



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Mark Brodeur, Zoning Administrator

FROM: Wendy Lao, Assistant Planner

MEETING DATE: April 6, 2016

SUBJECT: Consideration of Architectural Design Change 16-173 to allow changes to Architectural and Use Permit 16-056 regarding the relocation of an in-ground hot tub.

ADDRESS: 1209 Surf Ave.

**ZONING/
LAND USE:** R-1-H/Medium Density 17.4 DU/ac

APPLICANT: Matt Clark, Owner

CEQA: Categorical Exemption under CEQA Guidelines Class 1, Section 15301

RECOMMENDATION

Uphold issuance of Administrative Design Change Permit 16-173 (See Attachment A, Draft Permit).

BACKGROUND

On January 21, 2016, Aaron Tollefson of AST Design Group applied for an Architectural and Use Permit to allow a balcony and an in-ground hot tub with plumbing. The site plans indicated that the hot tub would be located in the southwest corner of the property, approximately 10 feet and 10 inches away from the rear yard property boundary, and 11 feet away from the side yard property boundary. The item was recommended for approval by the Architecture Review Board on February 9, 2016, and received final approval by the Planning Commission on February 18, 2016 (See Attachment C, Resolution 16-01).

On March 2, 2016, property owner Matt Clark applied for an Architectural Design Change Permit to relocate the hot tub to approximately 5 feet from the rear yard property boundary, and 5 feet from the side yard property boundary. The permit, Architectural Design Change 16-173, was approved by Director of Community and Economic Development Department Director Mark Brodeur on March 7, 2016. On March 16, 2016, the City of Pacific Grove received a request for a hearing from a neighbor.

DISCUSSION

Several neighbors have expressed concerns regarding the location, noise impacts, sewer lines and easements of the project. There are no setback requirements because the hot tub is less than 70 square feet and lower than 6 feet in height, per Pacific Grove Municipal Code 23.64.180. The approved permit, Architectural and Use Permit 16-056, included conditions of approval requiring a noise reduction barrier for the hot tub's pump and to ensure that the structure would not be located above sewer lines or utility easements.

FINDINGS

1. The proposed development will meet the development regulations set forth in the R-1-H zoning district including Section 23.64.180 and;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be in keeping with the size, scale and proportions of the existing residence and other residences in the neighborhood, and;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

CONDITIONS

Staff recommends upholding issuance of Architectural Design Change 16-173, subject to the approved conditions of Architectural and Use Permit 16-056 (See Attachment C, Resolution 16-01).

CEQA

This project is exempt from CEQA under Categorical Exemptions, Section 15301, Class 1.

OPTIONS

1. Uphold issuance of Administrative Design Change (ADC) 16-173
2. Approve a modified ADC 16-173
3. Deny ADC 16-173

ATTACHMENTS

- A. ADC 16-173 – Draft Permit
- B. ADC 16-173 – Site Plan
- C. AP UP 16-056 – Resolution 16-01
- D. AP UP 16-056 – Site Plan
- E. CEQA Exemption Form

RESPECTFULLY SUBMITTED:


Wendy Lao
Assistant Planner

REVIEWED BY:


Mark Brodeur
CEDD Director



CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.cityofpacificgrove.org/cedd

Item 3a

**ARCHITECTURAL DESIGN CHANGE PERMIT (ADC) 16-173
FOR DESIGN CHANGES TO ARCHITECTURAL & USE PERMIT (AP UP) 16-056
FOR A PROPERTY LOCATED AT 1209 SURF AVENUE
TO RELOCATE THE HOT TUB TO 5 FEET FROM THE SIDE YARD PROPERTY BOUNDARY
AND 5 FEET FROM THE REAR YARD PROPERTY BOUNDARY.**

FACTS

1. On March 4, 2016, Community and Economic Development Department received an Architectural Design Change application for design changes to Architectural and Use Permit 16-056.
2. The subject site is located at 1209 Surf Avenue, Pacific Grove, 93950 (APN 006-013-008)
3. The subject site has a designation of Medium Density 17.4 DU/ac adopted by the City of Pacific Grove General Plan Land Use Map.
4. The project site is located in the R-1-H zoning district.
5. The project site is located in the Archaeologically Sensitive Area.
6. The project site is located in the Area of Special Biological Significance Watershed.
7. The subject site is approximately 6,789 gross square feet.
8. The subject site is developed with a two-story single family residence of approximately 2,632 square feet.
9. The subject site was built in 1952 and is not on the City's Historic Resources Inventory. A Phase I Historic Assessment was completed by Past Consultants, LLC on January 29, 2016 and determined the proposed project does not qualify as an individual historic resource under National, State, or City of Pacific Grove register criteria.
10. This project has been determined to be CEQA Exempt under CEQA Guidelines Class 1 Section 15301(e)(1).

FINDINGS

1. The proposed development will meet the development regulations set forth in the R-1-H zoning district including Section 23.64.180 and;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be in keeping with the size, scale and proportions of the existing residence and other residences in the neighborhood, and;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

PERMIT

Architectural Design Change (ADC) 16-173:

To allow design changes to Architectural Permit (AP) 16-056 for an in-ground hot tub to be located 5 feet from the side yard property boundary, and 6 feet from the rear yard property boundary.

Per Pacific Grove Municipal Code 23.70.030(b)(4) with the following conditions:

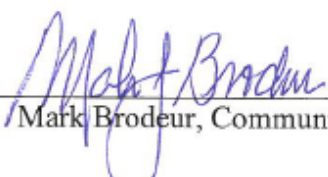
CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CEDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Conformance to Plans.** Development of the site shall conform to approved plans entitled "New Hot Tub for Clark Residence" dated 03/04/2016, on file with the Community Economic Development Department and to the Building Code, with the exception of any subsequently approved changes.
5. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
6. **Building Permit.** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.

APPROVED this day of March 7, 2016

Anyone wishing to request a public hearing on this matter may do so through submittal of a written request by 5:00pm on March 18, 2016 to Wendy Lao, Assistant Planner at the Community Economic Development Department at 300 Forest Ave., Pacific Grove, CA 93950 or WLao@cityofpacificgrove.org

If a written request for hearing is received by the above noted deadline, a public hearing will be held by the Zoning Administrator, and a separate notice will be mailed indicated when and where said hearing will take place. If a written request for hearing is not received by the above noted deadline, the CEDD Director's decision described above is final, and may not be appealed.



Mark Brodeur, Community and Economic Development Director



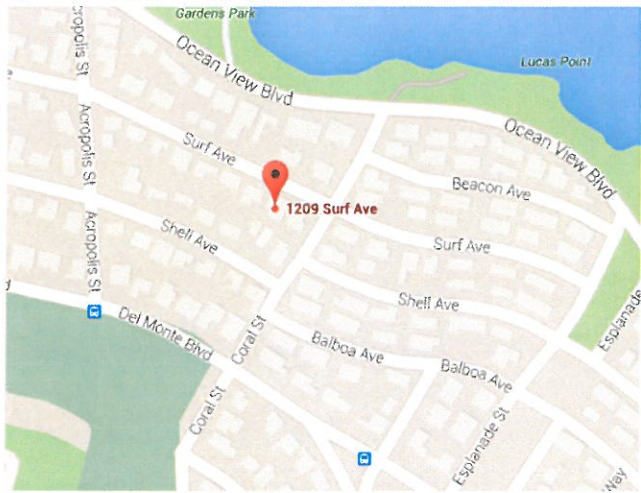
Date

NEW HOT TUB FOR CLARK RESIDENCE

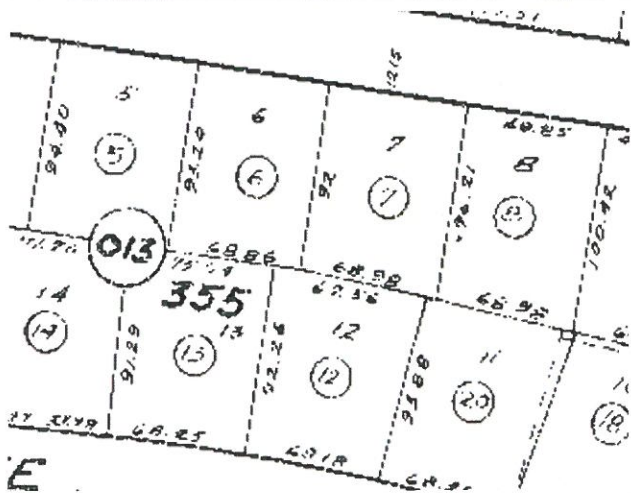
1209 SURF AVENUE
PACIFIC GROVE, CALIFORNIA 93950

Item 3a
AST
DESIGN GROUP
957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450

VICINITY MAP



ASSESSORS MAP



SHEET INDEX

- A1.0 COVER SHEET, PROJECT DATA, NOTES, ASSESSORS MAP
- A1.1 HOT TUB SITE PLAN, NOTES
- A1.2 HOT TUB DETAILS
- A1.3 BALCONY SITE PLAN, NOTES
- A1.4 BALCONY FLOOR PLAN
- A1.5 BALCONY EXTERIOR ELEVATIONS

PROJECT DATA

PROJECT ADDRESS	1209 SURF AVENUE PACIFIC GROVE, CALIFORNIA 93950
PARCEL NUMBER:	006-013-008
PACIFIC GROVE ZONING:	R-1
SITE AREA:	6,534 S.F.
CONSTRUCTION TYPE:	V-B
OCCUPANCY TYPE:	R-3
STORIES:	TWO STORY
SEWER SYSTEM:	PUBLIC SEWER SYSTEM
SQUARE FOOTAGE:	
EXISTING RESIDENCE:	2,632 S.F.
TOTAL:	2,632 S.F.
HOT TUB ADDITION:	38 S.F.
FIRE SPRINKLER REQUIREMENT:	NONE REQUIRED

GENERAL NOTES

- TYPICAL CONSTRUCTION REQUIREMENTS OF THE 2013 CRC SHALL APPLY WHERE APPLICABLE AND WHEN NOT SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.
- SITE FAMILIARIZATION:** CONTRACTOR IS RESPONSIBLE TO ACQUAINT HIMSELF WITH THE SITE PRIOR TO SUBMITTING A PROPOSAL. IF THE CONTRACTOR DISCOVERS ANY CONDITIONS DURING HIS SITE VISIT FAMILIARIZATION WHICH HE FEELS WILL ADVERSELY AFFECT THE WORK, OR WHICH HE FEELS HAVE NOT BEEN ADEQUATELY ADDRESSED BY THE CONSTRUCTION DOCUMENTS, HE IS TO NOTIFY THE DESIGNER IN WRITING.
- CONSTRUCTION DETAILS:** NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE CARRIED OUT BY RESPECTIVE CONTRACTORS IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR WITH MANUFACTURERS SPECIFICATIONS FOR INSTALLATION FOR THEIR MATERIALS OR ITEMS.
- DEMOLITION:** COORDINATE ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE WISHES TO RETAIN FOR HIS USAGE. ALL OTHER ITEMS BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. UTILIZE DUST CONTROL MEASURES DURING DEMOLITION.
- GLAZING:** ALL DOORS ARE TO HAVE TEMPERED GLAZING. ALL GLAZING IN ANY AREAS SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED GLASS. GLAZING WITHIN 24" OF ANY EDGE OF DOOR OR WITHIN 18" OF THE FLOOR MUST COMPLY.
- MECHANICAL AND PLUMBING:** IT IS THE ESSENCE OF THE CONTRACTOR THAT ALL SYSTEMS SHALL FUNCTION WELL INDIVIDUALLY AND IN COMBINATION WITH OTHER SYSTEMS. THE CONTRACTOR IS RESPONSIBLE FOR THE PLUMBING LAYOUT FOR ALL FIXTURES AND EQUIPMENT.
- GFI PROTECTION:** ALL 125 VOLT, SINGLE PHASE 15 AND 20 AMP RECEPTACLE OUTLETS INSTALLED OUTDOORS, IN GARAGES, IN BATHROOMS AND WITHIN 6 FEET OF KITCHEN SINKS ABOVE COUNTERTOP SURFACE SHALL HAVE GROUND FAULT CIRCUIT PROTECTION.
- SMOKE DETECTORS:** AN APPROVED SMOKE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. SMOKE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH SLEEPING AND EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED SMOKE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. ADDITIONS OR REPAIRS WITH A VALUATION OF \$1,000 OR MORE REQUIRE THAT SMOKE DETECTORS BE INSTALLED. IN DWELLING UNITS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY BY 24" OR MORE, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTORS SHALL SOUND AN ALARM IN ALL SLEEPING AREAS. (REFER TO 2013 RESIDENTIAL CODE FOR SMOKE DETECTORS).
- NAILING TO BE IN COMPLIANCE WITH 2013 CALIFORNIA RESIDENTIAL CODE TABLE.
- ALL HOT WATER FAUCETS THAT HAVE MORE THAN 10 FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM, (SECTION 8 (3), ORD. 3522).
- NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.
- ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUT-OFF NOZZLE. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.
- ALL MANUFACTURERS INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.
- THE HOT WATER PLUMBING SYSTEM SHALL BE RECIRCULATING HOT WATER SYSTEM.
- CARBON MONOXIDE DETECTORS:** AN APPROVED CARBON MONOXIDE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. CARBON MONOXIDE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED CARBON MONOXIDE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN THE HALLWAY. DETECTORS SHALL SOUND AND ALARM IN AREAS LOCATED NEAR SLEEPING AREAS. (REFER TO 2013 CALIFORNIA RESIDENTIAL CODE FOR CARBON MONOXIDE DETECTORS, SECTION R315).

FIRE DEPARTMENT NOTES

- FIRE007 - DRIVEWAYS**
DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UNOBSTRUCTED, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FEET. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED 15 PERCENT, WHERE THE GRADE EXCEEDS 8 PERCENT. A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.17 FEET OF ASPHALTIC CONCRETE OR 0.34 FEET OF AGGREGATE BASE SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS (22 TONS), AND BE ACCESSIBLE BY CONVENTIONAL DRIVE VEHICLES, INCLUDING SEDANS. FOR DRIVEWAYS WITH TURNS 90 DEGREES AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 28 FEET. FOR ALL DRIVEWAY TRUNS, AND ADDITIONAL SURFACE OF 4 FEET SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING 150 FEET IN LENGTH, BUT LESS THAN 800 FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS 800 FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN 400-FOOT INTERVALS. TURNOUTS SHALL BE A MINIMUM OF 12 FEET WIDE AND 30 FEET LONG WITH A MINIMUM OF 25-FOOT TAPRE AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150 FEET OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN 50 FEET OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE 40 FEET FROM THE CENTER LINE OF THE DRIVEWAY. IF A HAMMERHEAD / T IS USED, THE TOP OF THE "T" SHALL BE A MINIMUM OF 80 FEET IN LENGTH.
- FIRE011 - ADDRESSES FOR BUILDINGS**
ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE MINIMUM OF 4 INCH HEIGHT, 1/2 INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.
- FIRE019 - DEFENSIBLE SPACE REQUIREMENTS (STANDARD)**
MANAGE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 100 FEET OF STRUCTURES, OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER. TRIM TREE LIMBS TO A MINIMUM HEIGHT OF 6 FEET FROM THE GROUND. REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS. ADDITIONAL AND/OR ALTERNATE FIRE PROTECTION OR FIREBREAKS APPROVED BY THE FIRE AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.
- FIRE029 - ROOF CONSTRUCTION**
ALL NEW STRUCTURES AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 25 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF ICBO CLASS "A" ROOF CONSTRUCTION.

ARCHAEOLOGICAL RESOURCES NOTE:

IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE UNEXPECTEDLY DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED ON THE PROJECT PARCEL UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED, WITH THE APPROVAL OF THE LEAD AGENCY, AND IMPLEMENTED.

RECEIVED

MAR 4 2016

CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

REMODEL WORK
FOR:

CLARK
RESIDENCE

1209 SURF AVENUE
PACIFIC GROVE, CALIFORNIA
A.P.N.: 006-013-008

SCOPE OF WORK

- NEW 38 S.F. SUNKEN HOT TUB IN REAR YARD.

