTION	DATE	REV.
CITY COMMENTS	11/19/18	1
ADD PARKING	1/2/19	2
ARB REDESIGN	4/3/19	3

REMODEL AND ADDITION
GALLAGHER RESIDENCE
905 LIGHTHOUSE AVE.
PACIFIC GROVE, CA

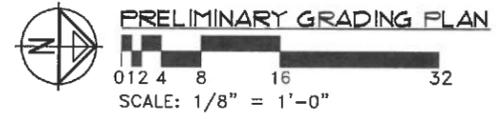
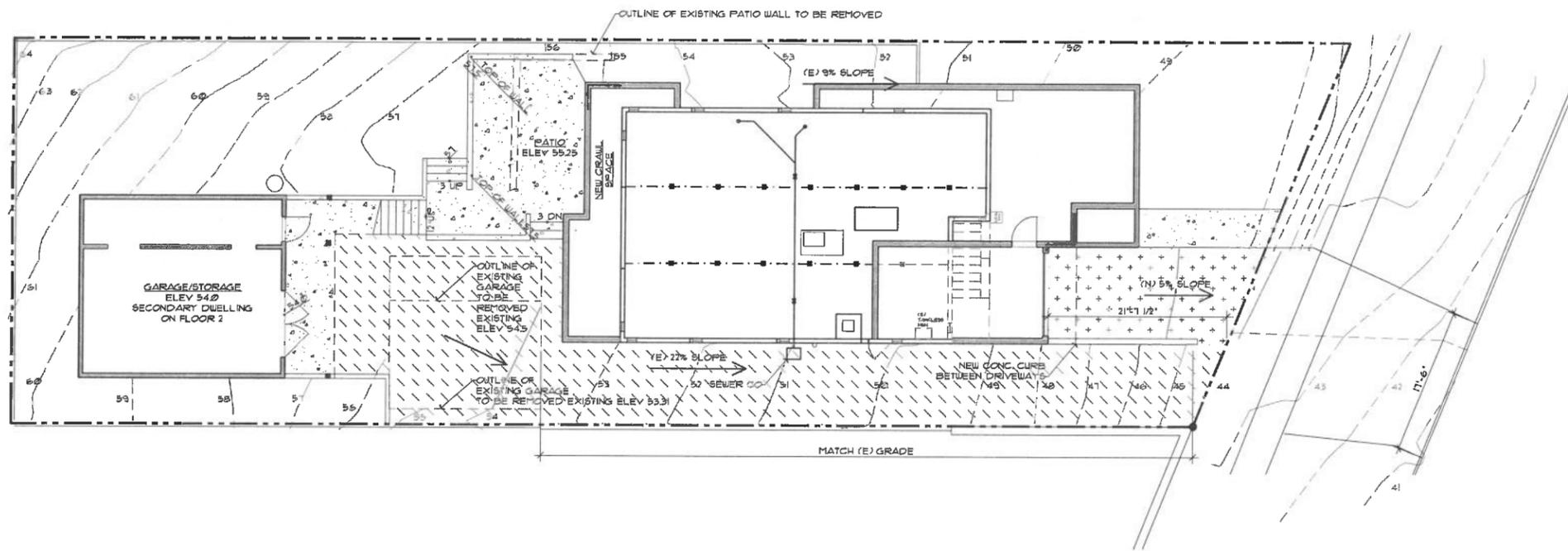
ARCHITECTS
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LICENSED ARCHITECT
Member Arthur Bank
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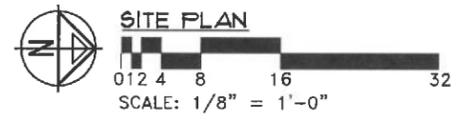
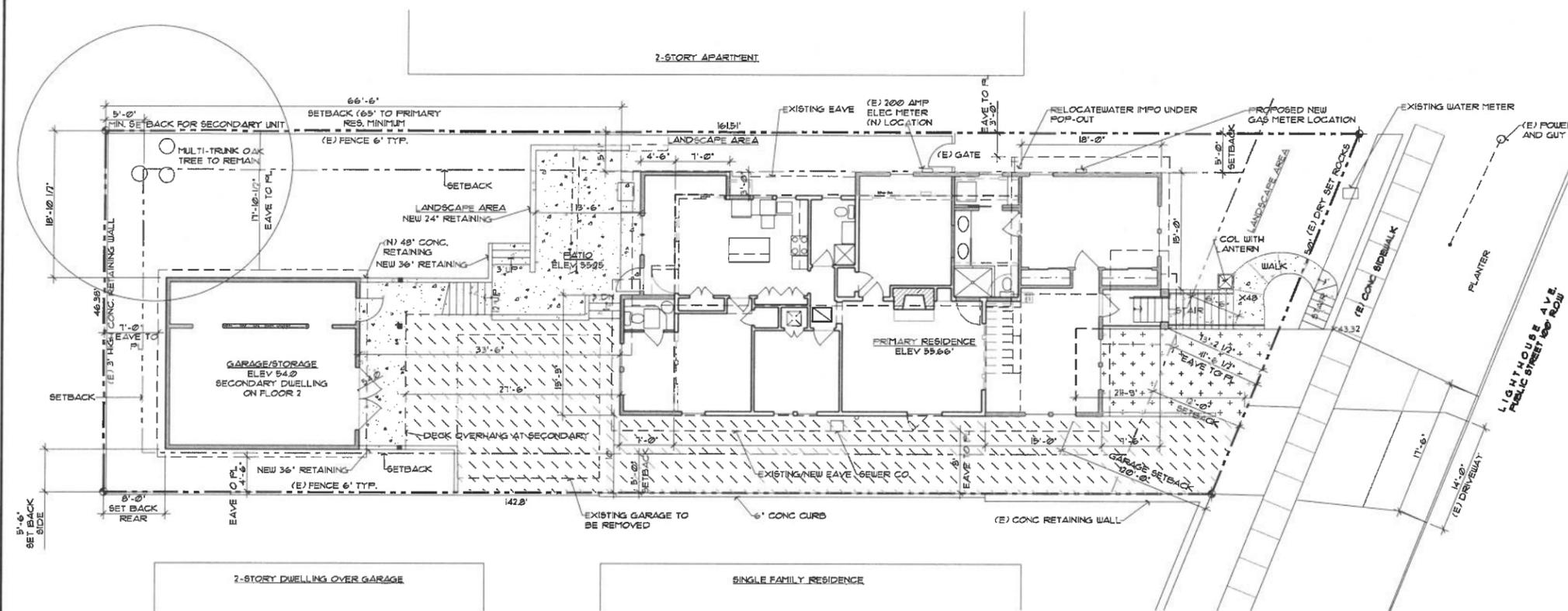
SHEET TITLE
PRELIMINARY GRADING PLAN

SCALE AS SHOWN
CAD FILE 1664-A1-CLDUG
DRAWN BY

SHEET
CI
4 OF SHEETS



- GRADING & DRAINAGE LEGEND**
- EXISTING WALL
 - NEW WALL
 - - - DEMOLITION
 - NEW SPOT ELEVATION
 - CGTG
 - ← SLOPE OF GRADE
 - - - 123 - - EXISTING CONTOUR
 - 123 — NEW CONTOUR
 - 66 — NEW SAN. SEWER
 - CONCRETE - NEW OR EXISTING
 - ASPHALT - NEW OR EXISTING
 - NEW PERVIOUS PAVING



- LEGEND**
- EXISTING WALL
 - NEW WALL
 - DEMOLITION
 - SETBACK LINE
 - PROPERTY LINE
 - PROPERTY LINE CORNER
 - CONCRETE - NEW OR EXISTING
 - ASPHALT - NEW OR EXISTING
 - NEW PERVIOUS PAVERS

JOB No.	1664	
DATE	OCT 26, 2018	
DESCRIPTION	DATE	REV.
CITY COMMENTS	11/12/18	1
ARB REDESIGN	4/17/2019	2
ARB REDESIGN-2	4/16/2019	3