DRAWINGS:

PROJECT DATA
ASSESSORS MAP
SCOPE OF WORK
APPLICABLE CODES
VICINITY MAP
NOTES

DRAWN BY: AST

DRAWING DATE: Jan. 21, 2016

REVISION DATES:

March 2, 2016 (REVISION)

APPLICABLE CODES

THIS PROJECT SHALL COMPLY WITH ALL CURRENT CODES LISTED AS FOLLOWS:

- 2013 CALIFORNIA BUILDING CODE
- 2013 CALIFORNIA RESIDENTIAL CODE
- 2013 CALIFORNIA FIRE CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 TITLE 24 ENERGY COMPLIANCE

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT OR DESIGNER AND VISUAL CONTRACT WITH THEM CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SHEET

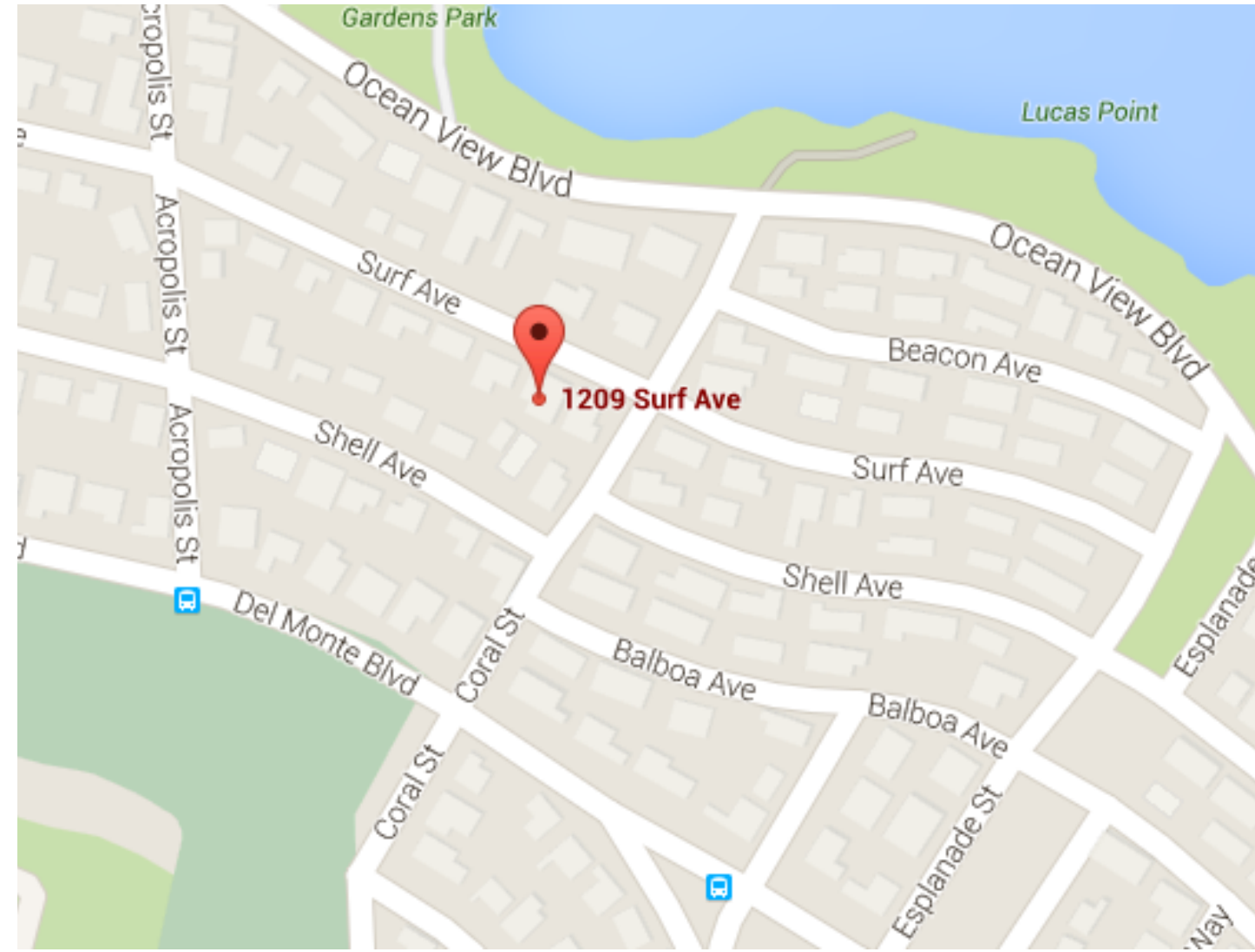
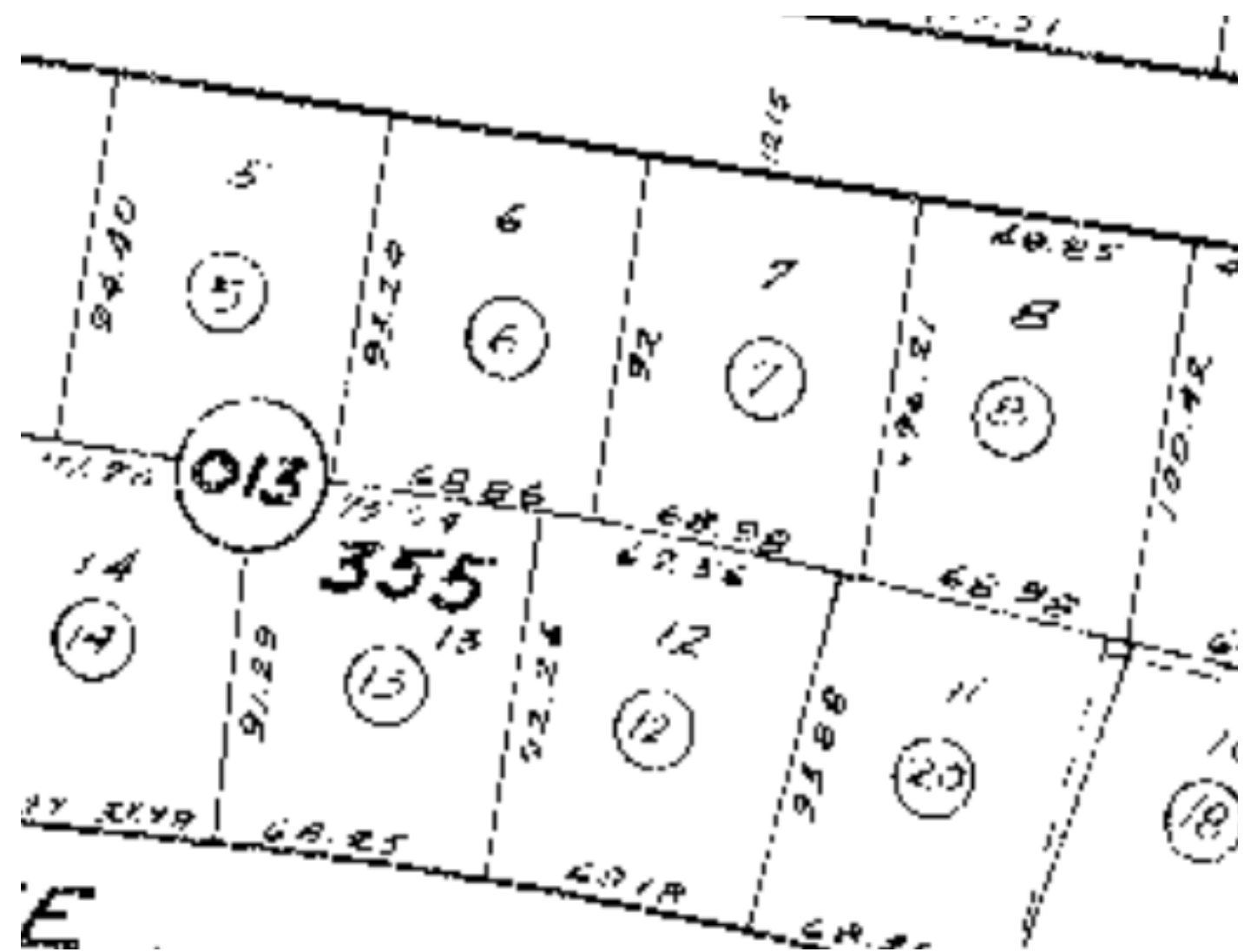
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NEW HOT TUB FOR CLARK RESIDENCE

**1209 SURF AVENUE
PACIFIC GROVE, CALIFORNIA 93950**

AST
DESIGN GROUP
957 ANGELUS WAY
DEL REY OAKS, CA 9394
PHONE: (831) 578-345

AARON S. TOLLEFSON, DESIGNER

VICINITY MAP	ASSESSORS MAP	SHEET INDEX	PROJECT DATA
		<div><div>A1.0</div><div>COVER SHEET, PROJECT DATA, NOTES, ASSESSORS MAP</div></div> <div><div>A1.1</div><div>HOT TUB SITE PLAN, NOTES</div></div> <div><div>A1.2</div><div>HOT TUB DETAILS</div></div> <div><div>A1.3</div><div>BALCONY SITE PLAN, NOTES</div></div> <div><div>A1.4</div><div>BALCONY FLOOR PLAN</div></div> <div><div>A1.5</div><div>BALCONY EXTERIOR ELEVATIONS</div></div>	<div><div>PROJECT ADDRESS</div><div>1209 SURF AVENUE PACIFIC GROVE, CALIFORNIA 93950</div></div> <div><div>PARCEL NUMBER:</div><div>006-013-008</div></div> <div><div>PACIFIC GROVE ZONING:</div><div>R-1</div></div> <div><div>SITE AREA:</div><div>6,534 S.F.</div></div> <div><div>CONSTRUCTION TYPE:</div><div>V-B</div></div> <div><div>OCCUPANCY TYPE:</div><div>R-3</div></div> <div><div>STORIES:</div><div>TWO STORY</div></div> <div><div>SEWER SYSTEM:</div><div>PUBLIC SEWER SYSTEM</div></div> <div><div>SQUARE FOOTAGE:</div><div></div></div> <div><div>EXISTING RESIDENCE:</div><div>2,632 S.F.</div></div> <div><div>TOTAL:</div><div>2,632 S.F.</div></div> <div><div>HOT TUB ADDITION:</div><div>38 S.F.</div></div> <div><div>FIRE SPRINKLER REQUIREMENT:</div><div>NONE REQUIRED</div></div>
GENERAL NOTES	FIRE DEPARTMENT NOTES	ARCHAEOLOGICAL RESOURCES NOTE:	
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THE CONTRACTOR IS RESPONSIBLE FOR THE PLUMBING LAYOUT FOR ALL FIXTURES AND EQUIPMENT.</div></div> <div><div>7.</div><div>GFI PROTECTION: ALL 125 VOLT, SINGLE PHASE 15 AND 20 AMP RECEPTACLE OUTLETS INSTALLED OUTDOORS, IN GARAGES, IN BATHROOMS AND WITHIN 6 FEET OF KITCHEN SINKS ABOVE COUNTERTOP SURFACE SHALL HAVE GROUND FAULT CIRCUIT PROTECTION.</div></div> <div><div>8.</div><div>SMOKE DETECTORS: AN APPROVED SMOKE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. SMOKE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH SLEEPING AND EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED SMOKE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. ADDITIONS OR REPAIRS WITH A VALUATION OF \$1,000 OR MORE REQUIRE THAT SMOKE DETECTORS BE INSTALLED. IN DWELLING UNITS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY BY 24" OR MORE, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTORS SHALL SOUND AN ALARM IN ALL SLEEPING AREAS. (REFER TO 2013 RESIDENTIAL CODE FOR SMOKE DETECTORS).</div></div> <div><div>9.</div><div>NAILING TO BE IN COMPLIANCE WITH 2013 CALIFORNIA RESIDENTIAL CODE TABLE.</div></div> <div><div>10.</div><div>ALL HOT WATER FAUCETS THAT HAVE MORE THAN 10 FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM. (SECTION 6 (Q), ORD. 3522).</div></div> <div><div>11.</div><div>NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.</div></div> <div><div>12.</div><div>ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUT-OFF NOZZLE. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.</div></div> <div><div>13.</div><div>ALL MANUFACTURERS INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.</div></div> <div><div>14.</div><div>THE HOT WATER PLUMBING SYSTEM SHALL BE RECIRCULATING HOT WATER SYSTEM.</div></div> <div><div>15.</div><div>CARBON MONOXIDE DETECTORS: AN APPROVED CARBON MONOXIDE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. CARBON MONOXIDE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED CARBON MONOXIDE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN THE HALLWAY. DETECTORS SHALL SOUND AND ALARM IN AREAS LOCATED NEAR SLEEPING AREAS. (REFER TO 2013 CALIFORNIA RESIDENTIAL CODE FOR CARBON MONOXIDE DETECTORS, SECTION R315).</div></div>	<div><div>FIRE007 - DRIVEWAYS</div><div>DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UNOBSTRUCTED, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FEET. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED 15 PERCENT. WHERE THE GRADE EXCEEDS 8 PERCENT, A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.17 FEET OF ASPHALTIC CONCRETE ON 0.34 FEET OF AGGREGATE BASS SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS (22 TONS), AND BE ACCESSIBLE BY CONVENTIONAL DRIVE VEHICLES, INCLUDING SEDANS. FOR DRIVEWAYS WITH TURNS 90 DEGREES AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 28 FEET. FOR ALL DRIVEWAY TRUNS, AND ADDITIONAL SURFACE OF 4 FEET SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING 150 FEET IN LENGTH, BUT LESS THAN 800 FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS 800 FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN 400-FOOT INTERVALS. TURNOUTS SHALL BE A MINIMUM OF 12 FEET WIDE AND 30 FEET LONG WITH A MINIMUM OF 25-FOOT TAPRE AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150 FEET OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN 50 FEET OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE 40 FEET FROM THE CENTER LINE OF THE DRIVEWAY. IF A HAMMERHEAD / T IS USED, THE TOP OF THE "T" SHALL BE A MINIMUM OF 60 FEET IN LENGTH.</div><div><div>FIRE011 - ADDRESSES FOR BUILDINGS</div><div>ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE MINIMUM OF 4 INCH HEIGHT, 1/2 INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.</div><div><div>FIRE019 - DEFENSIBLE SPACE REQUIREMENTS (STANDARD)</div><div>MANAGE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 100 FEET OF STRUCTURES, OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER. TRIM TREE LIMBS TO A MINIMUM HEIGHT OF 6 FEET FROM THE GROUND. REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS. ADDITIONAL AND/OR ALTERNATE FIRE PROTECTION OR FIREBREAKS APPROVED BY THE FIRE AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.</div><div><div>FIRE029 - ROOF CONSTRUCTION</div><div>ALL NEW STRUCTURES AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 25 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF ICBO CLASS "A" ROOF CONSTRUCTION.</div></div></div></div></div>	<div><div>IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE UNEXPECTEDLY DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED ON THE PROJECT PARCEL UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED, WITH THE APPROVAL OF THE LEAD AGENCY, AND IMPLEMENTED.</div></div>	
			SCOPE OF WORK
			<div><div>1.</div><div>NEW 38 S.F. SUNKEN HOT TUB IN REAR YARD.</div></div>
			APPLICABLE CODES
			<div><div>THIS PROJECT SHALL COMPLY WITH ALL CURRENT CODES LISTED AS FOLLOWS:</div><div>2013 CALIFORNIA BUILDING CODE</div><div>2013 CALIFORNIA RESIDENTIAL CODE</div><div>2013 CALIFORNIA FIRE CODE</div><div>2013 CALIFORNIA MECHANICAL CODE</div><div>2013 CALIFORNIA PLUMBNG CODE</div><div>2013 CALIFORNIA ELECTRICAL CODE</div><div>2013 TITLE 24 ENERGY COMPLIANCE</div></div>

REMODEL WORK
FOR:

CLARK
RESIDENCE

1209 SURF AVENUE
PACIFIC GROVE, CALIFORNIA
A.P.N.: 006-013-008

DRAWINGS:

PROJECT DATA
ASSESSORS MAP
SCOPE OF WORK
APPLICABLE CODES
VICINITY MAP
NOTES

DRAWN BY: AST

DRAWING DATE: Jan. 21, 2016

REVISION DATES:
March 2, 2016 (REVISION)

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT OR DESIGNER. ANY VISUAL CONTRACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SHEET

A1.0

REMODEL WORK
FOR:**CLARK
RESIDENCE**

1209 SURF AVENUE
PACIFIC GROVE, CALIFORNIA
A.P.N.: 006-013-008

DRAWINGS:
SITE PLAN
NOTES

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SHEET

A1.1**NOTES:**

1. PROVIDE SEISMIC STRAPPING FOR WATER HEATER PER CBC REQUIREMENTS, INSTALL ON PAD 18" MINIMUM ABOVE FLOOR IN CONDITION APPLIES.
2. SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH, HARD, NON-ABSORBANT SURFACE TO A HEIGHT OF 70" MIN. ABOVE THE DRAIN INLET (SECTION 8071.3, CBC).
3. BATHROOM FANS TO PROVIDE A MINIMUM 5 AIR CHANGES PER HOUR.
4. GARAGE TO HOSE WALLS AND CEILING TO BE PROTECTED WITH 1-HOUR FIRE RATED MATERIALS ON THE GARAGE SIDE. USE 5/8" GYPSUM BOARD TYPE "X".
5. ATTIC ACCESS ARE TO BE 24" X 30" MINIMUM.
6. GLAZING IN AREAS SUBJECT TO HUMAN IMPACT, LESS THAN 24" TO DOORS AND LESS THAN 18" FLOOR TO WINDOW, SHALL BE SAFETY GLAZING MATERIAL SUCH AS WIRED GLASS, LAMINATED GLASS, TEMPERED GLASS OR SAFETY PLASTIC. GLAZING USED IN-DOORS AND PANELS OF SHOWERS AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS.
7. DRYER TO BE VENTED TO EXTERIOR WITH 4"Ø DUCT LINE. (14'-0" MAXIMUM RUN)
8. PROVIDE A NON-REMOVABLE BACKFLOW PREVENTION DEVICE AT HOSE-BIBS.
9. WINDOWS IN SLEEPING ROOMS SHALL PROVIDE:

MINIMUM NET CLEAR OPENABLE DIMENSION OF 5.7 S.F. IN AREA
MINIMUM NET CLEAR OPENABLE DIMENSION OF 24 INCHES IN HEIGHT
MINIMUM NET CLEAR OPENABLE DIMENSION OF 20 INCHES IN WIDTH
OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR
10. THE REQUIRED NATURAL LIGHT FOR EVERY SPACE INTENDED FOR HUMAN OCCUPANCY WITH GLAZED OPENINGS WITH AN AREA OF NOT LESS THAN 8% OF ROOM FLOOR AREA. (CBC 1205.2)
11. THE REQUIRED NATURAL VENTILATION IN OCCUPIED SPACES THROUGH OPENABLE EXTERIOR WALL OPENINGS WITH AN AREA NOT LESS THAN 4% OF THE AREA BEING VENTILATED. (CBC 1204.1)
12. WATER CLOSETS SHALL NOT USE MORE THAN 1.28 GALLONS PER FLUSH PER STATE HEALTH AND SAFETY CODE (SECTION 17921.3(b)).
13. USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE AT THE SHOWERS AND TUB-SHOWER COMBINATION.
14. SMOKE DETECTORS ARE TO SOUND AND ALARM AUDIBLE IN ALL BEDROOMS OF THE RESIDENCE.
15. SMOKE DETECTORS SHALL RECEIVE THEIR POWER FROM THE HOUSE PRIMARY WIRE AND SHALL ALSO HAVE BATTERY BACK-UP.
16. INSTALL UFER GROUNDING FOR THE 200 AMP ELECTRICAL SERVICE PER NEC 250-50(c).
17. KITCHEN COUNTER OUTLETS SHALL BE SPACED SO THAT NO POINT ALONG THE WALL LINE OF THE COUNTER IS MORE THAN 2'-0" FROM AN ELECTRICAL OUTLET.
18. THE MASTER BATHROOM OUTLETS SHALL HAVE APPROVED GROUND FAULT CIRCUIT PROTECTION.
19. OUTDOOR OUTLETS (WP/GFCI) SHALL BE INSTALLED AT THE FRONT AND REAR OF THE RESIDENCE.
20. AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS, OTHER EQUIPMENT (LIGHTING, EXHAUST FANS), WITHIN THE SAME BATHROOM, MAY BE SUPPLIED BY THE SAME BRANCH CIRCUIT WHERE THE BRANCH CIRCUIT SUPPLIES A SINGLE BATHROOM ONLY.
21. AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS.
22. CLOTHES DRYER AND ELECTRIC RANGES SHALL HAVE A 4-WIRE GROUNDED ELECTRICAL OUTLET.
23. PROVIDE WEEP SCREEDS AROUND PERIMETER OF RESIDENCE WHERE CEMENT PLASTER FINISH OCCURS. PROVIDE 4" CLEAR ABOVE EARTH AND 2" CLEAR ABOVE PAVED AREAS.

ROOM FINISH MATERIAL NOTES:

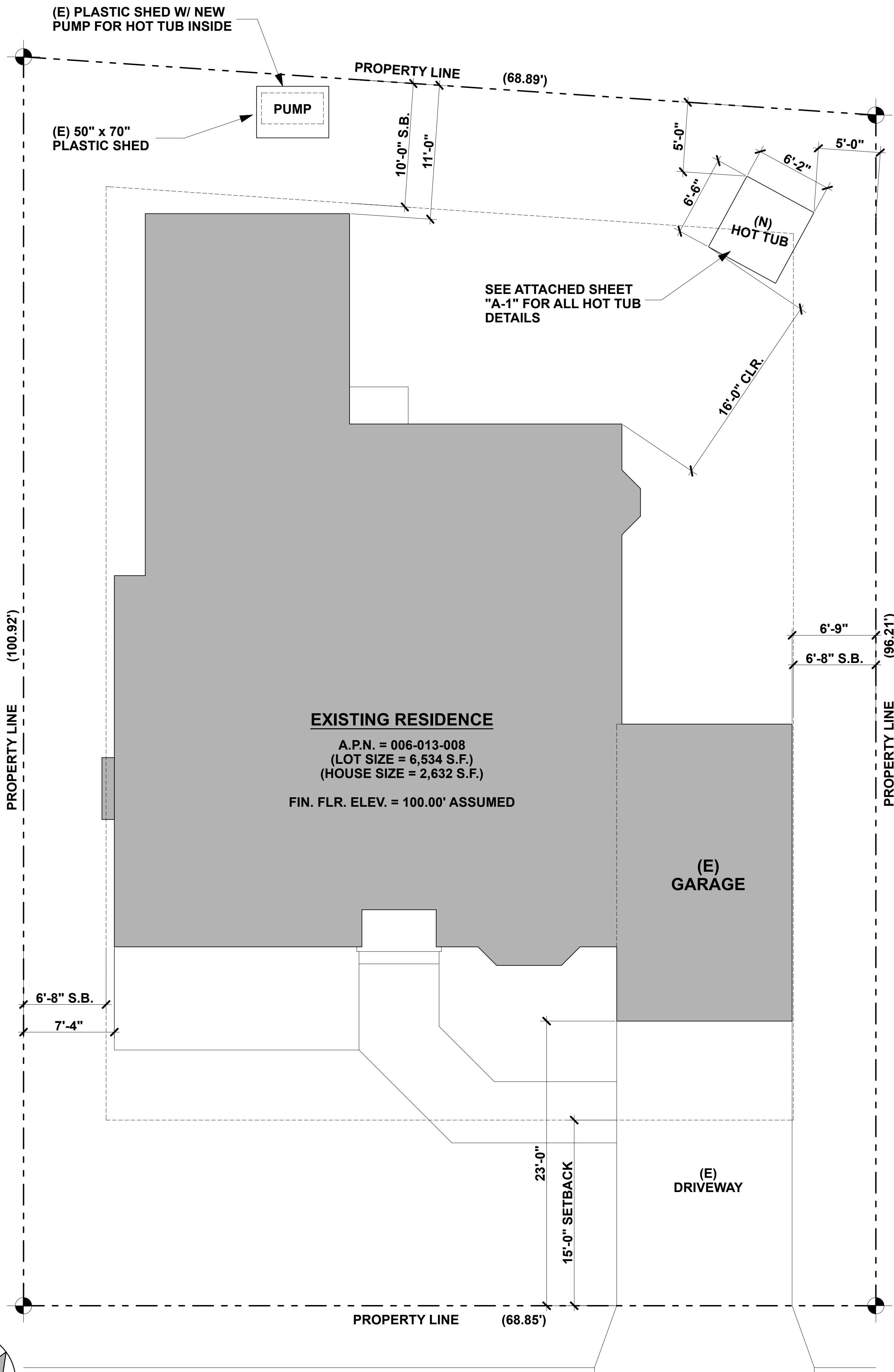
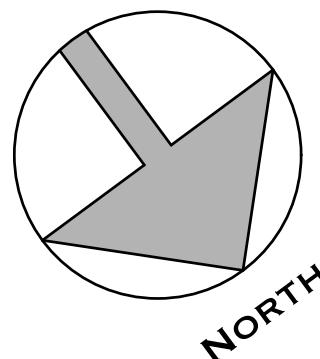
1. ALL WALLS AND CEILINGS OF ALL ROOMS ARE TO BE THIN-COAT PLASTER SMOOTH FINISH UNLESS OTHERWISE NOTED AND ARE IN COMPLIANCE WITH THE DEAD LOADS SPECIFIED BY THE STRUCTURAL ENGINEER.
2. ALL FLOORS ARE TO BE 3/4 HARDWOOD, TILE OR CARPET UNLESS OTHERWISE NOTED AND ARE IN COMPLIANCE WITH THE DEAD LOADS SPECIFIED BY THE STRUCTURAL ENGINEER.

GREEN BUILDING REQUIREMENTS:

1. ALL WATER CLOSETS SHALL HAVE A MAXIMUM FLUSH VOLUME OF 1.28 GALLONS, AND SHALL MEET OR EXCEED THE MINIMUM PERFORMANCE CRITERIA DEVELOPED FOR CERTIFICATION OF HIGH-EFFICIENCY TOILETS UNDER THE WATER SENSE PROGRAM ADOPTED BY THE EPA.
2. PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN CGBSC SECTIN 4.303.3
3. IN AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING ARE PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION, THEY SHALL COMPLY WITH THE REQUIREMENTS OF CGBSC SECTION 4.304.1
4. MINIMUM 50% OF THE NON-HAZARDOUS CONSTRUCTION OR DEMOLITION DEBRIS SHALL BE RECYCLED AND/OR SALVAGED, UNLESS A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE IN MORE STRINGENT. WHERE THE LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION AND WASTE MANAGEMENT PLAN COMPLYING WITH CGBSC SECTION 4.408.2 SHALL BE SUBMITTED FOR APPROVAL
5. AT THE TIME OF FINAL INSPECTION, AN "OPERATION AND MAINTENANCE MANUAL" SHALL BE PLACED IN THE BUILDING THAT CONTAINS THE APPLICABLE ITEMS LISTED IN CGBSC SECTION 4.410.1.
6. INSTALLED GAS FIREPLACES SHALL BE DIRECT-VENT SEALED COMBUSTION TYPE (CGBSC 4.503.1)
7. DUCTS AND OTEHR RELATED AIR DISTRIBUTION EQUIPMENT SHALL HAVE OPENINGS COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER ACCEPTABLE METHODS. (CGBSC 4.504.1)
8. FINISH MATERIALS, CARPET SYSTEMS, RESILIENT FLOORING, AND COMPOSITE WOOD PRODUCTS SHALL COMPLY WITH THE POLLUTANT CONTROL REQUIREMENTS OF CGBSC SECTION 4.504.2 AND 4.504.3.
CARPET ADHESIVE = 50 (VOC LIMIT)
CARPET PAD ADHESIVE = 50 (VOC LIMIT)
WOOD FLOORING ADHESIVE = 100 (VOC LIMIT)
SUBFLOOR ADHESIVE = 50 (VOC LIMIT)
DRYWALL ADHESIVE = 50 (VOC LIMIT)
9. MOISTURE CONTENT OF WALL AND FLOOR FRAMING MEMBERS SHALL BE VERIFIED PRIOR TO ENCLOSURE, FRAMING MEMBERS SHALL NOT BE ENCLOSED WHEN MOISTURE CONTENT EXCEEDS 19% (CGBSC 4.505.3)
10. BATHROOM EXHAUST FANS SHALL COMPLY WITH THE FOLLOWING:
ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE OF BUILDING. UNLESS FUNCTIONING AS A PART OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50-80%.

SITE PLAN

3/16" = 1'-0"



S U R F A V E N U E

AST

DESIGN GROUP

957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450

AARON S. TOLLEFSON, DESIGNER

REMODEL WORK
FOR:CLARK
RESIDENCE1209 SURF AVENUE
PACIFIC GROVE, CALIFORNIA
A.P.N.: 006-013-008DRAWINGS:
HOT TUB DETAILS
NOTESDRAWN BY: AST
DRAWING DATE: Jan. 21, 2016
REVISION DATES:
March 2, 2016 (REVISION)THE USE OF THESE PLANS AND
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CONTRACT WITH THEM CONSTITUTES
PRIMA FACIE EVIDENCE OF ACCEPTANCE
OF THESE RESTRICTIONS.

SHEET

A1.2

GENERAL NOTES:

1. CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH THE CONSTRUCTION DOCUMENTS PRIOR TO STARTING CONSTRUCTION.
2. THE DESIGNER SHALL BE NOTIFIED OF ANY OMISSIONS OR DISCREPANCIES IN THE WORKING DRAWINGS AND/OR SPECIFICATIONS BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
3. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOW ON THE PLANS, SECTIONS & DETAILS.
4. SPECIFIC DETAILS AND NOTES TAKE PRECEDENCE OVER STRUCTURAL AND TYPICAL DETAILS.
5. WHERE SPECIFIC DETAILS ARE NOT PROVIDED, CONSTRUCTION CAN FOLLOW DETAILS FOR SIMILAR CONDITIONS, UNLESS CONFLICT OCCURS.
6. THE CONTRACTOR SHALL PERIODICALLY REMOVE DEBRIS AND CLEAN THE AREA WHERE THEY ARE WORKING.
7. THE CONTRACTOR SHALL TURN OVER TO THE OWNER A CLEAN AND COMPLETE JOB. ANY WORK NOT SPECIFICALLY CALLED FOR OR SPECIFIED, BUT NECESSARY TO COMPLY WITH THE INTENT OF QUALITY AND COMPLETENESS BE PERFORMED AS PART OF THIS PROJECT.
8. ALL GYP. BD. SHALL BE $\frac{1}{2}$ " U.O.N.
9. CONCRETE SHALL BE PROPORTIONED TO GIVE A MINIMUM OF 28 DAYS COMPRESSIVE STRENGTH. PLACE CONCRETE IN ACCORDANCE WITH ACI-301. ENSURE THAT REINFORCEMENT AND EMBEDDED ITEMS ARE NOT DISTURBING PLACEMENT OF CONCRETE. PROTECT CONCRETE FROM PREMATURE DRYING, MAINTAIN CONCRETE WITH MINIMAL MOISTURE LOSS AT A RELATIVELY CONSTANT TEMPERATURE FOR A PERIOD NECESSARY FOR HYDRATION OF CEMENT AND HARDENING OF CONCRETE.

SPA NOTES:

1. SPA TO BE CONSTRUCTED OF ICF BLOCK WITH R-22 INTERIOR FACE OF BLOCK ENCLOSURES AND CONCRETE TO BE PAINTED WITH 2 COATS OF HYDROBAN WATERPROOFING CONTINUOUS. ADDITIONALLY INTERIOR SURFACES TO BE COVERED WITH 1 LAYER OF WATERPROOF THINSET TILE MASTIC ON ALL TILE SURFACES.
2. THE POOL COVER IS SUNSTAR SPA COVER-PREMIUM; SAFETY RATED BY UNDERWRITERS LABORATORY AND HAS UL CLASSIFICATION MARK. AN UNDERSLAB INSULATION "INSAL-TARP" R-8 WILL BE INSTALLED.
3. ALL RECEPTACLES LOCATED WITHIN 10'-0" OF THE INSIDE WALL OF THE HOT TUB SHALL BE PROTECTED BY A GFCI. ALL LIGHT FIXTURES AND LIGHTING OUTLETS OVER THE SPACE OR WITHIN 5 FEET OF THE INSIDE WALLS SHALL BE MIN. 7'-6" ABOVE THE MAX. WATER LEVEL AND SHALL BE PROTECTED BY GFCI.
4. SPA BONDING 680.23 CEC; ALL REBAR AND EQUIPMENT SHALL BE BONDED TOGETHER. SUCTION OUTLETS SHALL HAVE ANTI-ENTRAPMENT PROTECTION IN ACCORDANCE WITH ANSI/ASPS-7.

RESIDENTIAL MANDATORY MEASURES: POOL AND SPA HEATING SYSTEMS AND EQUIPMENT MEASURES CEC 114(A); ANY POOL OR SPA HEATING SYSTEM SHALL BE CERTIFIED TO HAVE: A THERMAL EFFICIENCY THAT COMPLIES WITH THE APPLIANCE EFFICIENCY REGULATIONS; AN ON-OFF SWITCH MOUNTED OUTSIDE THE HEATER.