REMODEL AND ADDITION
GALLAGHER RESIDENCE
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 STATE OF CALIFORNIA

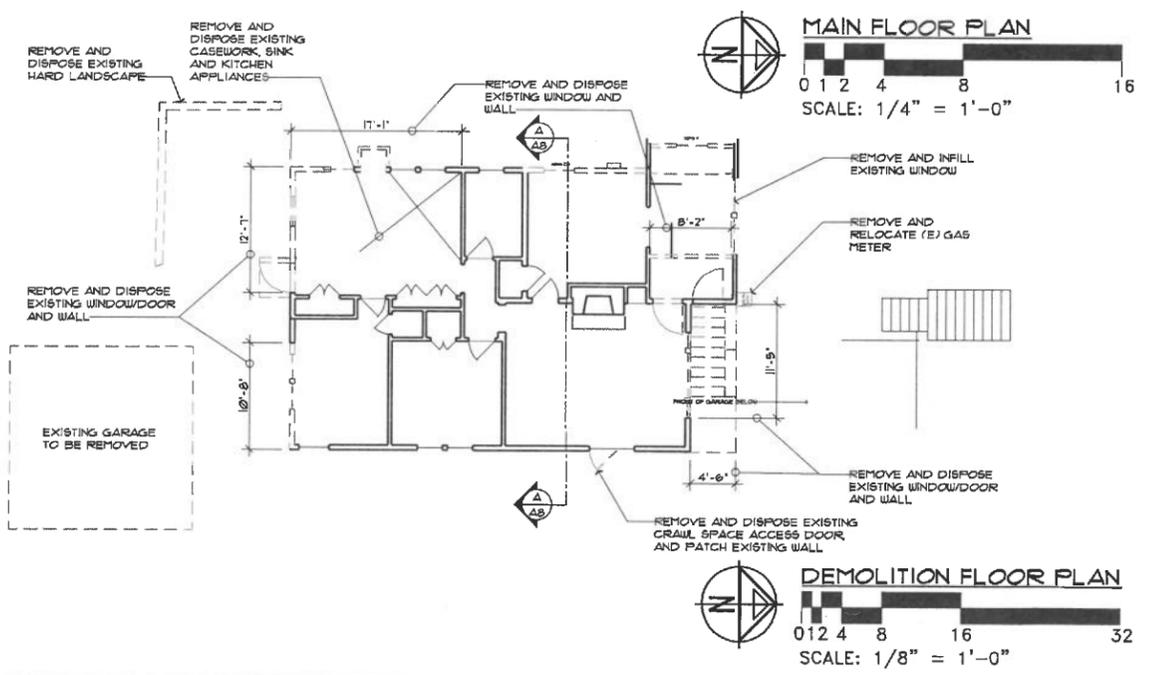
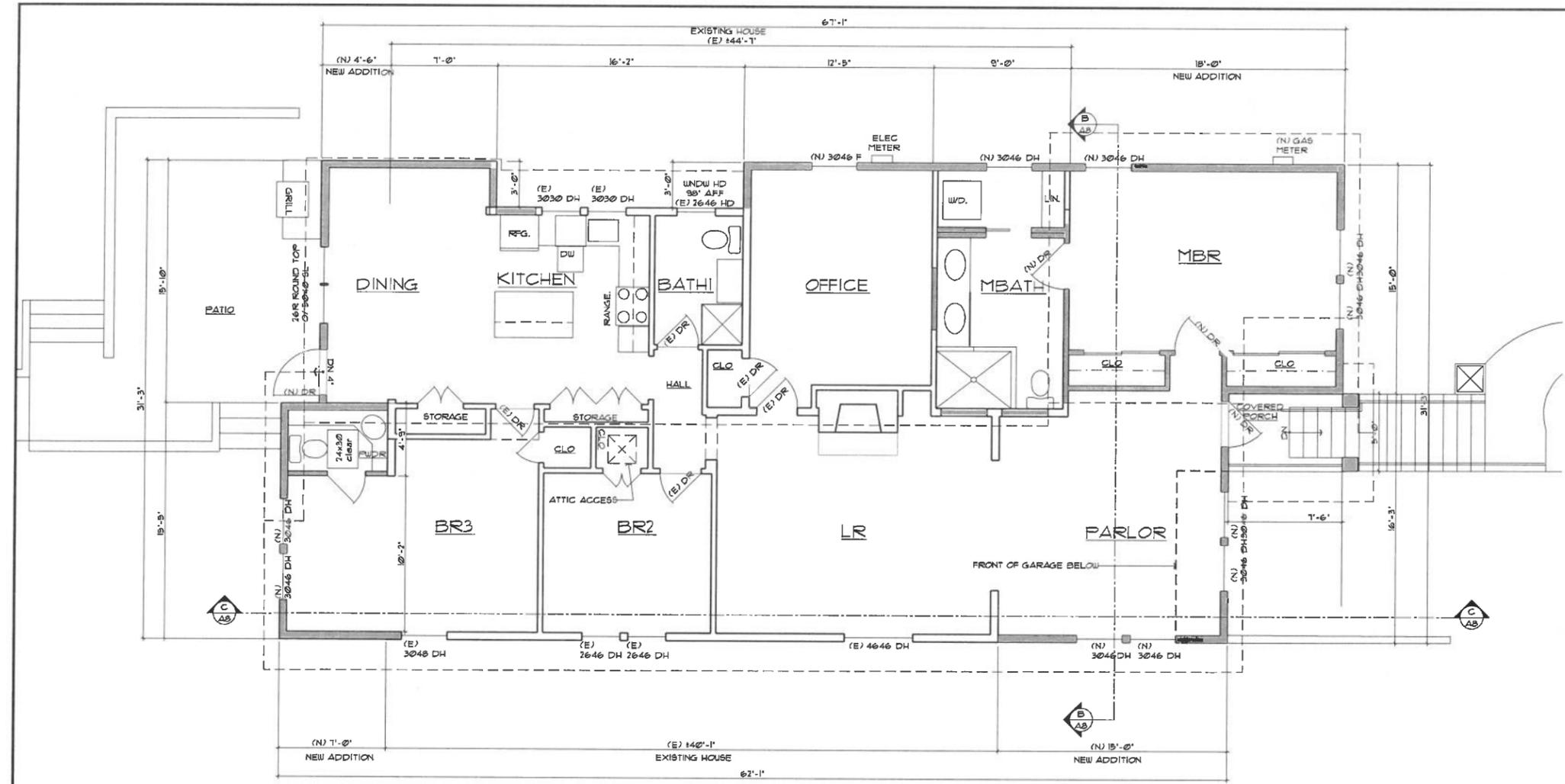
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SHEET TITLE
SITE PLAN

SCALE AS SHOWN
 CAD FILE 1664-GIDJUS
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SHEET
G1
 5 OF SHEETS



JOB No.	1664
DATE	OCT 26, 2018
DESCRIPTION	ARB REDESIGN
DATE	4/12/18
REV.	△

REMODEL AND ADDITION
GALLAGHER RESIDENCE
 905 LIGHTHOUSE AVE.
 PACIFIC GROVE, CA

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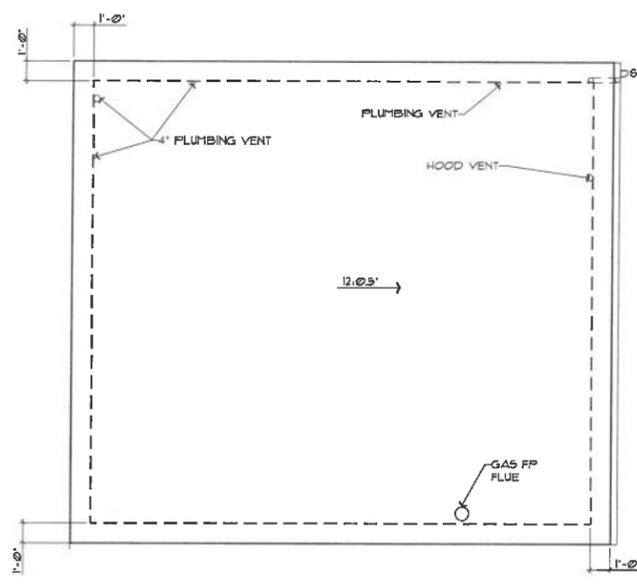
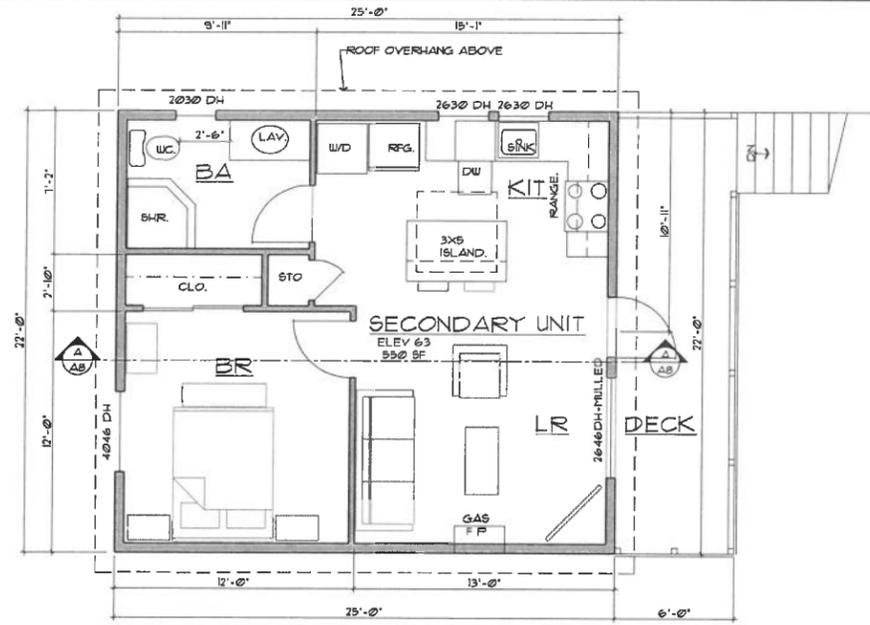
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SHEET TITLE
**MAIN FLOOR PLAN
 DEMOLITION PLAN**