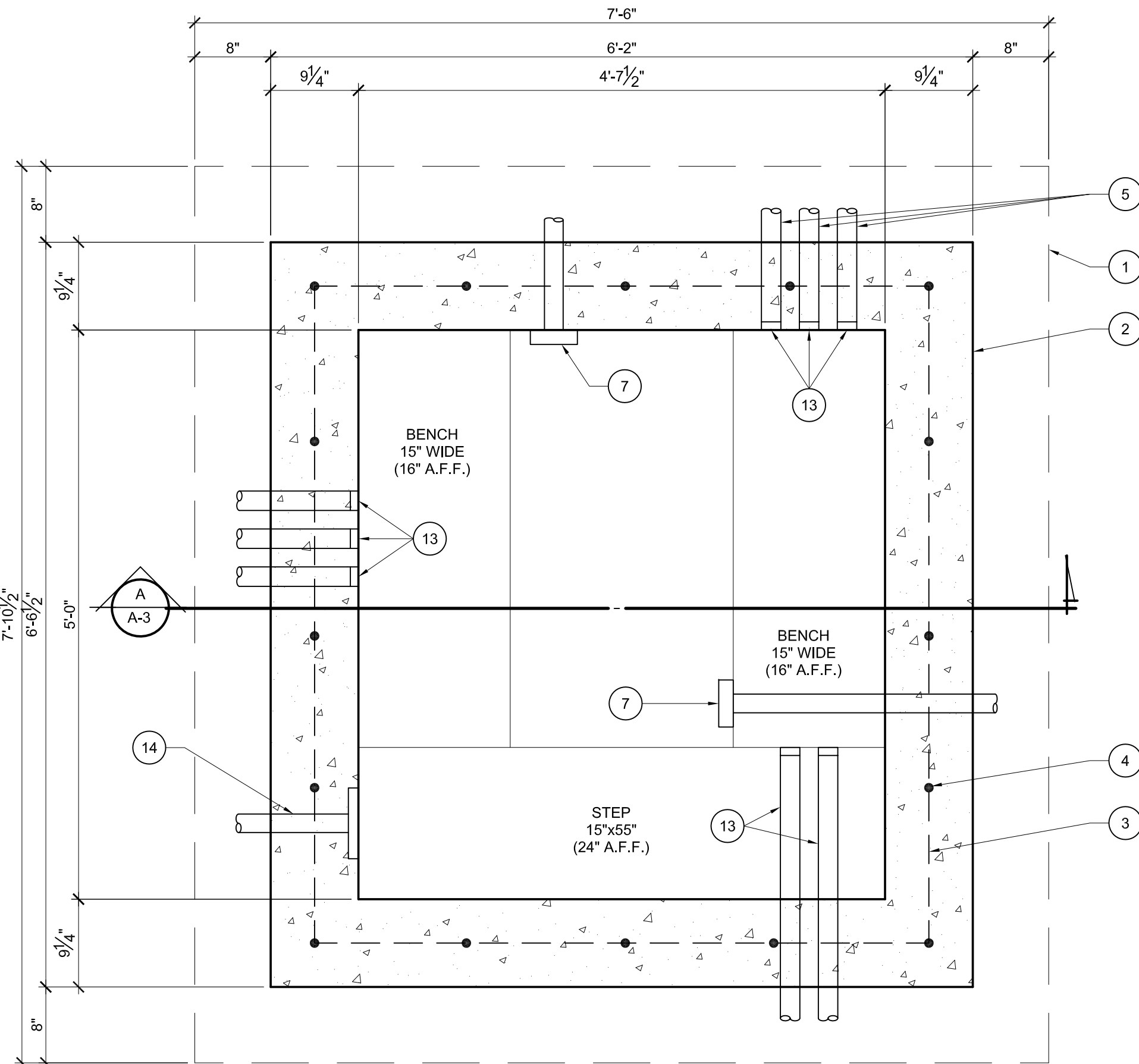
A #8 CONTINUOUS COPPER WIRE BONDING LOOP SHALL BE ATTACHED AT EACH CORNER

CEC 114(B)3; POOLS SHALL HAVE DIRECTIONAL INLETS THAT ADEQUATELY MIX THE POOL WATER, AND A TIME SWITCH THAT WILL ALLOW ALL PUMPS TO BE SET OR PROGRAMMED TO RUN ONLY DURING OFF-PEAK ELECTRIC DEMAND PERIODS.

CEC 150(P); RESIDENTIAL POOL SYSTEMS OR EQUIPMENT MEET THE PUMP SIZING, FLOW RATE, PIPING, FILTERS AND VALVE REQUIREMENTS OF CEC 150(P).
5. 2008 BUILDING ENERGY EFFICIENCY STANDARDS PAGE 62 EXCEPTION 1 TO SECTION 114(A)4: LISTED PACKAGE UNITS WITH FULLY INSULATED ENCLOSURES AND WITH TIGHT-FITTING COVERS THAT ARE INSULATED TO AT LEAST R-6.

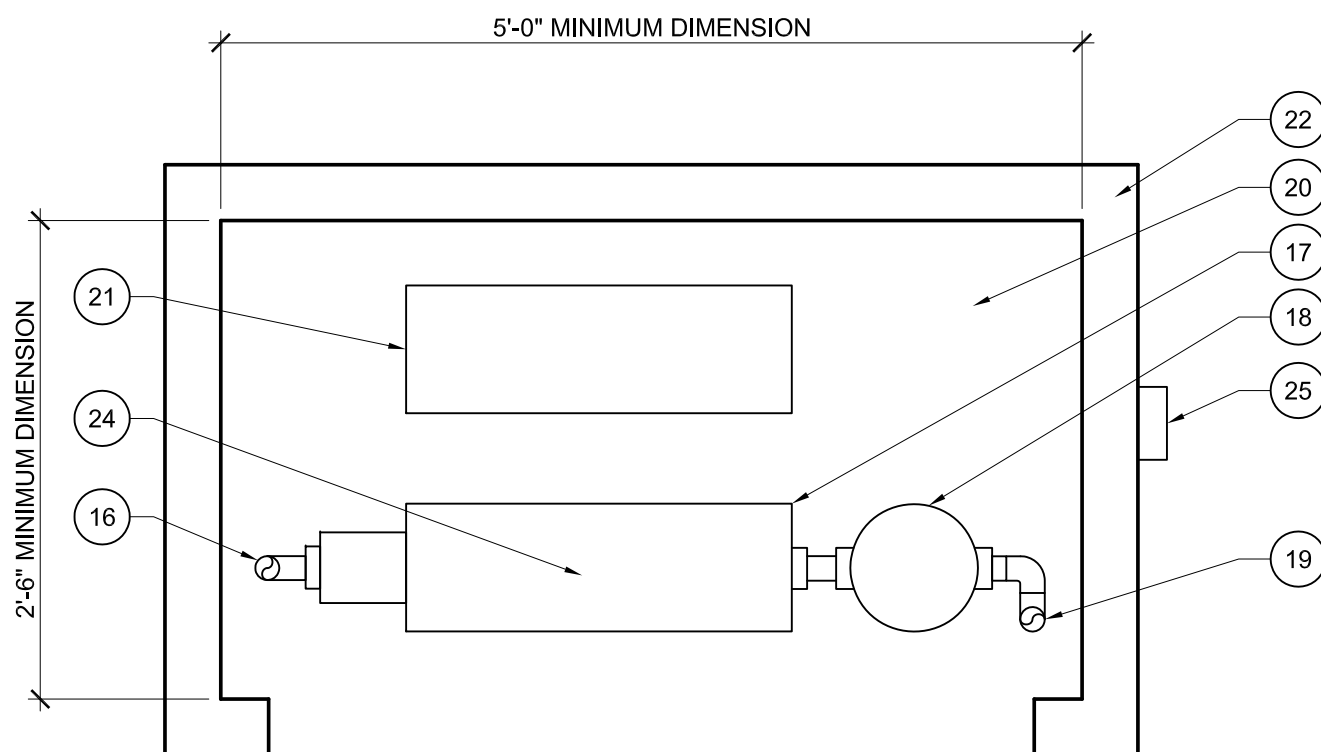
KEYED NOTES:

- 1 OVER EXCAVATE BY 6" MINIMUM AROUND THE SPA.
- 2 INSULATED CONCRETE FORM (ICF). CONCRETE TO HAVE $\frac{3}{4}$ " AGGREGATE, NO AIR, 3" SLUMP.
- 3 $\frac{3}{8}$ " HORIZONTAL REINFORCEMENT BARS @ 16" O.C.
- 4 $\frac{3}{8}$ " VERTICAL REINFORCEMENT BARS @ 16" O.C.
- 5 2" SCHED 40 PVC PIPE CONNECTED TO THE PUMP, TYP. @ ALL JETS.
- 6 (2) 5" SUPER HI-FLO SUCTION DRAIN (WATERWAY SPC-3V-2"). TYP. OF 2 FIELD VERIFY LOCATION.
- 7 FLOOR DRAIN.
- 8 2" THICK COPING MATERIAL.
- 9 PAVING MATERIAL.
- 10 NOT USED.
- 11 6" CONCRETE SLAB WITH $\frac{3}{8}$ " REINFORCEMENT BAR GRAD @ 16" O.C.
- 12 NOT USED.
- 13 SPA JETS, TYP. OF 3. FIELD VERIFY LOCATION.
- 14 SKIMMER WITH 1 $\frac{1}{2}$ " SCHED. 40 PVC TO BE CONNECTED TO THE PUMP, TYP. OF 1. FIELD VERIFY LOCATION.
- 15 NOT USED.
- 16 2" SCHED. 40 PVC PIPE CONNECTED TO THE SPA FLOOR DRAIN AND SKIMMER.
- 17 CONTROL UNIT WITH GFCI POWER CORD 50A (220V).
- 18 IN-LINE FILTER.
- 19 2" SCHED. 40 PVC PIPE CONNECTED TO THE SPA JETS.
- 20 4" HOUSEKEEPING PAD w/ #3 REBAR @ 18" O.C.E.W.
- 21 2HP PUMP (230V) 2-SPEED PUMP.
- 22 2x4 STUD WALL. FINISH PER CUSTOMER.
- 23 HINGED ROOF; FINISH TO MATCH WALLS.
- 24 HYDROQUIP HEATER (MODEL 48-PS40-SA) 1.0KW/4.0KW 115V (LOCATED UNDERNEATH THE CONTROL UNIT).
- 25 SPA DISCONNECT.
- 26 INSAL-TARP UNDERSLAB UNSULATION R-8.



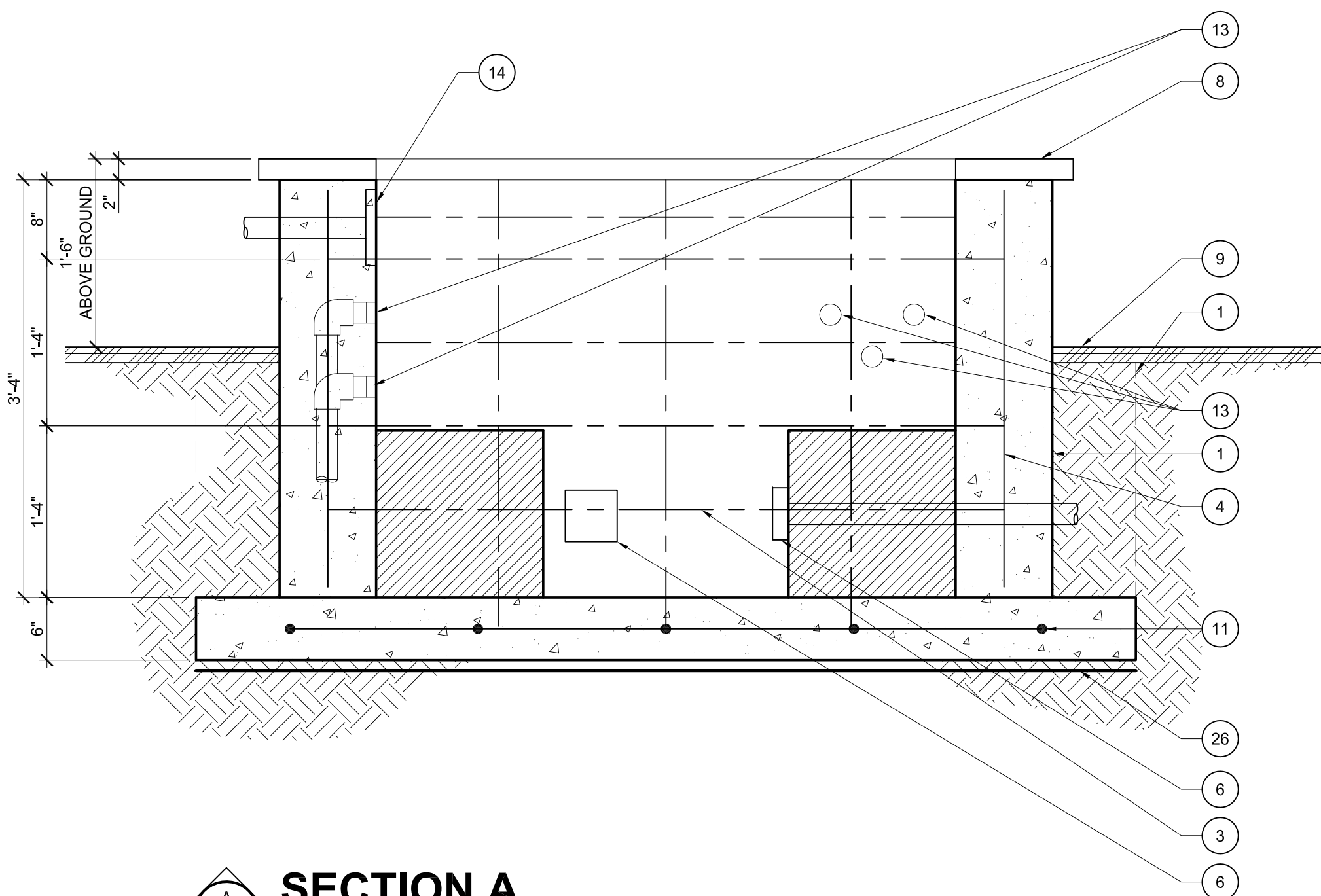
PLAN

1"=1'-0"



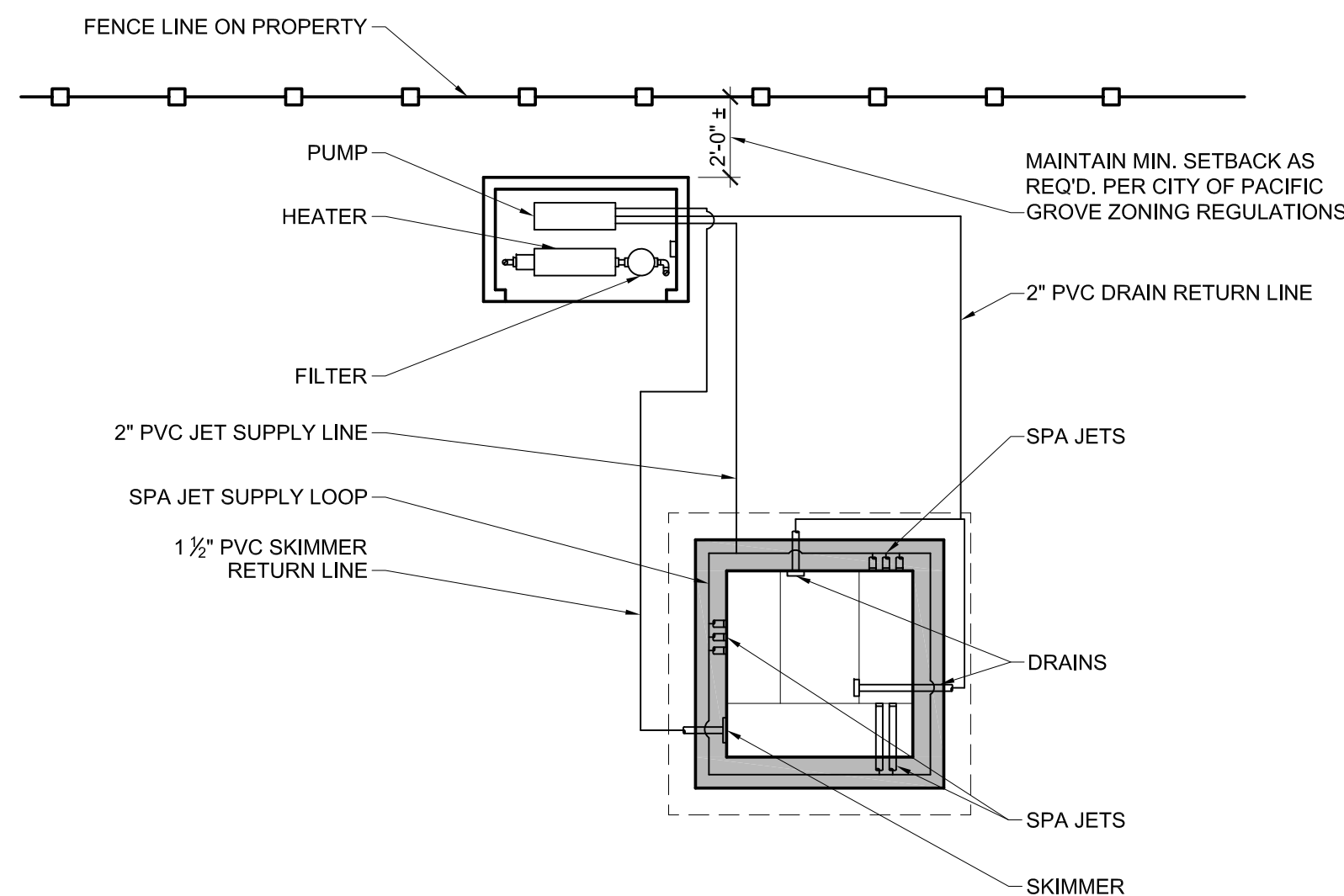
PUMP PLAN

1"=1'-0"



SECTION A

1"=1'-0"



PLUMBING PLAN

1/4"=1'-0"

TODD M. KREMPASKY, DRAFTING & DESIGN
DATE: 11-11-15
REVISION DATE
NEW SPA FOR:
MR. MATT CLARK
1209 SURF AVE.
PACIFIC GROVE, CA 93950
(831) 277-7058
toddmk@comcast.net

A-1



RESOLUTION NO. 16-01

ARCHITECTURAL AND USE PERMIT (AP UP) NO. 16-056 FOR A PROPERTY LOCATED AT 1209 SURF AVENUE TO ALLOW THE ADDITION OF A SECOND STORY BALCONY OF 101 SQUARE FEET AT THE FRONT OF THE EXISTING TWO-STORY RESIDENCE, AND A 38 SQUARE FEET ACCESSORY STRUCTURE (INGROUND HOT TUB) WITH PLUMBING AT THE REAR OF THE PROPERTY.

FACTS

1. The subject site is located at 1209 Surf Avenue, Pacific Grove, 93950 (APN 006-013-008)
2. The subject site has a designation of Medium Density 17.4 DU/ac adopted by the City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-1-H zoning district.
4. The project site is located in the Archaeologically Sensitive Area.
5. The project site is located in the Area of Special Biological Significance Watershed.
6. The subject site is approximately 6,789 gross square feet.
7. The subject site is developed with a two-story single family residence of approximately 2,632 square feet.
8. The subject site was built in 1952 and is not on the City's Historic Resources Inventory.
9. A Phase I Historic Assessment was completed by Past Consultants, LLC on January 29, 2016 and determined the proposed project does not qualify as an individual historic resource under National, State, or City of Pacific Grove register criteria.
10. This project has been determined to be CEQA Exempt under CEQA Guidelines Class 1 Section 15301(e)(1).
11. A Use Permit is required when a Category 3 Accessory Structure (hot tub) is to be equipped with plumbing, per Pacific Grove Municipal Code (P.G.M.C.) Section 23.64.180.

FINDINGS

1. The proposed development is in conformance with the Monterey Peninsula Water Management District (MPWMD) regulations, as the MPWMD does not regulate exterior water fixtures, and;
2. The proposed use is allowed in the R-1-H zoning district with a Use Permit, per P.G.M.C. Section 23.64.180, and;
3. The Preliminary Archaeological Assessment completed on January 14, 2016 by Gary S. Breschini, Ph.D., concluded that the project site provides no surface evidence of potentially significant cultural resources, and;
4. The proposed development will meet the development regulations set forth in the R-1-H zoning district including setbacks and height requirements, and;
5. The establishment, maintenance or operation of the use will not, under the circumstances of this particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use, and;

6. The use, as described and conditionally approved, will not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city, and;
7. The location, size, and design of the proposed development are compatible with the existing and future land uses in the vicinity because the proposed single family residence with a detached garage is characteristic in the neighborhood, and;
8. The staff has been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences, and;
9. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines No. 1 and 7, and;
10. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property.

CONDITIONS OF APPROVAL:

1. **Archaeological Resources:** The building plans must also state, "If archaeological resources or human remains are unexpectedly discovered during construction, work shall be halted on the project parcel until it can be evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated, with the approval of the lead agency, and implemented."
2. **Noise:** The building plans shall include a noise reduction barrier for the hot tub's pump.
3. **Pump:** The building plans shall ensure that pumps are not to be located above any sewer lines or within any utility easements.
4. **Permit Expiration:** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
5. **Construction and Use Compliance:** All activities must occur in strict compliance with the proposal as set forth in the application for this Architectural and Use Permit, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Planning Commission approval as a use permit amendment.
6. **Public Works, Fire, and Building:** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.

7. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the Urban Forestry Standards, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
8. **Stormwater Treatment:** The stormwater treatment measures shall be maintained by the property owner in perpetuity and City of Pacific Grove staff shall be allowed access to inspect all stormwater treatment measures on an annual basis.
9. **Signature:** A resolution signed by the Permittee, acknowledging receipt of the Architectural and Use Permit and acceptance of the terms and conditions must be returned to the Community and Economic Development Department.
10. **Terms and Conditions:** These terms and conditions shall run with the land, and it is the intention of the Planning Commission and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made, and the Planning Commission approves, any such amendments pursuant to the Zoning Code regulations.
11. **Conditions of Approval in Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF PACIFIC GROVE:

- I. The Commission determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
- II. The Commission authorizes approval of Architectural and Use Permit No. 16-056 for a property located at 1209 Surf Avenue to allow the addition of a second story balcony of 101 square feet at the front of the existing two-story residence, and an accessory structure (inground hot tub) with plumbing at the rear of the property.
- III. This permit shall become effective upon the expiration of the 10-day appeal period.
- IV. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF PACIFIC GROVE this 18th day of February, 2016, by the following vote:

Item 3a

AYES: Bluhm, Aeschliman, Byrne, Chakwin, Murphy, Smith

NOES: None

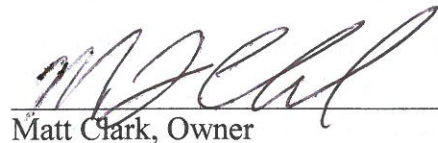
ABSENT: Fredrickson

APPROVED:



BILL BLUHM, Vice-Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.


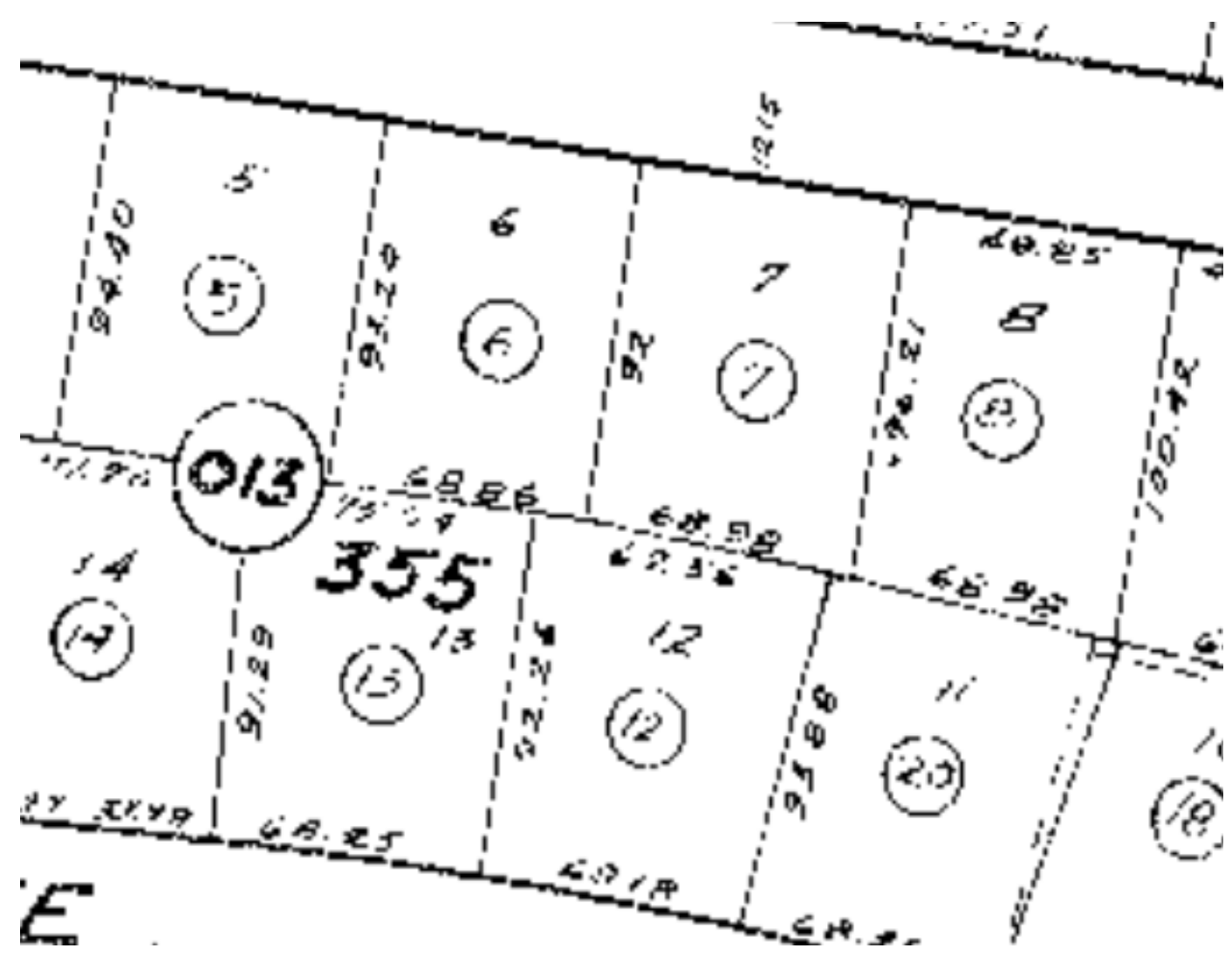

Matt Clark, Owner

2/23/16
Date

New Balcony and Hot Tub for Clark Residence

1209 Surf Avenue
Pacific Grove, California 93950

AST
DESIGN GROUP
957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450

VICINITY MAP		ASSESSORS MAP		SHEET INDEX		PROJECT DATA	
				<div><div>A1.0</div><div>A1.1</div><div>A1.2</div><div>A1.3</div><div>A1.4</div><div>A1.5</div></div> <div><div>COVER SHEET, PROJECT DATA, NOTES, ASSESSORS MAP</div><div>HOT TUB SITE PLAN, NOTES</div><div>HOT TUB DETAILS</div><div>BALCONY SITE PLAN, NOTES</div><div>BALCONY FLOOR PLAN</div><div>BALCONY EXTERIOR ELEVATIONS</div></div>		<div><div>PROJECT ADDRESS</div><div>1209 SURF AVENUE PACIFIC GROVE, CALIFORNIA 93950</div></div> <div><div>PARCEL NUMBER:</div><div>006-013-008</div></div> <div><div>PACIFIC GROVE ZONING:</div><div>R-1</div></div> <div><div>SITE AREA:</div><div>6,534 S.F.</div></div> <div><div>CONSTRUCTION TYPE:</div><div>V-B</div></div> <div><div>OCCUPANCY TYPE:</div><div>R-3</div></div> <div><div>STORIES:</div><div>TWO STORY</div></div> <div><div>SEWER SYSTEM:</div><div>PUBLIC SEWER SYSTEM</div></div> <div><div>SQUARE FOOTAGE:</div><div></div></div> <div><div>EXISTING RESIDENCE:</div><div>2,632 S.F.</div></div> <div><div>TOTAL:</div><div>2,632 S.F.</div></div> <div><div>BALCONY ADDITION:</div><div>101 S.F.</div></div> <div><div>FIRE SPRINKLER REQUIREMENT:</div><div>NONE REQUIRED</div></div>	
GENERAL NOTES		FIRE DEPARTMENT NOTES		ARCHAEOLOGICAL RESOURCES NOTE:			
<div><div>1.</div><div>TYPICAL CONSTRUCTION REQUIREMENTS OF THE 2013 CRC SHALL APPLY WHERE APPLICABLE AND WHEN NOT SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.</div></div> <div><div>2.</div><div>SITE FAMILIARIZATION: CONTRACTOR IS RESPONSIBLE TO ACQUAINT HIMSELF WITH THE SITE PRIOR TO SUBMITTING A PROPOSAL. IF THE CONTRACTOR DISCOVERS ANY CONDITIONS DURING HIS SITE VISIT FAMILIARIZATION WHICH HE FEELS WILL ADVERSELY AFFECT THE WORK, OR WHICH HE FEELS HAVE NOT BEEN ADEQUATELY ADDRESSED BY THE CONSTRUCTION DOCUMENTS, HE IS TO NOTIFY THE DESIGNER IN WRITING.</div></div> <div><div>3.</div><div>CONSTRUCTION DETAILS: NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE CARRIED OUT BY RESPECTIVE CONTRACTORS IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR WITH MANUFACTURERS SPECIFICATIONS FOR INSTALLATION FOR THEIR MATERIALS OR ITEMS.</div></div> <div><div>4.</div><div>DEMOLITION: COORDINATE ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE WISHES TO RETAIN FOR HIS USAGE. ALL OTHER ITEMS BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. UTILIZE DUST CONTROL MEASURES DURING DEMOLITION.</div></div> <div><div>5.</div><div>GLAZING: ALL DOORS ARE TO HAVE TEMPERED GLAZING. ALL GLAZING IN ANY AREAS SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED GLASS. GLAZING WITHIN 24" OF ANY EDGE OF DOOR OR WITHIN 18" OF THE FLOOR MUST COMPLY.</div></div> <div><div>6.</div><div>MECHANICAL AND PLUMBING: IT IS THE ESSENCE OF THE CONTRACTOR THAT ALL SYSTEMS SHALL FUNCTION WELL INDIVIDUALLY AND IN COMBINATION WITH OTHER SYSTEMS. THE CONTRACTOR IS RESPONSIBLE FOR THE PLUMBING LAYOUT FOR ALL FIXTURES AND EQUIPMENT.</div></div> <div><div>7.</div><div>GFI PROTECTION: ALL 125 VOLT, SINGLE PHASE 15 AND 20 AMP RECEPTACLE OUTLETS INSTALLED OUTDOORS, IN GARAGES, IN BATHROOMS AND WITHIN 6 FEET OF KITCHEN SINKS ABOVE COUNTERTOP SURFACE SHALL HAVE GROUND FAULT CIRCUIT PROTECTION.</div></div> <div><div>8.</div><div>SMOKE DETECTORS: AN APPROVED SMOKE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. SMOKE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH SLEEPING AND EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED SMOKE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. ADDITIONS OR REPAIRS WITH A VALUATION OF \$1,000 OR MORE REQUIRE THAT SMOKE DETECTORS BE INSTALLED. IN DWELLING UNITS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY BY 24" OR MORE, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTORS SHALL SOUND AN ALARM IN ALL SLEEPING AREAS. (REFER TO 2013 RESIDENTIAL CODE FOR SMOKE DETECTORS).</div></div> <div><div>9.</div><div>NAILING TO BE IN COMPLIANCE WITH <u>2013 CALIFORNIA RESIDENTIAL CODE</u> TABLE.</div></div> <div><div>10.</div><div>ALL HOT WATER FAUCETS THAT HAVE MORE THAN 10 FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM. (SECTION 6 (Q), ORD. 3522).</div></div> <div><div>11.</div><div>NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.</div></div> <div><div>12.</div><div>ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUT-OFF NOZZLE. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.</div></div> <div><div>13.</div><div>ALL MANUFACTURERS INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.</div></div> <div><div>14.</div><div>THE HOT WATER PLUMBING SYSTEM SHALL BE RECIRCULATING HOT WATER SYSTEM.</div></div> <div><div>15.</div><div>CARBON MONOXIDE DETECTORS: AN APPROVED CARBON MONOXIDE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. CARBON MONOXIDE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED CARBON MONOXIDE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN THE HALLWAY. DETECTORS SHALL SOUND AND ALARM IN AREAS LOCATED NEAR SLEEPING AREAS. (REFER TO 2013 CALIFORNIA RESIDENTIAL CODE FOR CARBON MONOXIDE DETECTORS, SECTION R315).</div></div>		<div>FIRE007 - DRIVEWAYS DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UNOBSTRUCTED, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FEET. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED 15 PERCENT. WHERE THE GRADE EXCEEDS 8 PERCENT, A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.17 FEET OF ASPHALTIC CONCRETE ON 0.34 FEET OF AGGREGATE BASS SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS (22 TONS), AND BE ACCESSIBLE BY CONVENTIONAL DRIVE VEHICLES, INCLUDING SEDANS. FOR DRIVEWAYS WITH TURNS 90 DEGREES AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 28 FEET. FOR ALL DRIVEWAY TRUNS, AND ADDITIONAL SURFACE OF 4 FEET SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING 150 FEET IN LENGTH, BUT LESS THAN 800 FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS 800 FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN 400-FOOT INTERVALS. TURNOUTS SHALL BE A MINIMUM OF 12 FEET WIDE AND 30 FEET LONG WITH A MINIMUM OF 25-FOOT TAPRE AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150 FEET OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN 50 FEET OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE 40 FEET FROM THE CENTER LINE OF THE DRIVEWAY. IF A HAMMERHEAD / T IS USED, THE TOP OF THE "T" SHALL BE A MINIMUM OF 60 FEET IN LENGTH.</div> <div>FIRE011 - ADDRESSES FOR BUILDINGS ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE MINIMUM OF 4 INCH HEIGHT, 1/2 INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.</div> <div>FIRE019 - DEFENSIBLE SPACE REQUIREMENTS (STANDARD) MANAGE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 100 FEET OF STRUCTURES, OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER. TRIM TREE LIMBS TO A MINIMUM HEIGHT OF 6 FEET FROM THE GROUND. REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS. ADDITIONAL AND/OR ALTERNATE FIRE PROTECTION OR FIREBREAKS APPROVED BY THE FIRE AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.</div> <div>FIRE029 - ROOF CONSTRUCTION ALL NEW STRUCTURES AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 25 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF ICBO CLASS "A" ROOF CONSTRUCTION.</div>		<div>IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE UNEXPECTEDLY DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED ON THE PROJECT PARCEL UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED, WITH THE APPROVAL OF THE LEAD AGENCY, AND IMPLEMENTED.</div>			
		SCOPE OF WORK					
		<div><div>1.</div><div>NEW 101 S.F EXTERIOR UPSTAIRS BALCONY OFF THE FRONT OF THE RESIDENCE.</div></div> <div><div>2.</div><div>NEW SUNKEN HOT TUB IN REAR YARD.</div></div>					
		APPLICABLE CODES					
		<div><div>THIS PROJECT SHALL COMPLY WITH ALL CURRENT CODES LISTED AS FOLLOWS:</div><div></div><div>2013 CALIFORNIA BUILDING CODE</div><div>2013 CALIFORNIA RESIDENTIAL CODE</div><div>2013 CALIFORNIA FIRE CODE</div><div>2013 CALIFORNIA MECHANICAL CODE</div><div>2013 CALIFORNIA PLUMBNG CODE</div><div>2013 CALIFORNIA ELECTRICAL CODE</div><div>2013 TITLE 24 ENERGY COMPLIANCE</div></div>					