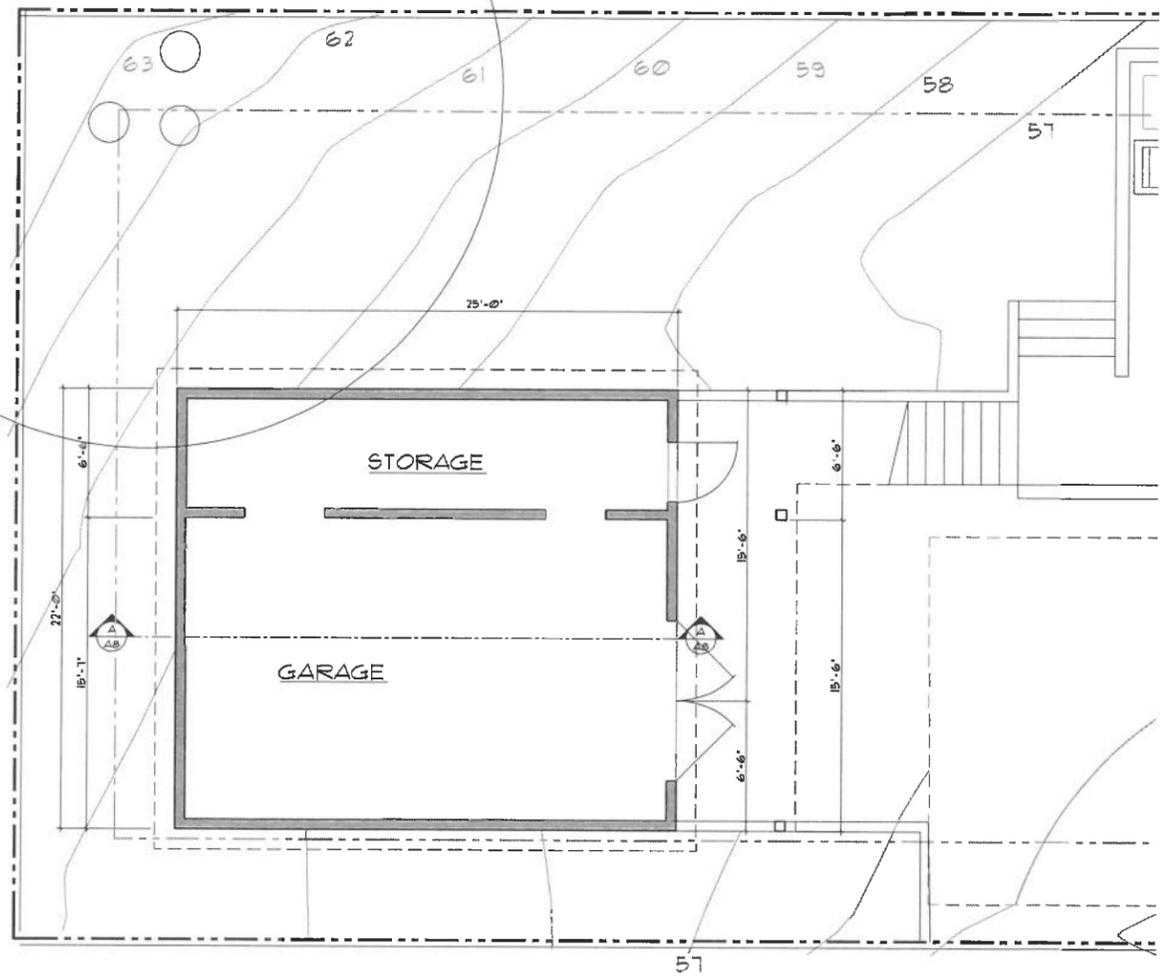
SCALE AS SHOWN
 CAD FILE 1664-A2.dwg
 DRAWN BY

SHEET
A2
 1 OF SHEETS



SECONDARY UNIT UPPER LEVEL PLAN
SCALE: 1/4" = 1'-0"

SECONDARY UNIT ROOF PLAN
SCALE: 1/4" = 1'-0"



SECONDARY UNIT LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0"

LEGEND
 ——— EXISTING WALL
 = = = NEW WALL

JOB No.	1664	
DATE	OCT 26, 2018	
DESCRIPTION	DATE	REV.
CITY COMMENTS	11/19/18	▲
ARB REDESIGN	4/1/2019	▲
REMODEL AND ADDITION		
GALLAGHER RESIDENCE 905 LIGHTHOUSE AVE. PACIFIC GROVE, CA		
ARCHITECTS		
 MBA ARCHITECTS 1176 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125 PH: 408.297.0278 FAX: 408.297.4084		
 LICENSED ARCHITECT Arthur Burburg No. C-4649 REN. 09/19 STATE OF CALIFORNIA		
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SHEET TITLE SECONDARY DWELLING FLOOR PLAN		
SCALE	AS SHOWN	
CAD FILE	1664-A3.dwg	
DRAWN BY		
SHEET	A3	
	8 OF SHEETS	

GENERAL NOTES

- EXISTING WINDOW ARE WOOD FRAME, PAINTED EXTERIOR UNO.
- NEW WINDOW ARE MARVIN OR JELD-WEN CLAD WOOD WINDOWS, SEE DETAIL 1/A10.

JOB No.	1664	
DATE	OCT 26, 2018	
DESCRIPTION	DATE	REV.
CHIMNEY	12/3/18	1
WINDOW ADDITION	1/22/19	2
ARB REDESIGN	3/21/19	3
ARB REDESIGN-2	4/16/19	4

REMODEL AND ADDITION
 GALLAGHER RESIDENCE
 905 LIGHTHOUSE AVE.
 PACIFIC GROVE, CA

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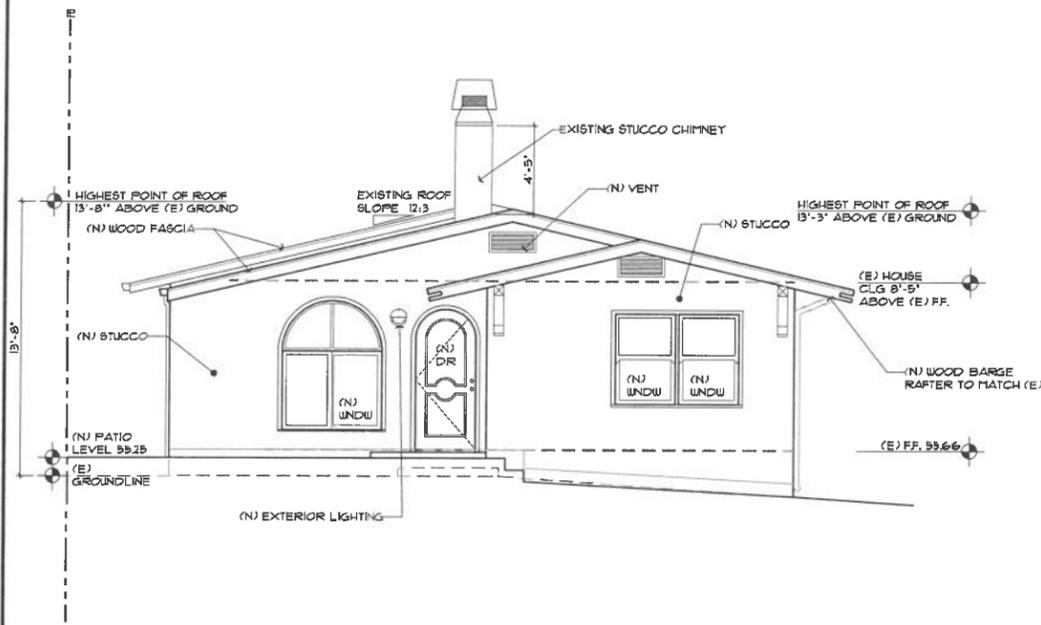


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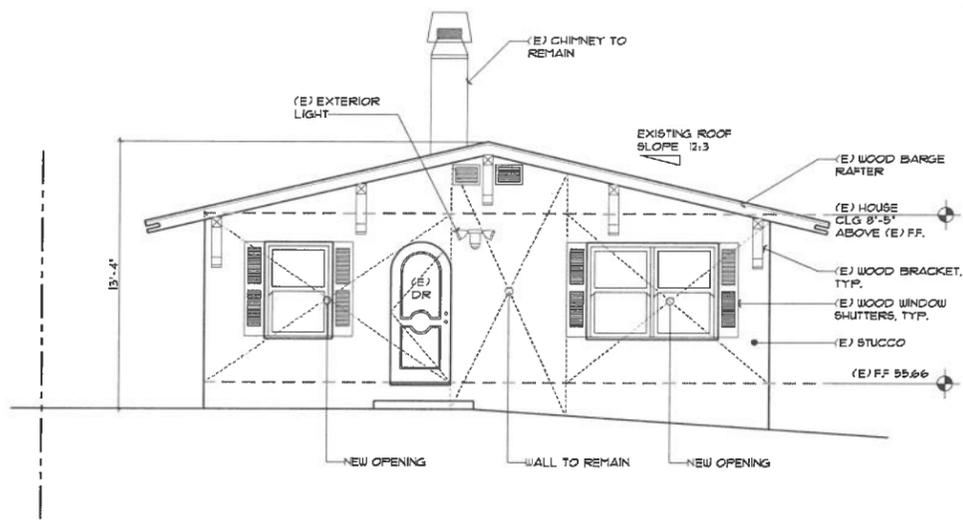
SHEET TITLE
PRIMARY EXTERIOR ELEVATIONS