REMODEL WORK
FOR:

**CLARK
RESIDENCE**

1209 SURF AVENUE
PACIFIC GROVE, CALIFORNIA
A.P.N.: 006-013-008

DRAWINGS:
PROJECT DATA
ASSESSORS MAP
SCOPE OF WORK
APPLICABLE CODES
VICINITY MAP
NOTES

DRAWN BY: AST
DRAWING DATE: Jan. 21, 2016
REVISION DATES:

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT OR DESIGNER AND VISUAL CONTRACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SHEET
A1.0

AST

DESIGN GROUP

957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450

AARON S. TOLLEFSON, DESIGNER

REMODEL WORK
FOR:CLARK
RESIDENCE1209 SURF AVENUE
PACIFIC GROVE, CALIFORNIA
A.P.N.: 006-013-008

DRAWINGS:

SITE PLAN
NOTES

DRAWN BY: AST

DRAWING DATE: Jan. 21, 2016

REVISION DATES:

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SHEET

A1.1

NOTES:

1. PROVIDE SEISMIC STRAPPING FOR WATER HEATER PER CBC REQUIREMENTS, INSTALL ON PAD 18" MINIMUM ABOVE FLOOR IN CONDITION APPLIES.
2. SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH, HARD, NON-ABSORBANT SURFACE TO A HEIGHT OF 70" MIN. ABOVE THE DRAIN INLET (SECTION 8071.3, CBC).
3. BATHROOM FANS TO PROVIDE A MINIMUM 5 AIR CHANGES PER HOUR.
4. GARAGE TO HOSE WALLS AND CEILING TO BE PROTECTED WITH 1-HOUR FIRE RATED MATERIALS ON THE GARAGE SIDE. USE 5/8" GYPSUM BOARD TYPE "X".
5. ATTIC ACCESS ARE TO BE 24" X 30" MINIMUM.
6. GLAZING IN AREAS SUBJECT TO HUMAN IMPACT, LESS THAN 24" TO DOORS AND LESS THAN 18" FLOOR TO WINDOW, SHALL BE SAFETY GLAZING MATERIAL SUCH AS WIRED GLASS, LAMINATED GLASS, TEMPERED GLASS OR SAFETY PLASTIC. GLAZING USED IN DOORS AND PANELS OF SHOWERS AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS.
7. DRYER TO BE VENTED TO EXTERIOR WITH 4"Ø DUCT LINE.
(14"-0" MAXIMUM RUN)
8. PROVIDE A NON-REMOVABLE BACKFLOW PREVENTION DEVICE AT HOSE-BIBS.
9. WINDOWS IN SLEEPING ROOMS SHALL PROVIDE:

MINIMUM NET CLEAR OPENABLE DIMENSION OF 5.7 S.F. IN AREA
MINIMUM NET CLEAR OPENABLE DIMENSION OF 24 INCHES IN HEIGHT
MINIMUM NET CLEAR OPENABLE DIMENSION OF 20 INCHES IN WIDTH
OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR
10. THE REQUIRED NATURAL LIGHT FOR EVERY SPACE INTENDED FOR HUMAN OCCUPANCY WITH GLAZED OPENINGS WITH AN AREA OF NOT LESS THAN 8% OF ROOM FLOOR AREA. (CBC 1205.2)
11. THE REQUIRED NATURAL VENTILATION IN OCCUPIED SPACES THROUGH OPENABLE EXTERIOR WALL OPENINGS WITH AN AREA NOT LESS THAN 4% OF THE AREA BEING VENTILATED. (CBC 1204.1)
12. WATER CLOSETS SHALL NOT USE MORE THAN 1.28 GALLONS PER FLUSH PER STATE HEALTH AND SAFETY CODE (SECTION 17921.3(b)).
13. USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE AT THE SHOWERS AND TUB-SHOWER COMBINATION.
14. SMOKE DETECTORS ARE TO SOUND AND ALARM AUDIBLE IN ALL BEDROOMS OF THE RESIDENCE.
15. SMOKE DETECTORS SHALL RECEIVE THEIR POWER FROM THE HOUSE PRIMARY WIRE AND SHALL ALSO HAVE BATTERY BACK-UP.
16. INSTALL UFER GROUNDING FOR THE 200 AMP ELECTRICAL SERVICE PER NEC 250-50(c).
17. KITCHEN COUNTER OUTLETS SHALL BE SPACED SO THAT NO POINT ALONG THE WALL LINE OF THE COUNTER IS MORE THAN 2'-0" FROM AN ELECTRICAL OUTLET.
18. THE MASTER BATHROOM OUTLETS SHALL HAVE APPROVED GROUND FAULT CIRCUIT PROTECTION.
19. OUTDOOR OUTLETS (WP/GFCI) SHALL BE INSTALLED AT THE FRONT AND REAR OF THE RESIDENCE.
20. AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS, OTHER EQUIPMENT (LIGHTING, EXHAUST FANS), WITHIN THE SAME BATHROOM, MAY BE SUPPLIED BY THE SAME BRANCH CIRCUIT WHERE THE BRANCH CIRCUIT SUPPLIES A SINGLE BATHROOM ONLY.
21. AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS.
22. CLOTHES DRYER AND ELECTRIC RANGES SHALL HAVE A 4-WIRE GROUNDED ELECTRICAL OUTLET.
23. PROVIDE WEEP SCREEDS AROUND PERIMETER OF RESIDENCE WHERE CEMENT PLASTER FINISH OCCURS. PROVIDE 4" CLEAR ABOVE EARTH AND 2" CLEAR ABOVE PAVED AREAS.

ROOM FINISH MATERIAL NOTES:

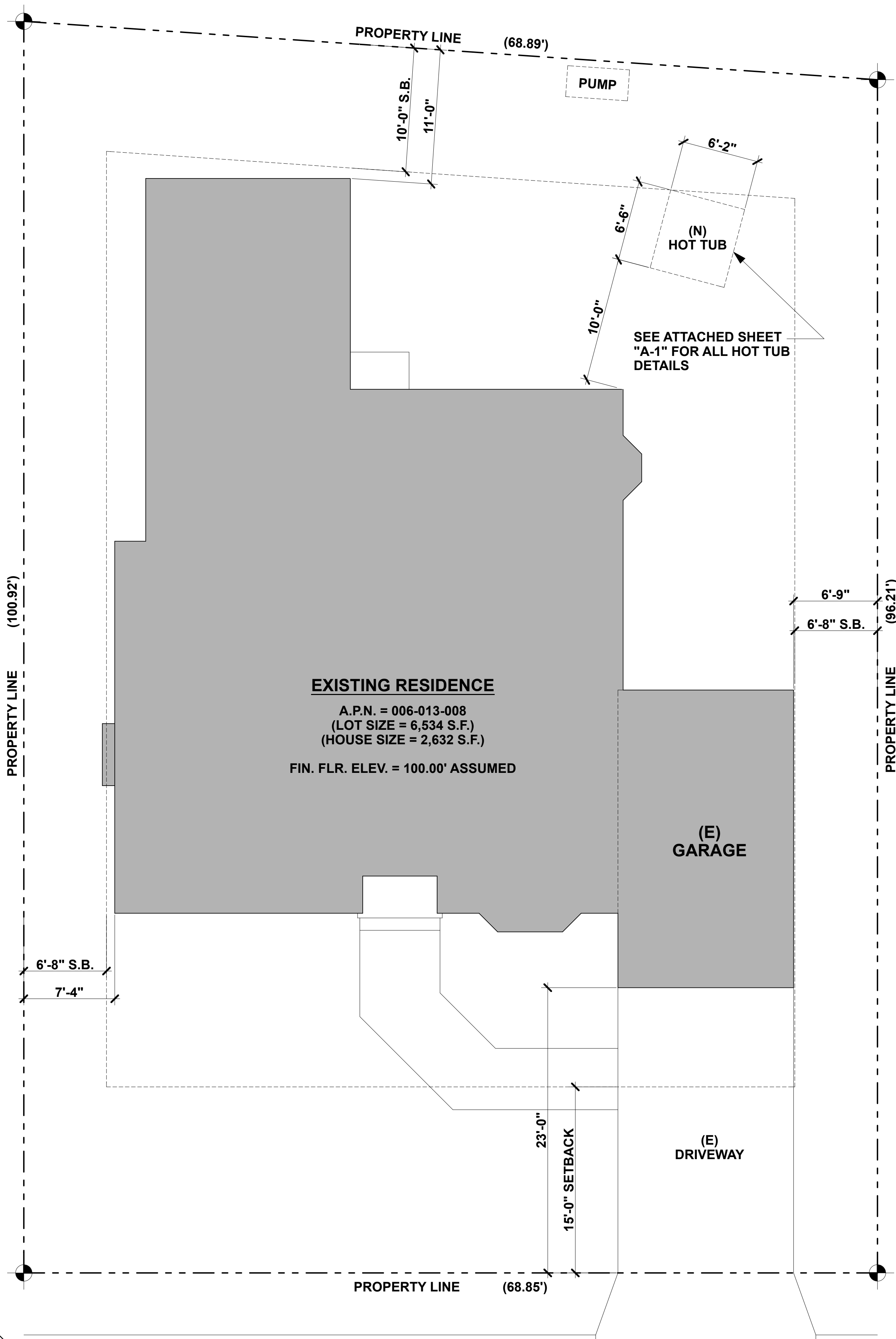
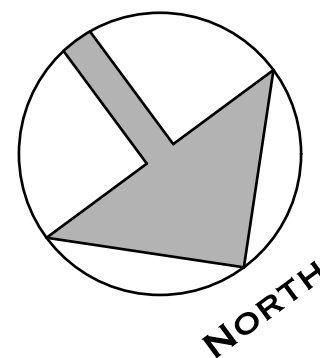
1. ALL WALLS AND CEILINGS OF ALL ROOMS ARE TO BE THIN-COAT PLASTER SMOOTH FINISH UNLESS OTHERWISE NOTED AND ARE IN COMPLIANCE WITH THE DEAD LOADS SPECIFIED BY THE STRUCTURAL ENGINEER.
2. ALL FLOORS ARE TO BE 3/4 HARDWOOD, TILE OR CARPET UNLESS OTHERWISE NOTED AND ARE IN COMPLIANCE WITH THE DEAD LOADS SPECIFIED BY THE STRUCTURAL ENGINEER.

GREEN BUILDING REQUIREMENTS:

1. ALL WATER CLOSETS SHALL HAVE A MAXIMUM FLUSH VOLUME OF 1.28 GALLONS, AND SHALL MEET OR EXCEED THE MINIMUM PERFORMANCE CRITERIA DEVELOPED FOR CERTIFICATION OF HIGH-EFFICIENCY TOILETS UNDER THE WATER SENSE PROGRAM ADOPTED BY THE EPA.
2. PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN CGBSC SECTIN 4.303.3
3. IN AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING ARE PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION, THEY SHALL COMPLY WITH THE REQUIREMENTS OF CGBSC SECTION 4.304.1
4. MINIMUM 50% OF THE NON-HAZARDOUS CONSTRUCTION OR DEMOLITION DEBRIS SHALL BE RECYCLED AND/OR SALVAGED, UNLESS A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE IN MORE STRINGENT. WHERE THE LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION AND WASTE MANAGEMENT PLAN COMPLYING WITH CGBSC SECTION 4.408.2 SHALL BE SUBMITTED FOR APPROVAL
5. AT THE TIME OF FINAL INSPECTION, AN "OPERATION AND MAINTENANCE MANUAL" SHALL BE PLACED IN THE BUILDING THAT CONTAINS THE APPLICABLE ITEMS LISTED IN CGBSC SECTION 4.410.1.
6. INSTALLED GAS FIREPLACES SHALL BE DIRECT-VENT SEALED COMBUSTION TYPE (CGBSC 4.503.1)
7. DUCTS AND OTEHR RELATED AIR DISTRIBUTION EQUIPMENT SHALL HAVE OPENINGS COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER ACCEPTABLE METHODS. (CGBSC 4.504.1)
8. FINISH MATERIALS, CARPET SYSTEMS, RESILIENT FLOORING, AND COMPOSITE WOOD PRODUCTS SHALL COMPLY WITH THE POLLUTANT CONTROL REQUIREMENTS OF CGBSC SECTION 4.504.2 AND 4.504.3.
CARPET ADHESIVE = 50 (VOC LIMIT)
CARPET PAD ADHESIVE = 50 (VOC LIMIT)
WOOD FLOORING ADHESIVE = 100 (VOC LIMIT)
SUBFLOOR ADHESIVE = 50 (VOC LIMIT)
DRYWALL ADHESIVE = 50 (VOC LIMIT)
9. MOISTURE CONTENT OF WALL AND FLOOR FRAMING MEMBERS SHALL BE VERIFIED PRIOR TO ENCLOSURE, FRAMING MEMBERS SHALL NOT BE ENCLOSED WHEN MOISTURE CONTENT EXCEEDS 19% (CGBSC 4.505.3)
10. BATHROOM EXHAUST FANS SHALL COMPLY WITH THE FOLLOWING:
ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE OF BUILDING. UNLESS FUNCTIONING AS A PART OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50-80%.

SITE PLAN

3/16" = 1'-0"



SURF AVENUE

AST

DESIGN GROUP

957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450

AARON S. TOLLEFSON, DESIGNER

REMODEL WORK
FOR:**CLARK
RESIDENCE**1209 SURF AVENUE
PACIFIC GROVE, CALIFORNIA
A.P.N.: 006-013-008DRAWINGS:
HOT TUB DETAILS
NOTESDRAWN BY: AST
DRAWING DATE: Jan. 21, 2016
REVISION DATES:THE USE OF THESE PLANS AND
SPECIFICATIONS IS RESTRICTED TO THE
ORIGINAL SITE FOR WHICH THEY WERE
PREPARED AND PUBLICATION THEREOF IS
EXPRESSLY LIMITED TO SUCH USE. REUSE,
REPRODUCTION OR PUBLICATION BY ANY
METHOD IN WHOLE OR IN PART IS
PROHIBITED. TITLE TO THE PLANS AND
SPECIFICATIONS REMAINS WITH THE
ARCHITECT OR DESIGNER AND VISUAL
CONTRACT WITH THEM CONSTITUTES
PRIMA FACIE EVIDENCE OF ACCEPTANCE
OF THESE RESTRICTIONS.

SHEET

A1.2**GENERAL NOTES:**

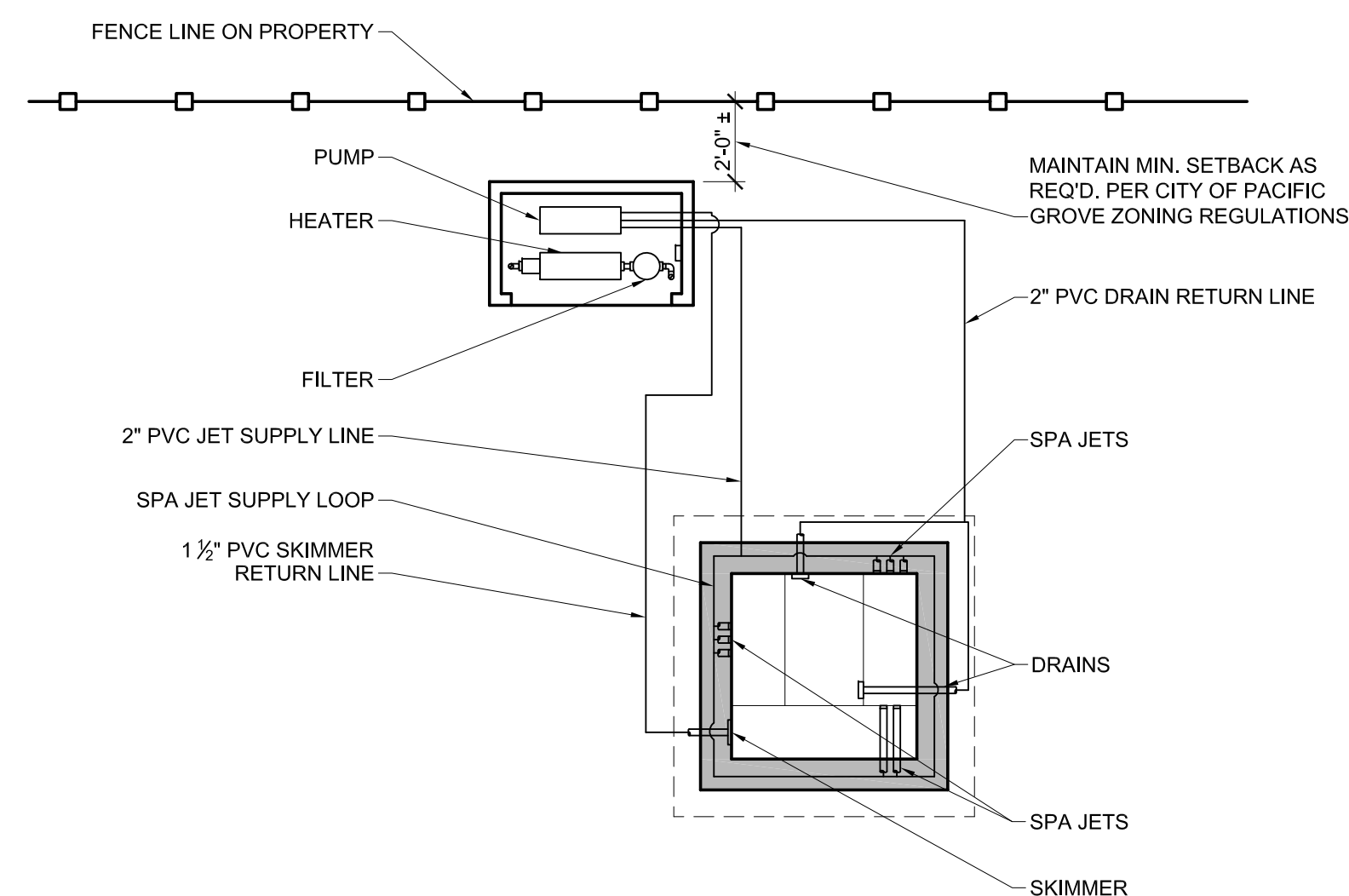
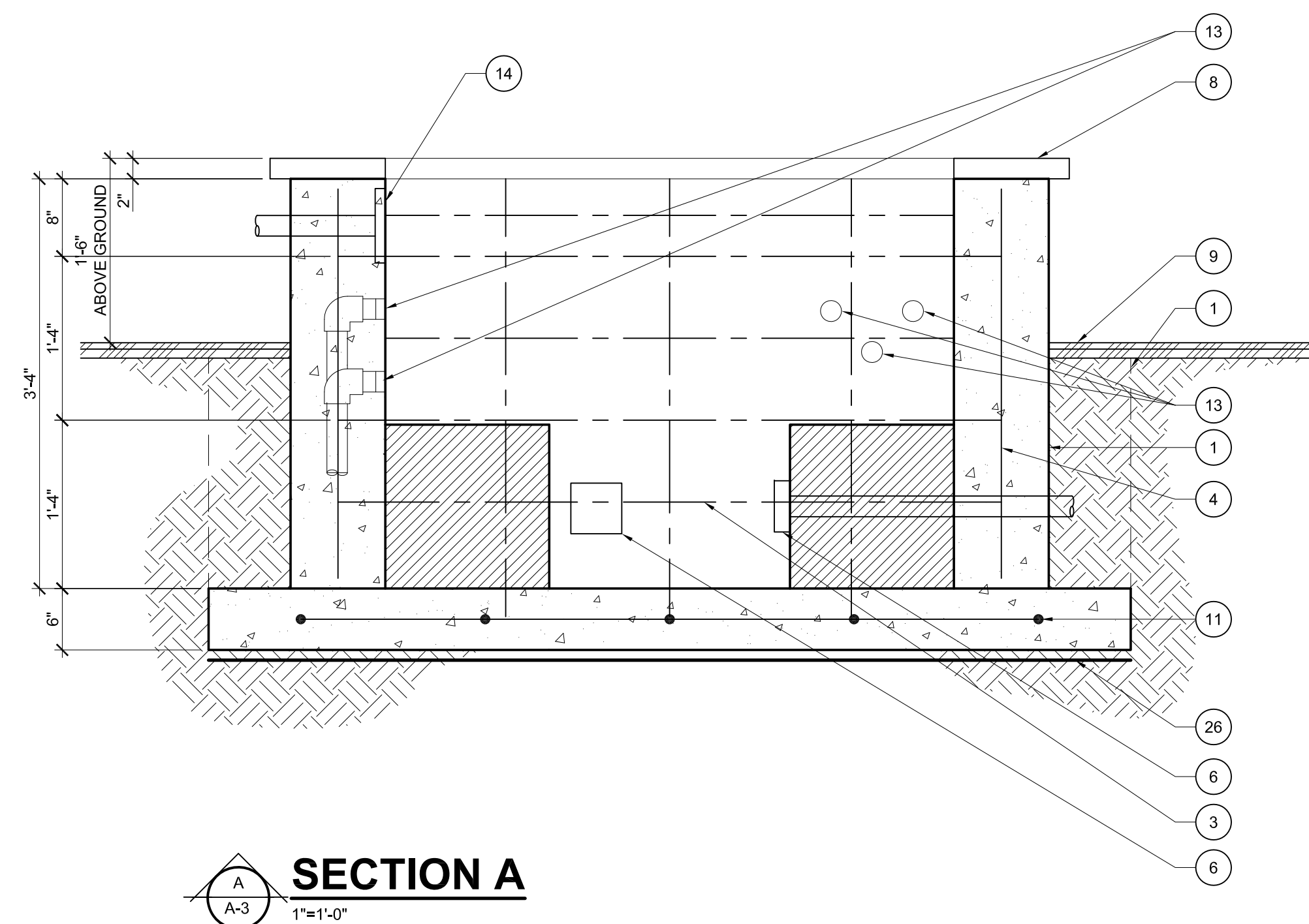
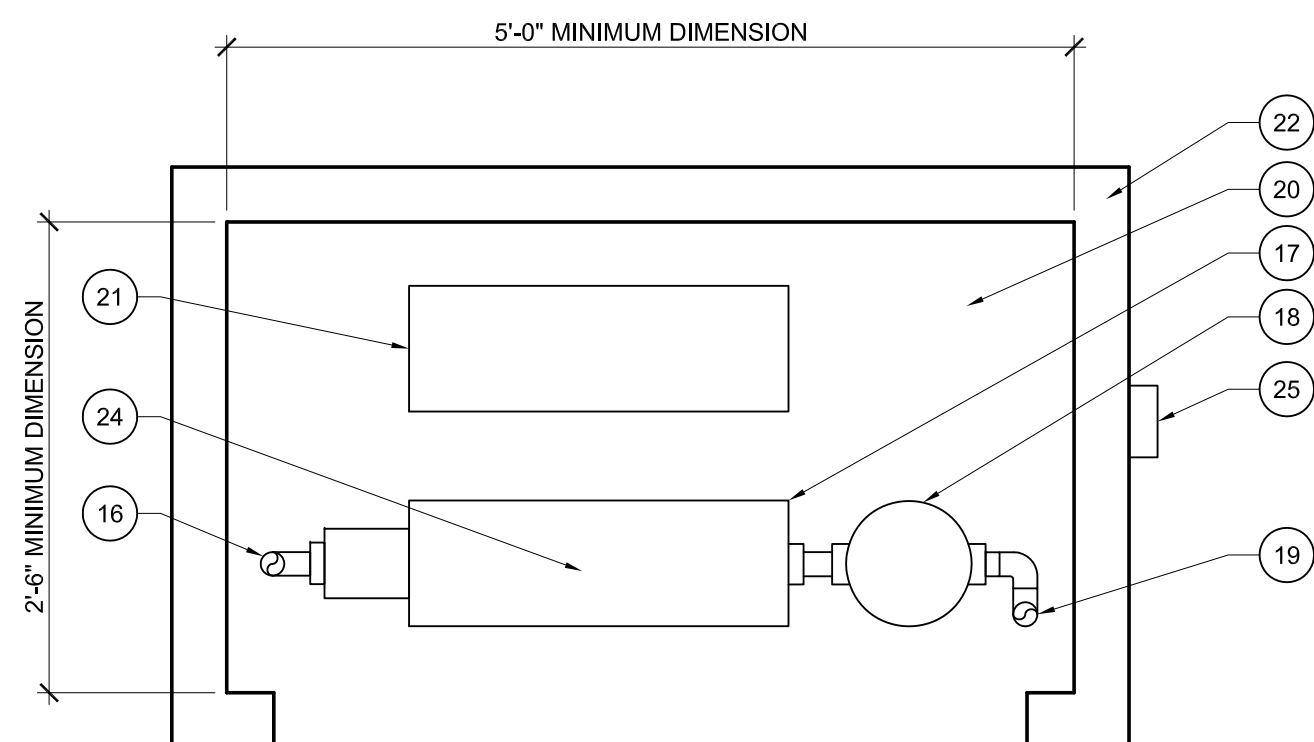
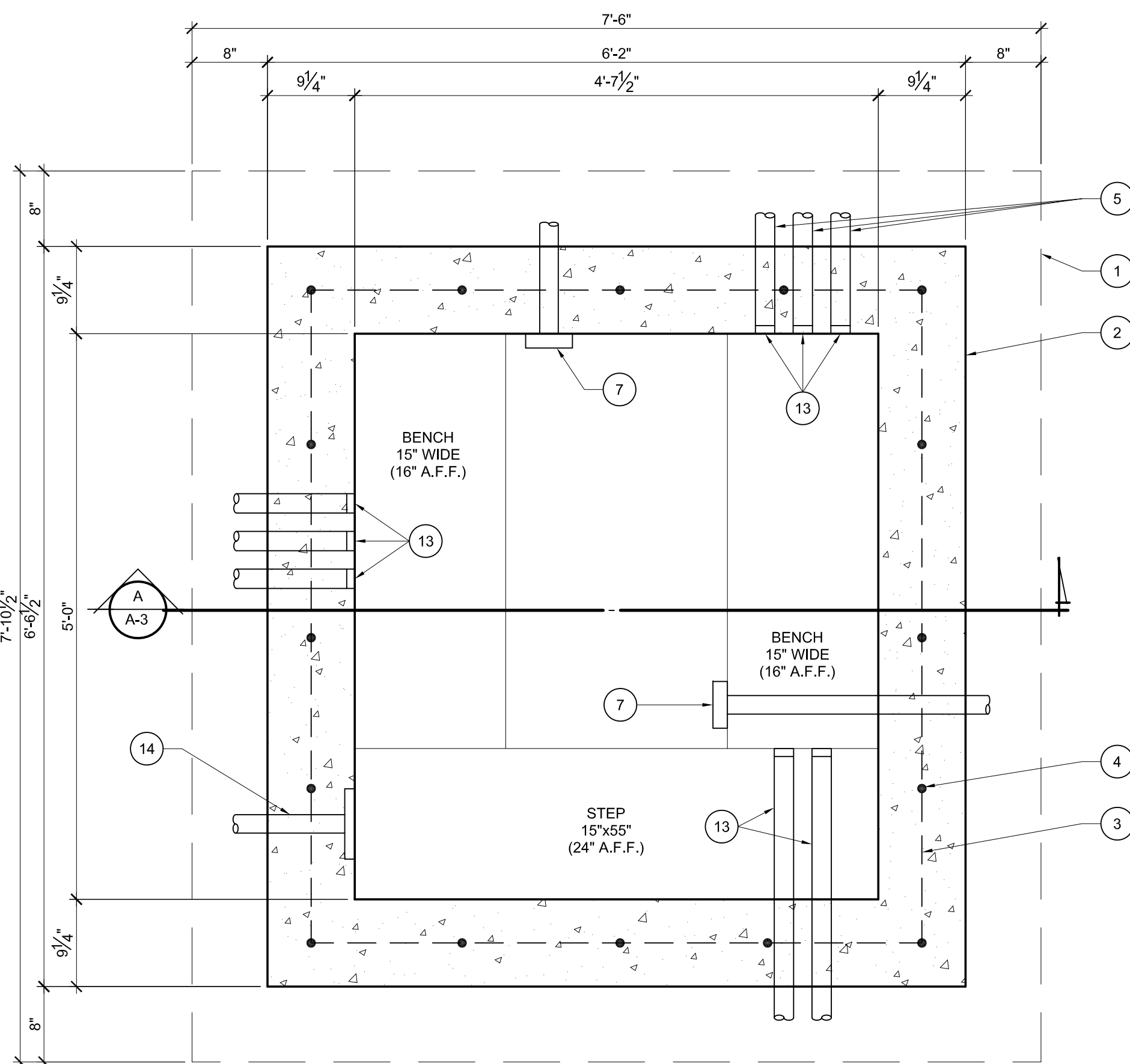
1. CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH THE CONSTRUCTION DOCUMENTS PRIOR TO STARTING CONSTRUCTION.
2. THE DESIGNER SHALL BE NOTIFIED OF ANY OMISSIONS OR DISCREPANCIES IN THE WORKING DRAWINGS AND/OR SPECIFICATIONS BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
3. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOW ON THE PLANS, SECTIONS & DETAILS.
4. SPECIFIC DETAILS AND NOTES TAKE PRECEDENCE OVER STRUCTURAL AND TYPICAL DETAILS.
5. WHERE SPECIFIC DETAILS ARE NOT PROVIDED, CONSTRUCTION CAN FOLLOW DETAILS FOR SIMILAR CONDITIONS, UNLESS CONFLICT OCCURS.
6. THE CONTRACTOR SHALL PERIODICALLY REMOVE DEBRIS AND CLEAN THE AREA WHERE THEY ARE WORKING.
7. THE CONTRACTOR SHALL TURN OVER TO THE OWNER A CLEAN AND COMPLETE JOB. ANY WORK NOT SPECIFICALLY CALLED FOR OR SPECIFIED, BUT NECESSARY TO COMPLY WITH THE INTENT OF QUALITY AND COMPLETENESS BE PERFORMED AS PART OF THIS PROJECT.
8. ALL GYP. BD. SHALL BE ½" U.O.N.
9. CONCRETE SHALL BE PROPORTIONED TO GIVE A MINIMUM OF 28 DAYS COMPRESSIVE STRENGTH, PLACE CONCRETE IN ACCORDANCE WITH ACI-301. ENSURE THAT REINFORCEMENT AND EMBEDDED ITEMS ARE NOT DISTURBING PLACEMENT OF CONCRETE. PROTECT CONCRETE FROM PREMATURE DRYING. MAINTAIN CONCRETE WITH MINIMAL MOISTURE LOSS AT A RELATIVELY CONSTANT TEMPERATURE FOR A PERIOD NECESSARY FOR HYDRATION OF CEMENT AND HARDENING OF CONCRETE.

SPA NOTES:

1. SPA TO BE CONSTRUCTED OF ICF BLOCK WITH R-22 INTERIOR FACE OF BLOCK ENCLOSURES AND CONCRETE TO BE PAINTED WITH 2 COATS OF HYDROBAN WATERPROOFING CONTINUOUS. ADDITIONALLY INTERIOR SURFACES TO BE COVERED WITH 1 LAYER OF WATERPROOF THINSET TILE MASTIC ON ALL TILE SURFACES.
 2. THE POOL COVER IS SUNSTAR SPA COVER-PREMIUM; SAFETY RATED BY UNDERWRITERS LABORATORY AND HAS UL CLASSIFICATION MARK. AN UNDERSLAB INSULATION "INSAL-TARP" R-8 WILL BE INSTALLED.
 3. ALL RECEPTACLES LOCATED WITHIN 10'-0" OF THE INSIDE WALL OF THE HOT TUB SHALL BE PROTECTED BY A GFCI. ALL LIGHT FIXTURES AND LIGHTING OUTLETS OVER THE SPACE OR WITHIN 5 FEET OF THE INSIDE WALLS SHALL BE MIN. 7'-6" ABOVE THE MAX. WATER LEVEL AND SHALL BE PROTECTED BY GFCI.
 4. SPA BONDING 680.23 CEC: ALL REBAR AND EQUIPMENT SHALL BE BONDED TOGETHER. SUCTION OUTLETS SHALL HAVE ANTI-ENTRAPMENT PROTECTION IN ACCORDANCE WITH ANSI/ASPS-7.
- RESIDENTIAL MANDATORY MEASURES: POOL AND SPA HEATING SYSTEMS AND EQUIPMENT MEASURES CEC 114(A): ANY POOL OR SPA HEATING SYSTEM SHALL BE CERTIFIED TO HAVE: A THERMAL EFFICIENCY THAT COMPLIES WITH THE APPLIANCE EFFICIENCY REGULATIONS; AN ON-OFF SWITCH MOUNTED OUTSIDE THE HEATER.
- A #8 CONTINUOUS COPPER WIRE BONDING LOOP SHALL BE ATTACHED AT EACH CORNER
- CEC 114(B)(3): POOLS SHALL HAVE DIRECTIONAL INLETS THAT ADEQUATELY MIX THE POOL WATER, AND A TIME SWITCH THAT WILL ALLOW ALL PUMPS TO BE SET OR PROGRAMMED TO RUN ONLY DURING OFF-PEAK ELECTRIC DEMAND PERIODS.
- CEC 150(P): RESIDENTIAL POOL SYSTEMS OR EQUIPMENT MEET THE PUMP SIZING, FLOW RATE, PIPING, FILTERS AND VALVE REQUIREMENTS OF CEC 150(P).
5. 2008 BUILDING ENERGY EFFICIENCY STANDARDS PAGE 62 EXCEPTION 1 TO SECTION 114(A)(4): LISTED PACKAGE UNITS WITH FULLY INSULATED ENCLOSURES AND WITH TIGHT-FITTING COVERS THAT ARE INSULATED TO AT LEAST R-6.