SCALE FILE 1/4"=1'-0"
 CAD FILE 1664-A4-A5-A6.dwg
 DRAWN BY

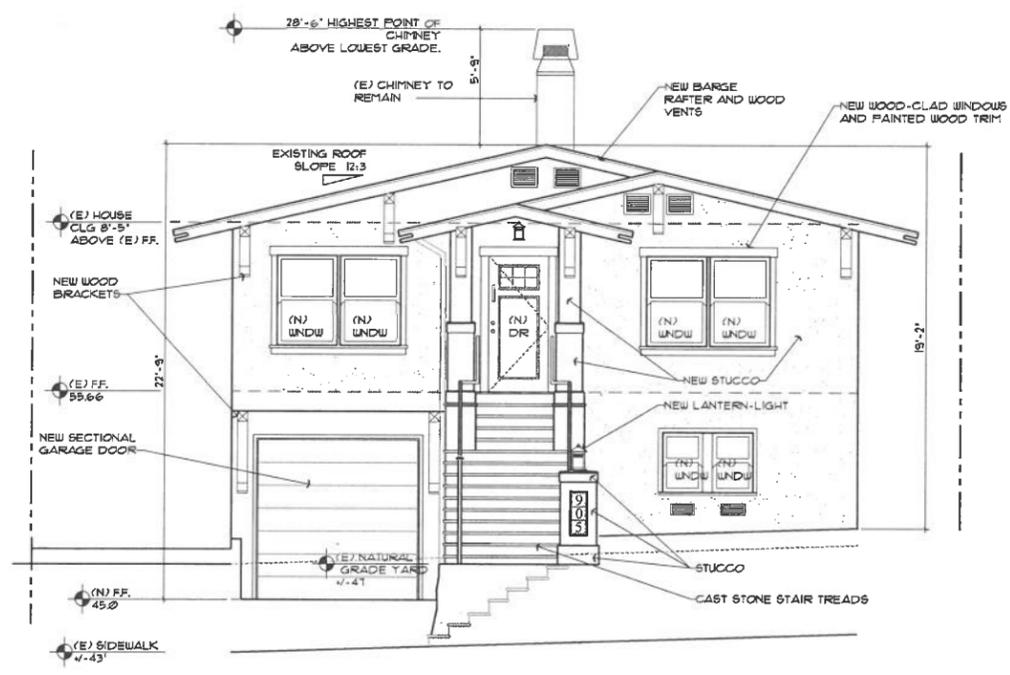
SHEET
A4
 9 OF SHEETS



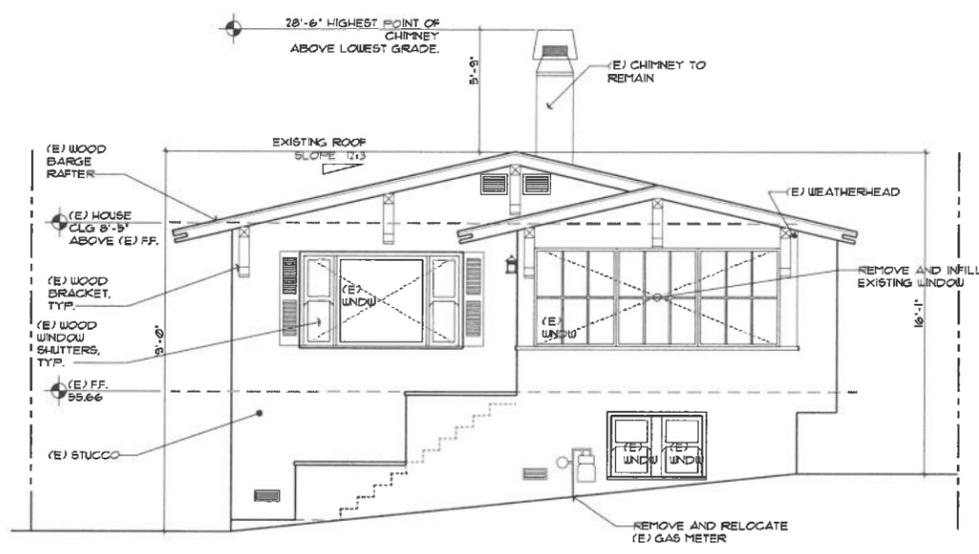
NEW SOUTH EXTERIOR ELEVATION
 0 1 2 4 8 16
 SCALE: 1/4" = 1'-0"



THIS ELEVATION WILL BE OBSCURED BY THE NEW ADDITION
EXISTING SOUTH EXTERIOR ELEVATION
 0 1 2 4 8 16
 SCALE: 1/4" = 1'-0"



PRIMARY NORTH ELEVATION
NEW NORTH EXTERIOR ELEVATION
 0 1 2 4 8 16
 SCALE: 1/4" = 1'-0"



THIS ELEVATION WILL BE OBSCURED BY THE NEW ADDITION
EXISTING NORTH EXTERIOR ELEVATION
 0 1 2 4 8 16
 SCALE: 1/4" = 1'-0"

GENERAL NOTES

- * EXISTING WINDOW ARE WOOD FRAME, PAINTED EXTERIOR U.N.O.
- * NEW WINDOW ARE MARVIN OR JELD-WEN CLAD WOOD WINDOWS, SEE DETAIL 1/A10.

JOB No.	1664	
DATE	OCT 26, 2018	
DESCRIPTION	DATE	REV.
CHIMNEY	12/3/18	1
WINDOW ADDITION	1/22/19	2
ARB REDESIGN	3/21/19	3
ARB REDESIGN-2	4/16/19	4

REMODEL AND ADDITION
GALLAGHER RESIDENCE
 905 LIGHTHOUSE AVE.
 PACIFIC GROVE, CA

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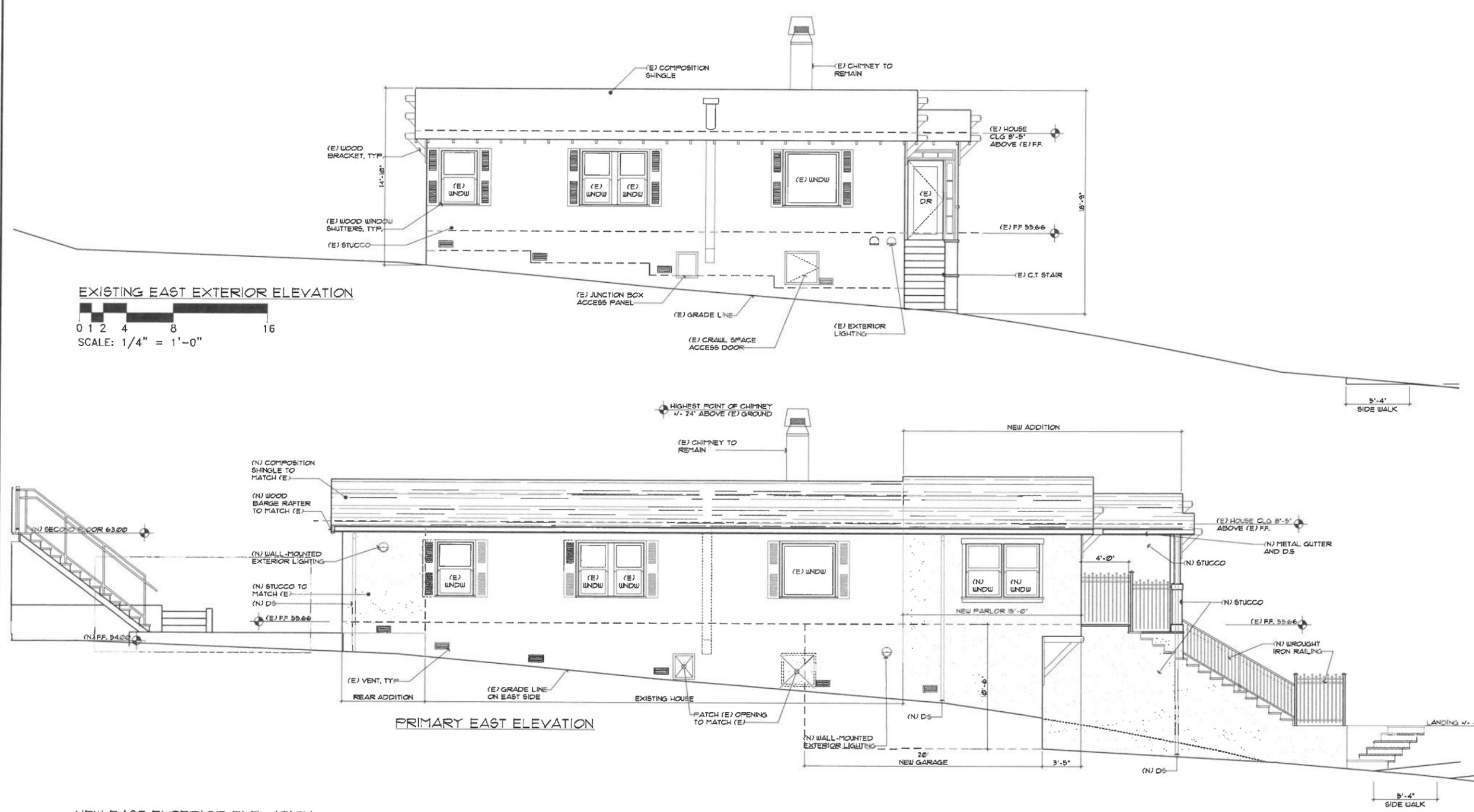


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SHEET TITLE
PRIMARY EXTERIOR ELEVATIONS

SCALE 1/4" = 1'-0"
 CAD FILE 1664-A4-A5-A6.dwg
 DRAWN BY

SHEET
A5
 10 OF SHEETS



EXISTING EAST EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

NEW EAST EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

GENERAL NOTES

- * EXISTING WINDOW ARE WOOD FRAME, PAINTED EXTERIOR UNO.
- * NEW WINDOW ARE MARVIN OR JELD-WEN CLAD WOOD WINDOWS, SEE DETAIL 1/A&D.

JOB No.	1664	
DATE	OCT 26, 2018	
DESCRIPTION	DATE	REV.
CHIMNEY	12/3/18	△
ARB REDESIGN	3/21/19	△
ARB REDESIGN-2	4/16/19	△

REMODEL AND ADDITION
GALLAGHER RESIDENCE
 905 LIGHTHOUSE AVE.
 PACIFIC GROVE, CA

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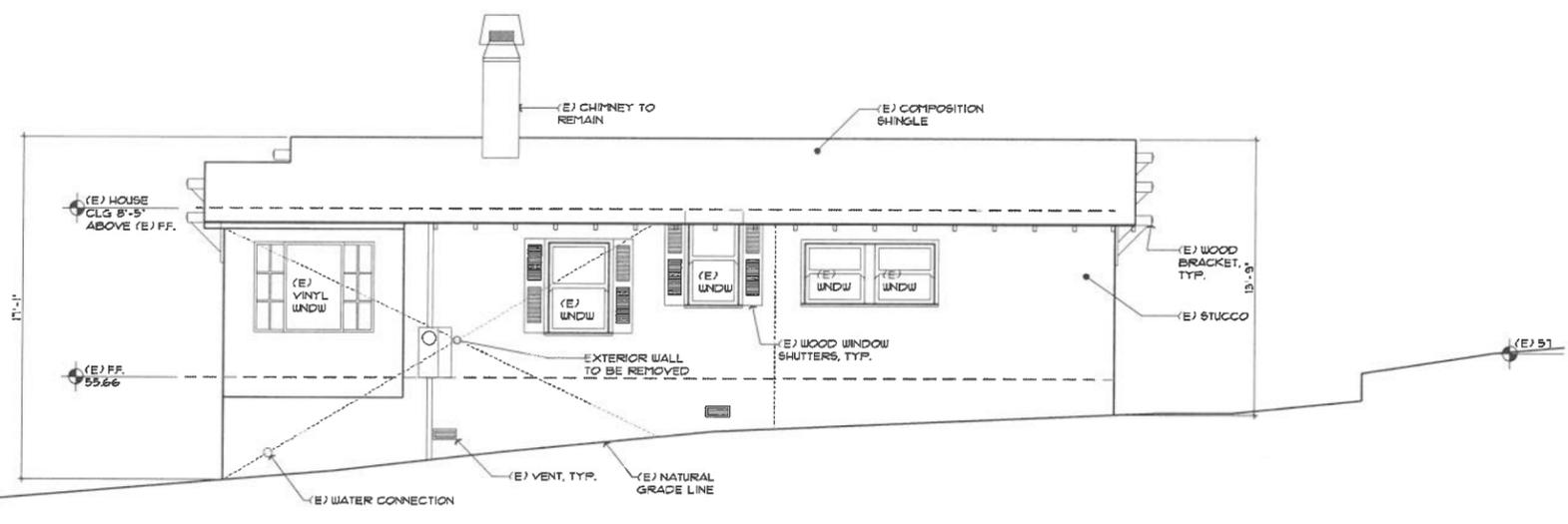
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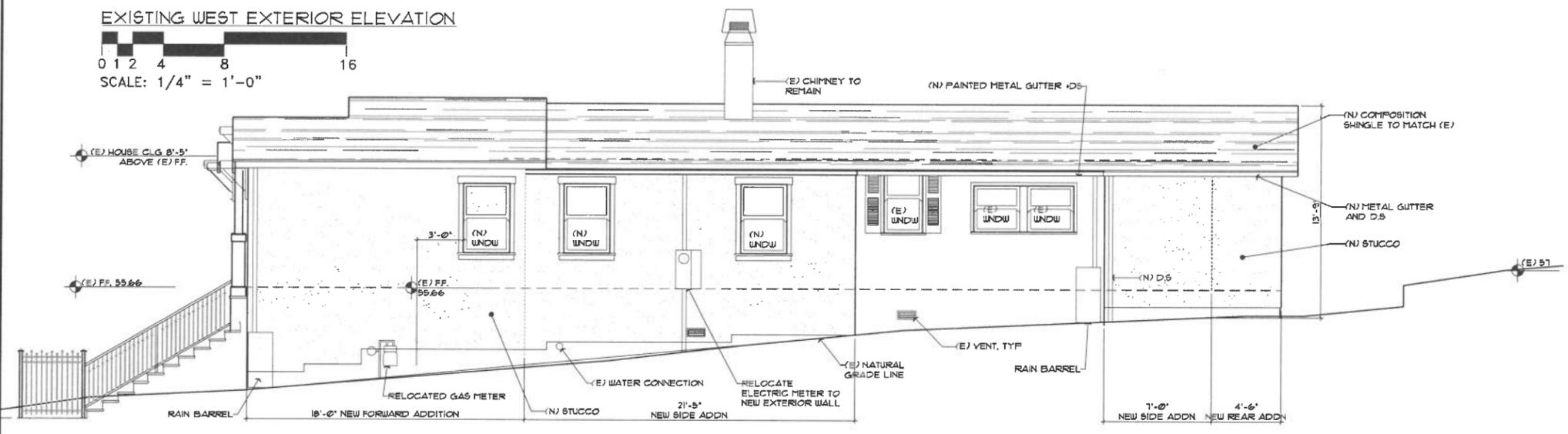
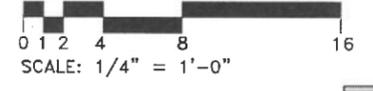
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PRIMARY EXTERIOR ELEVATIONS

SCALE 1/4" = 1'-0"
 CAD FILE 1664-A4-A5-A6.dwg
 DRAWN BY

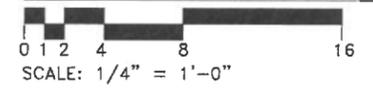
SHEET
A6
 II OF SHEETS



EXISTING WEST EXTERIOR ELEVATION



NEW WEST EXTERIOR ELEVATION



JOB No.	1664	
DATE	OCT 26, 2018	
DESCRIPTION	DATE	REV.
CITY COMMENTS	11/19/18	△
RE-DESIGN	3/28/2019	△
ARB REDESIGN-2	4/16/19	△

REMODEL AND ADDITION
GALLAGHER RESIDENCE
905 LIGHTHOUSE AVE.
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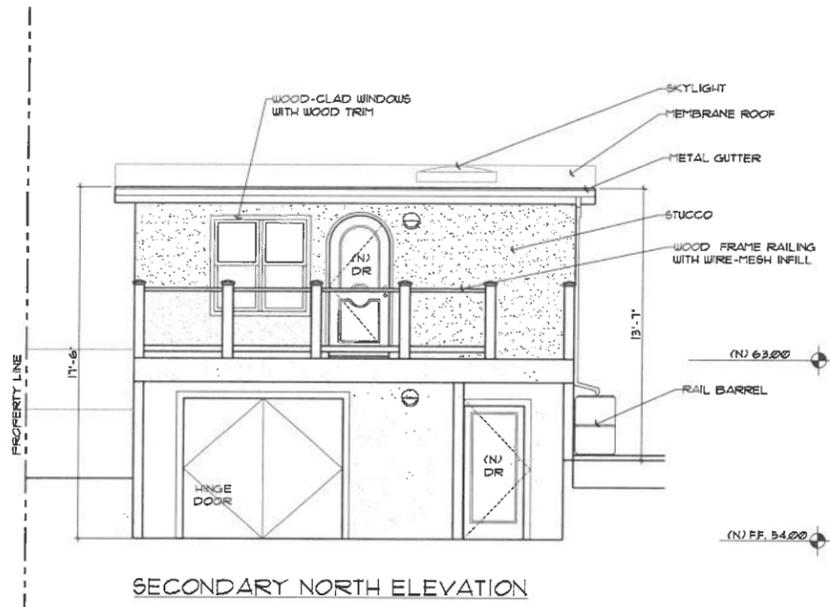
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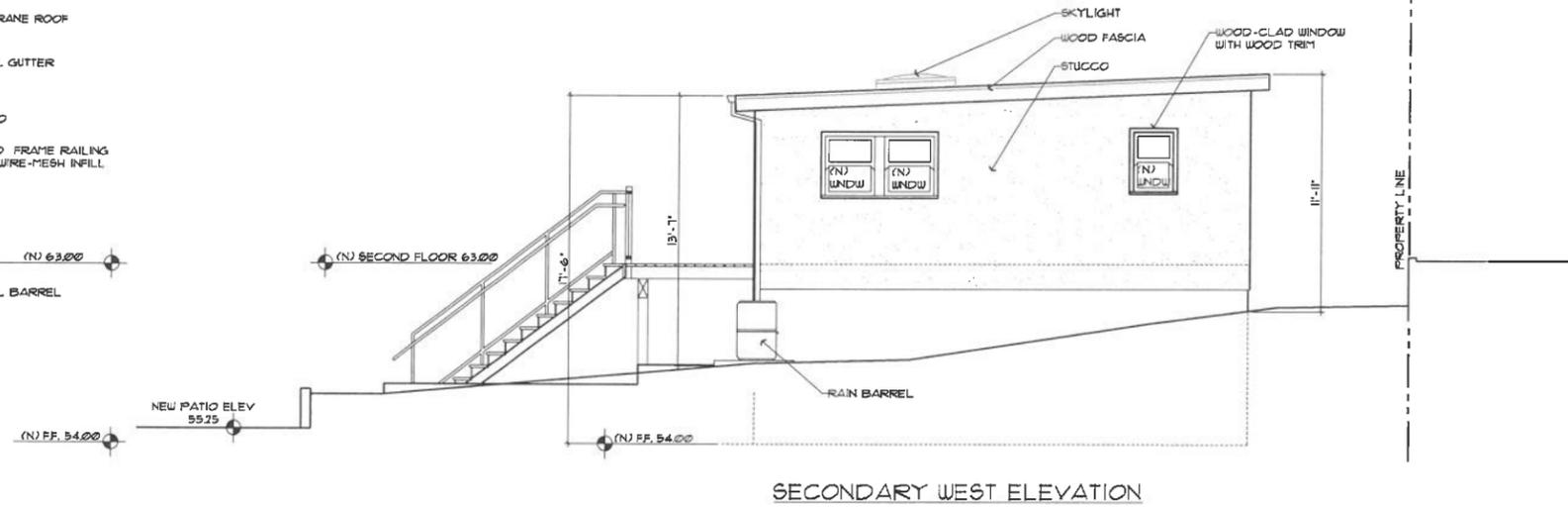
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SECONDARY UNIT EXTERIOR ELEVATIONS