KEYED NOTES:

- 1 OVER EXCAVATE BY 6" MINIMUM AROUND THE SPA.
- 2 INSULATED CONCRETE FORM (ICF), CONCRETE TO HAVE ½" AGGREGATE, NO AIR, 3" SLUMP.
- 3 ⅜" HORIZONTAL REINFORCEMENT BARS @ 16" O.C.
- 4 ⅜" VERTICAL REINFORCEMENT BARS AT 16" O.C.
- 5 2" SCHED 40 PVC PIPE CONNECTED TO THE PUMP, TYP. @ ALL JETS.
- 6 (2) 5" SUPER HI-FLO SUCTION DRAIN (WATERWAY SPC-3V-2"), TYP. OF 2 FIELD VERIFY LOCATION.
- 7 FLOOR DRAIN.
- 8 2" THICK COPING MATERIAL.
- 9 PAVING MATERIAL.
- 10 NOT USED.
- 11 6" CONCRETE SLAB WITH ⅜" REINFORCEMENT BAR GRAD @ 16" O.C.
- 12 NOT USED.
- 13 SPA JETS, TYP. OF 3, FIELD VERIFY LOCATION.
- 14 SKIMMER WITH 1 ½" SCHED. 40 PVC TO BE CONNECTED TO THE PUMP, TYP. OF 1, FIELD VERIFY LOCATION.
- 15 NOT USED.
- 16 2" SCHED. 40 PVC PIPE CONNECTED TO THE SPA FLOOR DRAIN AND SKIMMER.
- 17 CONTROL UNIT WITH GFCI POWER CORD 50A (220V).
- 18 IN-LINE FILTER.
- 19 2" SCHED. 40 PVC PIPE CONNECTED TO THE SPA JETS.
- 20 4" HOUSEKEEPING PAD w/ #3 REBAR @ 18" O.C.E.W.
- 21 2HP PUMP (230V) 2-SPEED PUMP.
- 22 2x4 STUD WALL. FINISH PER CUSTOMER.
- 23 HINGED ROOF; FINISH TO MATCH WALLS.
- 24 HYDROQUIP HEATER (MODEL 48-PS40-SA) 1.0KW/4.0KW 115V (LOCATED UNDERNEATH THE CONTROL UNIT).
- 25 SPA DISCONNECT.
- 26 INSAL-TARP UNDERSLAB INSULATION R-8.

DATE: 11-11-15
REVISION DATE**A-1**

TODD M. KREMPASKY, DRAFTING & DESIGN

241 LERNICK DR. MONTEREY, CA 93940

NEW SPA FOR:

MR. MATT CLARK
1209 SURF AVE.
PACIFIC GROVE, CA 93950(831) 277-1058
toddmk@comcast.net

AST
DESIGN GROUP
957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450

AARON S. TOLLEFSON, DESIGNER

REMODEL WORK
FOR:

**CLARK
RESIDENCE**

1209 SURF AVENUE
PACIFIC GROVE, CALIFORNIA
A.P.N.: 006-013-008

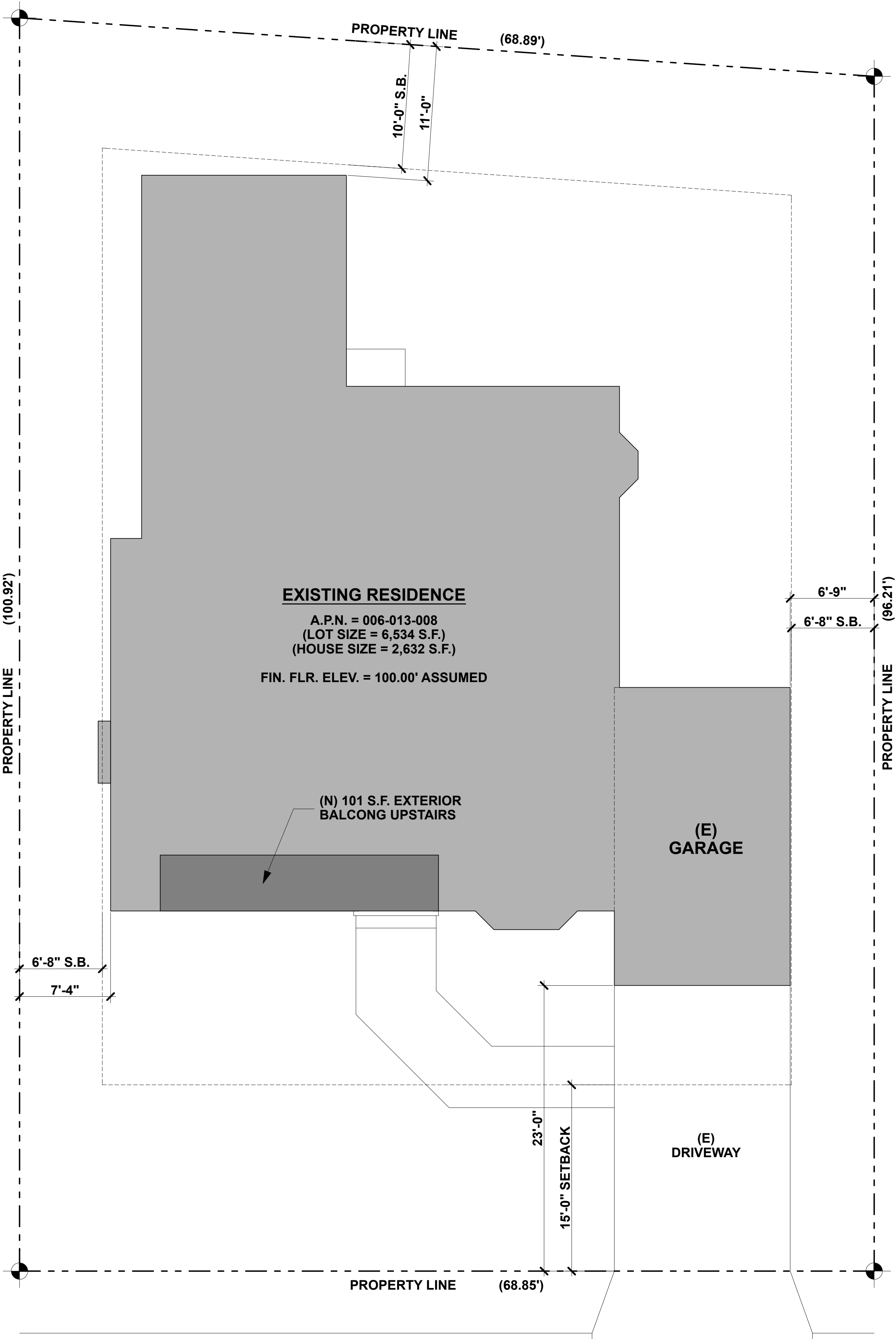
DRAWINGS:
SITE PLAN
NOTES

DRAWN BY: AST
DRAWING DATE: Jan. 21, 2016
REVISION DATES:

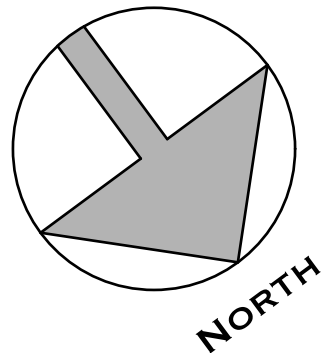
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SHEET

A1.3



SITE PLAN
3/16" = 1'-0"



S U R F A V E N U E

AST
DESIGN GROUP
957 ANGELUS WAY
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AARON S. TOLLEFSON, DESIGNER

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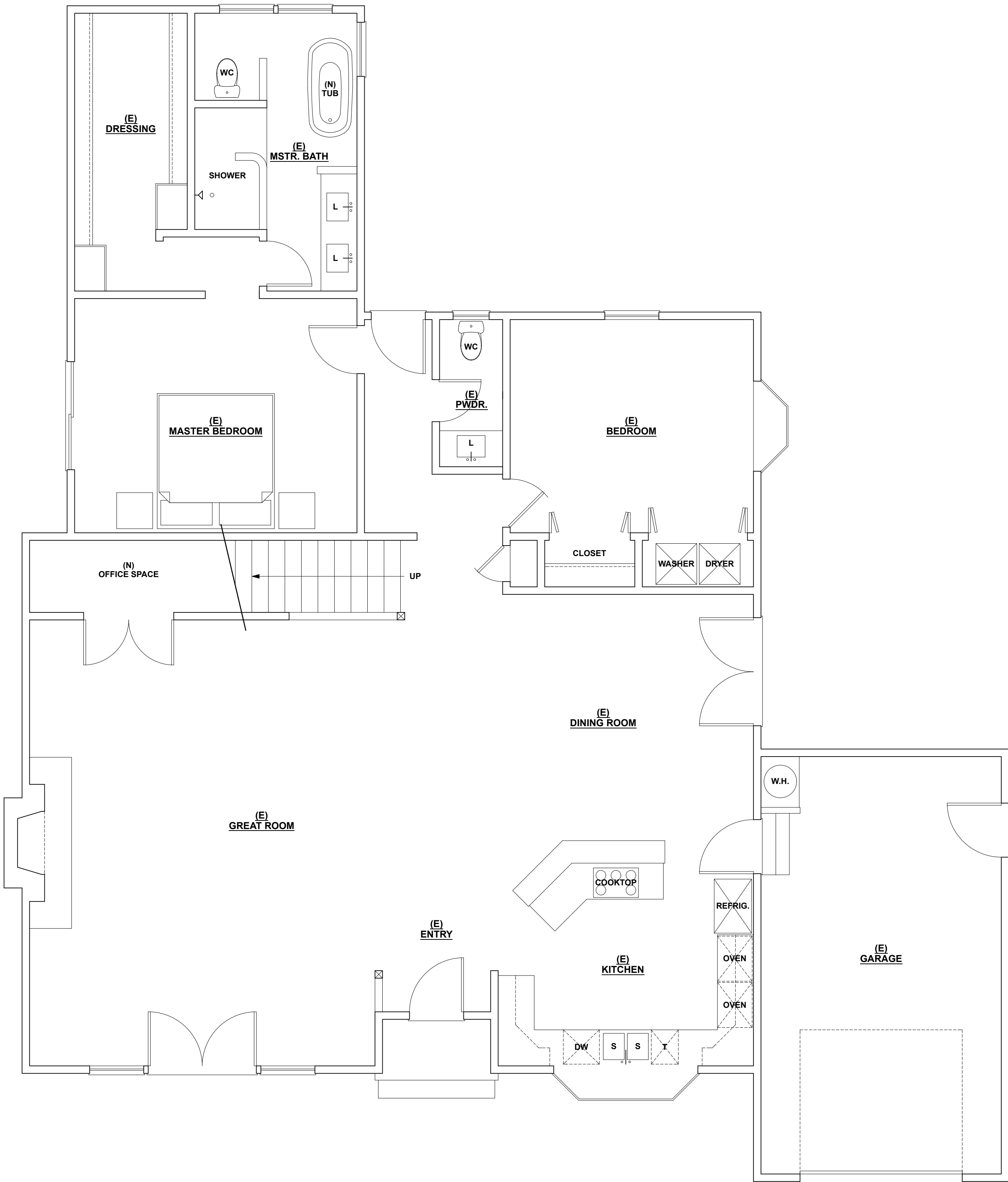
DRAWINGS:
BALCONY FLOOR PLANS
NOTES

DRAWN BY: AST
DRAWING DATE: Jan. 21, 2016
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SHEET

A1.4



EXISTING & BALCONY FRAMING PLAN (MAIN LEVEL)
1/4" = 1'-0"



NEW BALCONY FLOOR PLAN (UPPER LEVEL)
1/4" = 1'-0"

AST
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AARON S. TOLLEFSON, DESIGNER

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FOR:

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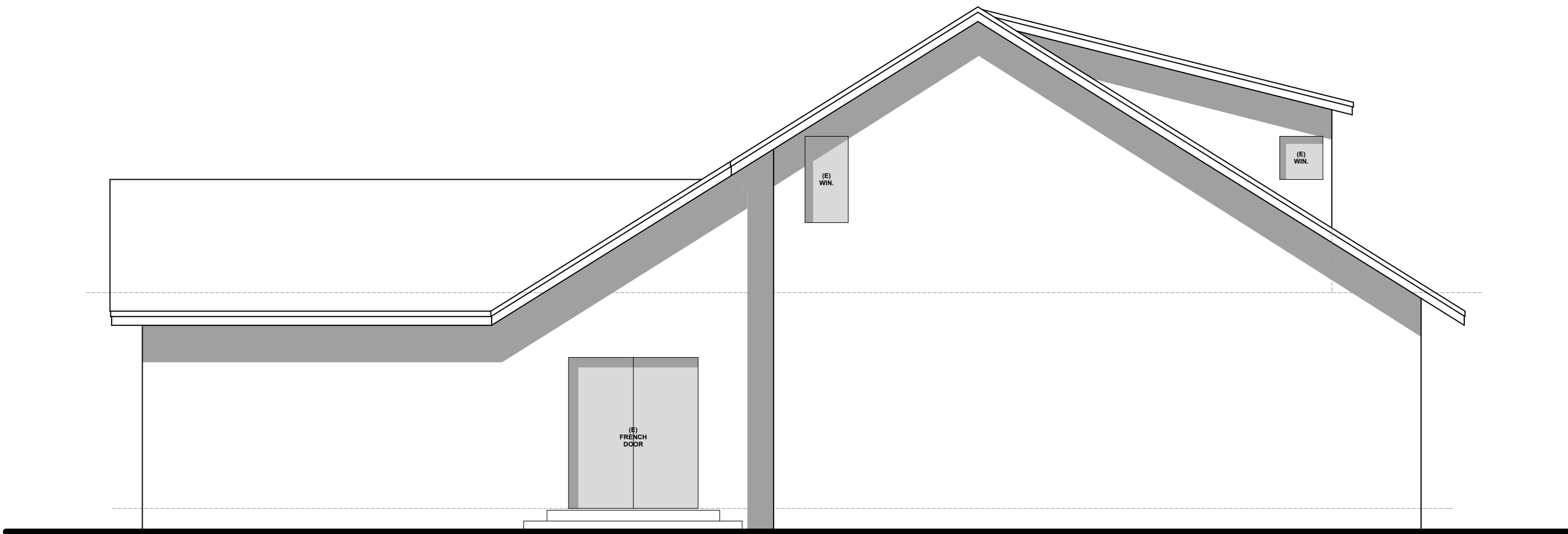
DRAWINGS:
EXTERIOR ELEVATIONS
NOTES

DRAWN BY: AST
DRAWING DATE: Jan. 21, 2016
REVISION DATES:

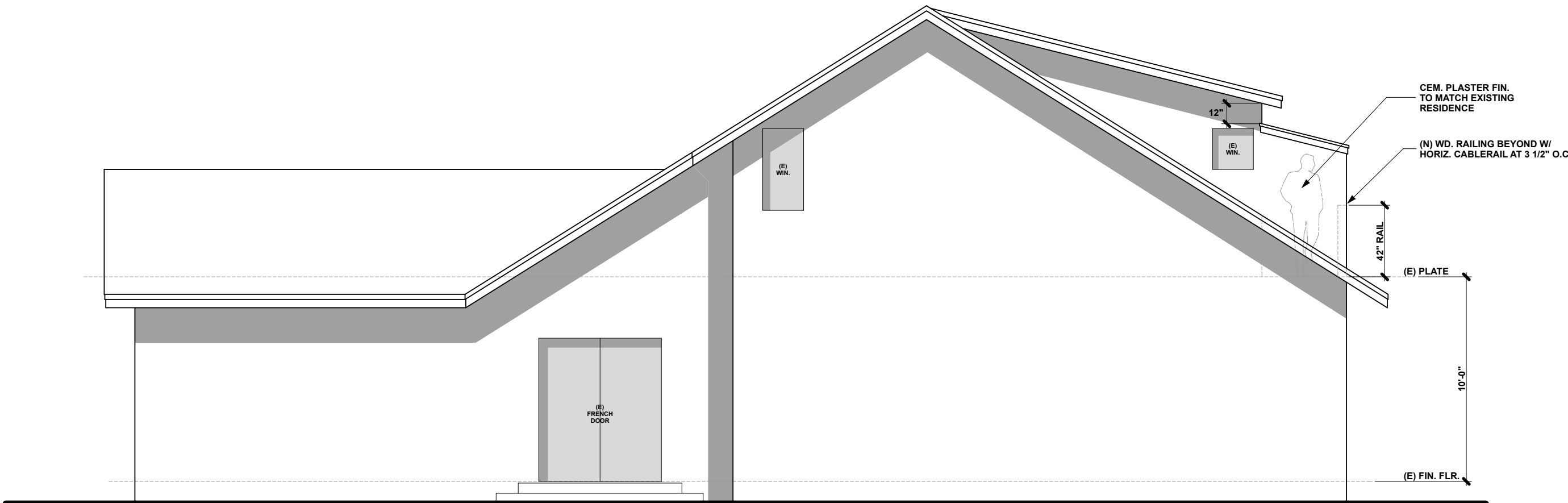
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SHEET

A1.5