SCALE 1/4" = 1'-0"
CAD FILE 16-64-A7.dwg
DRAWN BY

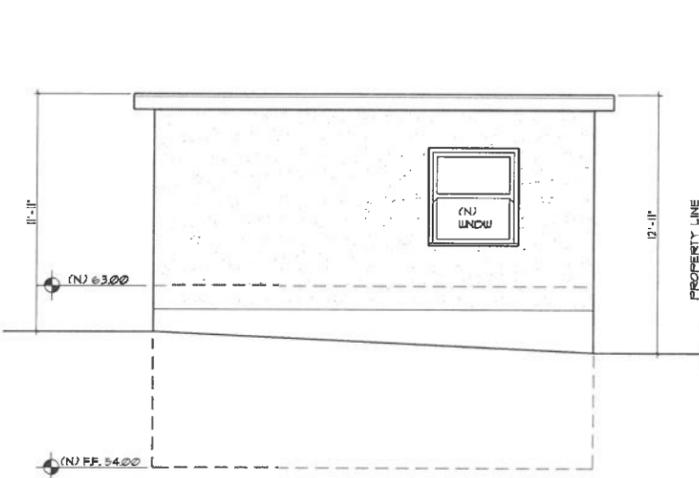
SHEET
A7
12 OF SHEETS



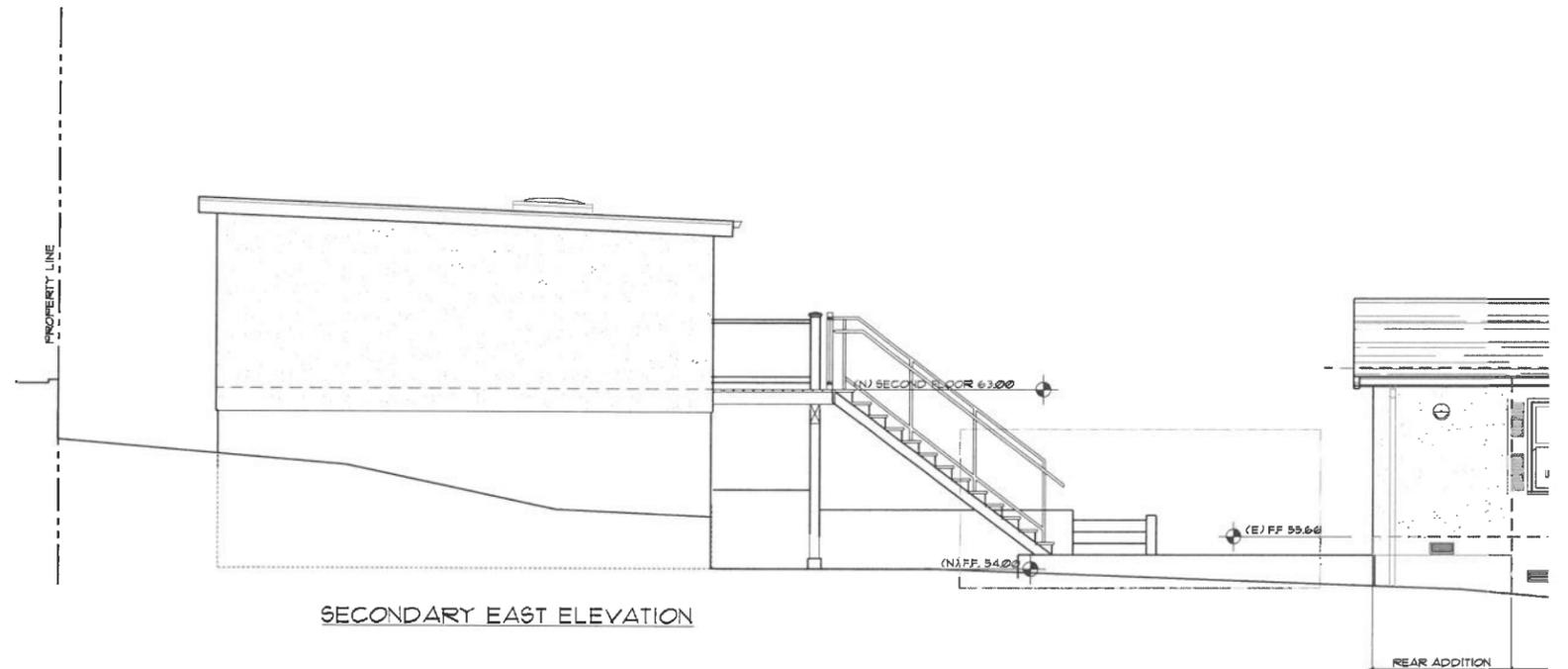
SECONDARY NORTH ELEVATION



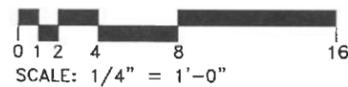
SECONDARY WEST ELEVATION



SECONDARY SOUTH ELEVATION



SECONDARY EAST ELEVATION



GENERAL NOTES

- * EXISTING WINDOW ARE WOOD FRAME, PAINTED EXTERIOR U.N.O.
- * NEW WINDOW ARE MARVIN OR JELD-WEN CLAD WOOD WINDOWS. SEE DETAIL 1/410.

JOB No.	1664	
DATE	OCT 26, 2018	
DESCRIPTION	DATE	REV.
CITY COMMENTS	11/15/18	▲
ARB REDESIGN	3/28/19	▲

REMODEL AND ADDITION
GALLAGHER RESIDENCE
 905 LIGHTHOUSE AVE.
 PACIFIC GROVE, CA

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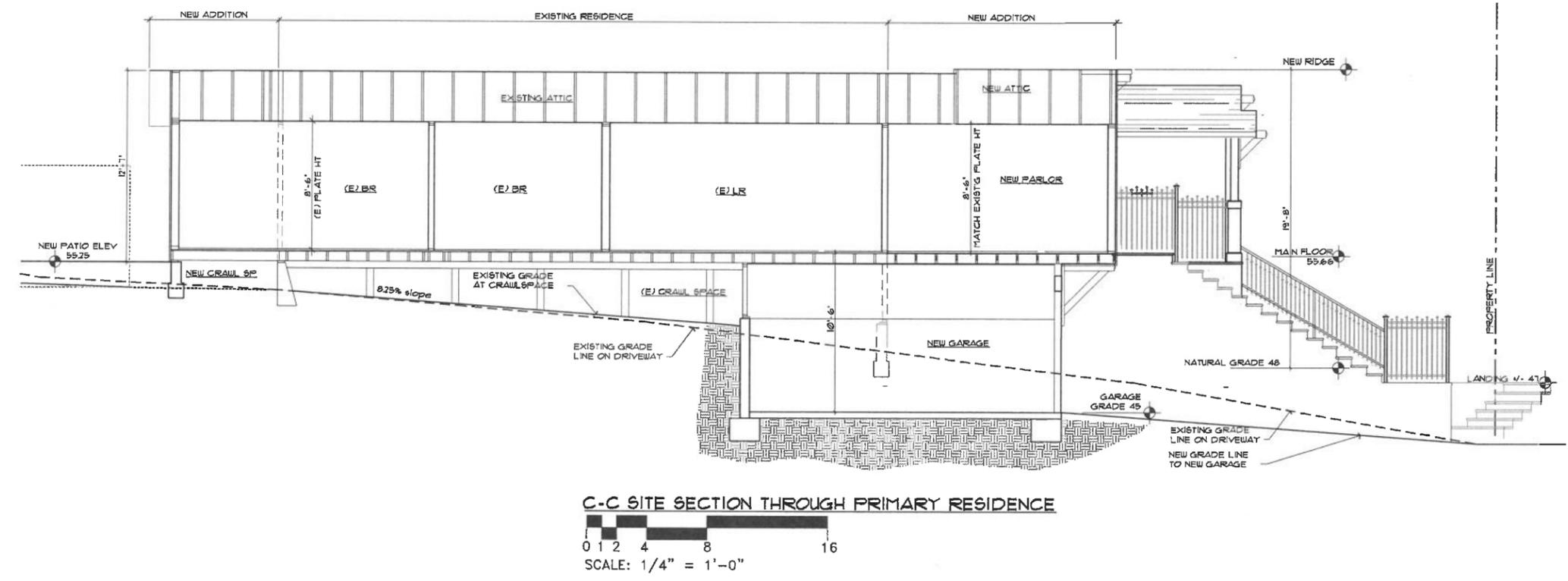
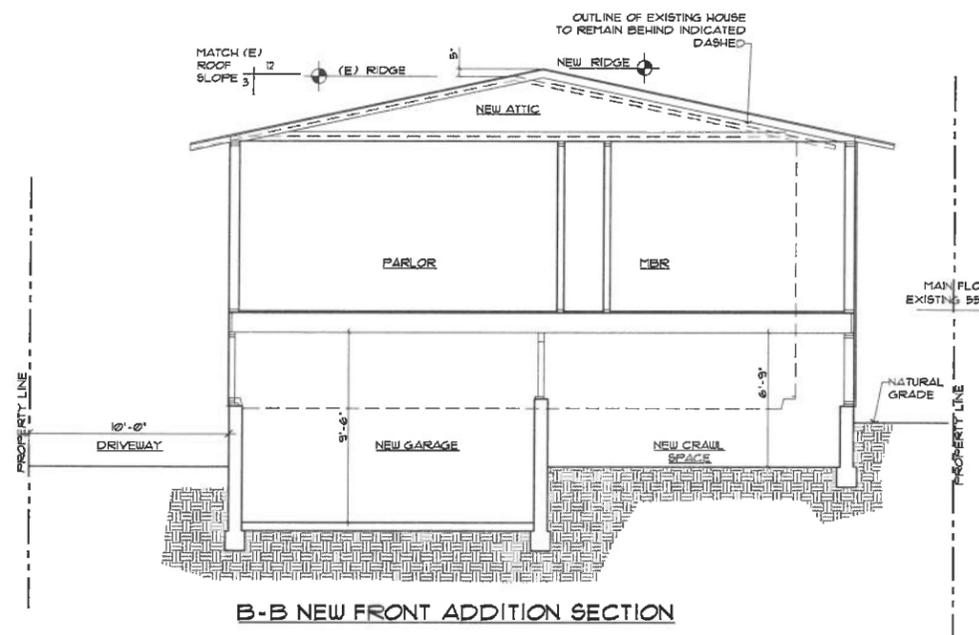
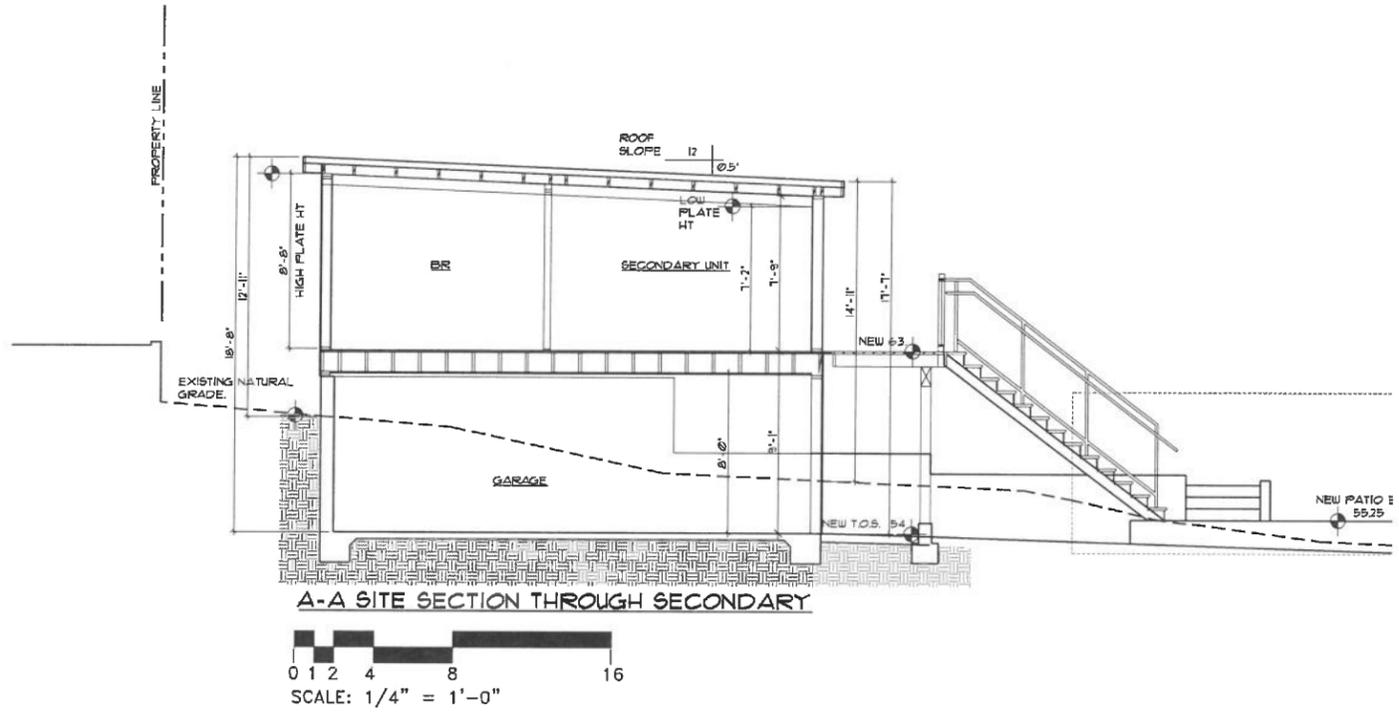
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 REN. 09/19
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SHEET TITLE
SITE SECTION

SCALE AS SHOWN
 CAD FILE 1664-A-9-19
 DRAWN BY

SHEET
A8
 13 OF SHEETS



JOB No.	1664	
DATE	OCT 26, 2018	
DESCRIPTION	DATE	REV.
ARB REDESIGN	4/3/19	△

REMODEL AND ADDITION
GALLAGHER RESIDENCE
905 LIGHTHOUSE AVE.
PACIFIC GROVE, CA

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MBA
1175 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125
PH 408297-9886 FAX 408887-0384

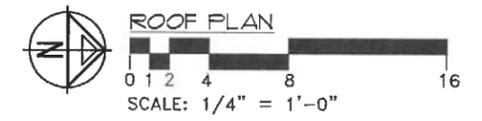
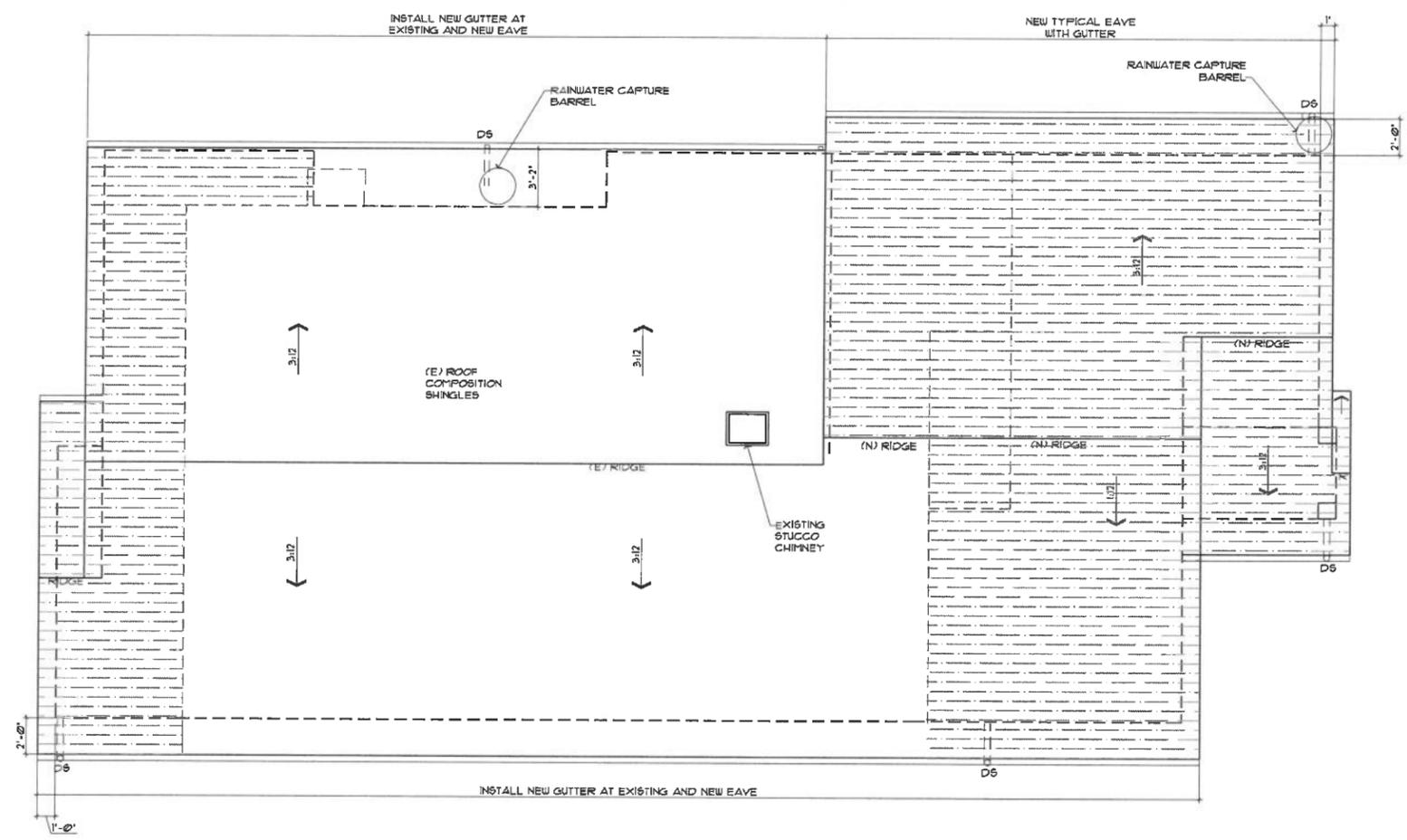
LICENSED ARCHITECT
Martin Arthur Berthod
No. C-4549
REN. 9/19
STATE OF CALIFORNIA

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SHEET TITLE
ROOF PLAN

SCALE AS SHOWN
CAD FILE: Rmpw-1991
DRAWN BY: 18

SHEET
A9
14 OF SHEETS



LEGEND

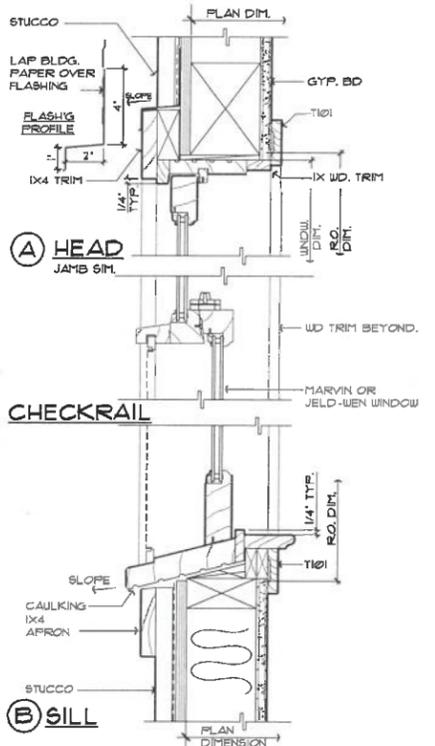
	(E) COMPOSITION SHINGLE STORMWATER RUNOFF TO LANDSCAPE
	(N) COMPOSITION SHINGLE TO MATCH (E) STORMWATER RUNOFF TO LANDSCAPE

LED recessed wall - shielded

BEGA

LED recessed ceiling downlight - wide beam

BEGA



Application
The shielded light distribution is ideal for the glare-free illumination of ground surfaces, building entrances, stairs, and footpaths.

Materials
Luminaire housing and faciplata constructed of die-cast marine grade copper free (0.03% copper content) A360.0 aluminum alloy
Clear safety glass with optical texture
High temperature silicone gasket
Mechanically captive stainless steel fasteners
Finned aluminum installation housing
NRTL listed to North American Standards, suitable for wet locations
Protection class IP65
Weight: 3.1 lbs

Electrical
Operating voltage 120-277VAC
Minimum start temperature -30°C
LED module wattage 11.8W
System wattage 14W
Controllability 0-10V dimmable
Color rendering index Ra > 90
Luminaire lumens 972 lumens (8000K)
Lifetime at Ta = 25°C 50,000 h (L70)
LED color temperature
 4000K - Product number + K4
 3500K - Product number + K35
 3000K - Product number + K3
 2700K - Product number + K27

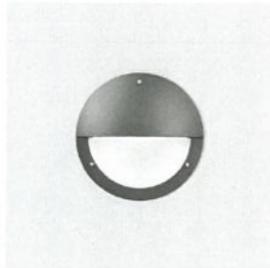
BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Type:
BEGA Product:
Project:
Modified:

Finish
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors Black (BLK) White (WHT) RAL:
 Bronze (BRZ) Silver (SLV) CUS:

Available Accessories
 19823 Concrete protection cover
See individual accessory spec sheet for details.



LED	A	B	C
22271	202	11.8W	9 1/4" 4 1/2" 2"

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 694-0533 info@bega-us.com
Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com (last updated 02/20/2019)

2 EXT. RECESSED WALL LIGHT N.T.S

Application
Designed for down lighting atriums, canopies, passages, and other interior and exterior locations featuring a symmetrical wide beam light distribution.

Materials
Luminaire housing constructed of die-cast marine grade, copper free (0.03% copper content) A360.0 aluminum alloy
Clear safety glass
Reflector made of pure anodized aluminum
High temperature silicone gasket
Stainless steel screw clamps
Galvanized steel rough in ceiling pan with through wiring box
NRTL listed to North American Standards, suitable for wet locations
Protection class IP65
Weight: 3.3 lbs

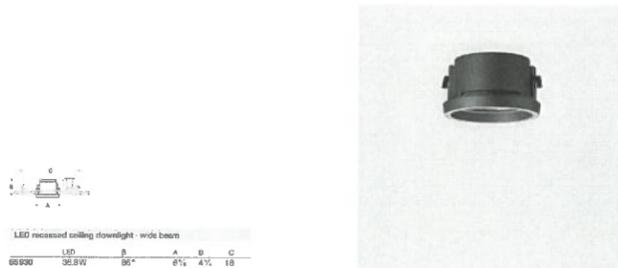
Electrical
Operating voltage 120-277VAC
Minimum start temperature -20°C
LED module wattage 36.8W
System wattage 42W
Controllability 0-10V dimming down to 0.1%
Color rendering index Ra > 90
Luminaire lumens 2508 lumens (3000K)
Lifetime at Ta = 15°C 170,000 h (L70)
Lifetime at Ta = 25°C 130,000 h (L70)
LED color temperature
 4000K - Product number + K4
 3500K - Product number + K35
 3000K - Product number + K3
 2700K - Product number + K27

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Type:
BEGA Product:
Project:
Modified:

Finish
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors Black (BLK) White (WHT) RAL:
 Bronze (BRZ) Silver (SLV) CUS:



LED	A	B	C
65600	36.8W	36"	6 1/4" 4 1/2" 1 1/8"

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 694-0533 info@bega-us.com
Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com (last updated 02/20/2019)

3 EXT. RECESSED CEILING DOWNLIGHT N.T.S

GREAT AMERICAN RAIN BARREL



DESCRIPTION

Earth Brown Rain Barrel. Dark espresso brown, almost black, color to blend with dark mulch color. Harvest rain water from your roof and use to offset your outdoor water usage. All barrels are re-purposed and may have markings.

Dimensions

- 24" x 39" in.
- 60 Gallon Capacity
- Weight: 20 lbs. empty

Lid

- Wide mouth hard top lid
- Screw On
- Positioned to receive water
- Insulated Serec

Material

- 3/16" polyethylene
- Recycled Food Grade Plastic Resin
- UV Protected
- BPA Free
- 1 Year Limited Warranty

4 RAIN BARREL N.T.S

15" carmel column mount with bungalow overlay

Mfg: Arroyo Craftsmen
Collection: Carmel
Model: CC-15B Column Mount - Bungalow Overlay

Arroyo Craftsmen Carmel Series. A generous sloping roof floats above the art glass lenses of the Carmel Series, inspired by Charles and Henry Greene's greatest architectural triumphs. Distinctive decorative overlays are available: B-Bungalow; D-Dart; H-Hillcrest; SL-Stream lit; T-bar.



SKU/Model	CC-15B Column Mount - Bungalow Overlay
Width	15"
Height	12-3/8"
Extension	N/A
Projection	N/A
Back Plate/Ceiling Plate	11-1/8"
Material	Brass
Number Of Bulbs	1-100W, A-19
Bulb Type	A-19
UL Rating	Incaand. Wet
Standard Finish/Color	VP, MB, RC, EZ, BK, RB, G, SL
Standard Lens/Diffuser	AB

5 EXTERIOR LANTERN LIGHT N.T.S

JOB No.	1664
DATE	OCT 26, 2019

DESCRIPTION	DATE	REV.
ARE REDESIGN	4/8/19	1

REMODEL AND ADDITION
GALLAGHER RESIDENCE
905 LIGHTHOUSE AVE.
PACIFIC GROVE, CA

ARCHITECTS
MBA ARCHITECTS
1179 LINDOLY AVENUE SAN JOSE CALIFORNIA 95128
PH: 408.987.2226 FAX: 408.987.0384



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SHEET TITLE
DETAILS

SCALE AS SHOWN
CAD FILE 1664-A10.DWG
DRAWN BY

SHEET
A10
15 OF SHEETS

COLOR/MATERIAL SCHEDULE:

DUNN EDWARDS PAINTS

STUCCO & VENTS



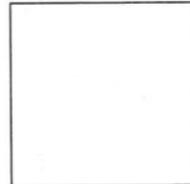
A. MATCH (E)
DE6220 POROUS STONE

TRIM & BRACKETS



B. DEC105 BURNT CRIMSON

GARAGE DOOR



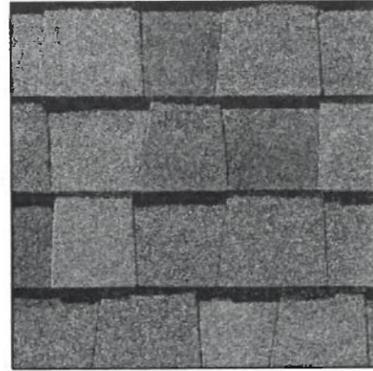
C. DEW340 WHISPER

WROUGHT IRON RAILING



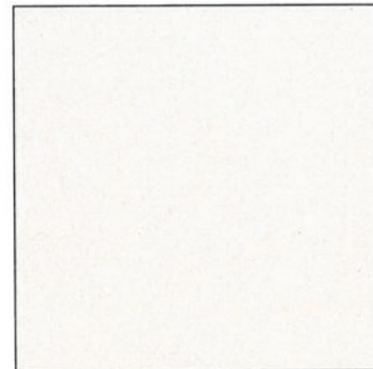
D. DE6350 DARK ENGINE

COMPOSITION SHINGLES ROOFING



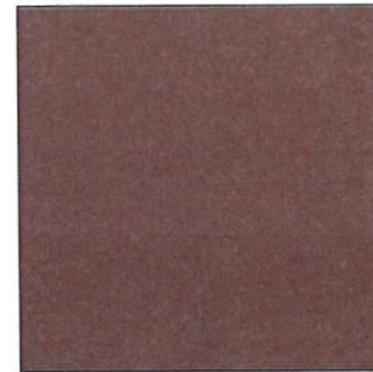
E. MATCH (E)
CERTAINTED LANDMARK
GRAPHITE

WINDOW



F. CLAD-WOOD WINDOW
W/ COCONUT CREME EXTERIOR
FINISHED

CAST STONE TREAD & TILE RISER



G. DAL TILE: RED SURETREAD (0Q81)
& PAYER (0Q84)



REVISED

RECEIVED
APR 24 2019
CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

GALLAGHER RESIDENCE
905 LIGHTHOUSE AVE.
PACIFIC GROVE, CA

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MBN
1176 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125
PH 408/297-0200 FAX 408/297-0384

SCALE	N.T.S	1
DATE	24 APR 2019	
REV.		
J.N.	1664	
C.F.	1664-COLORBOARD.DWG	DRAWN BY: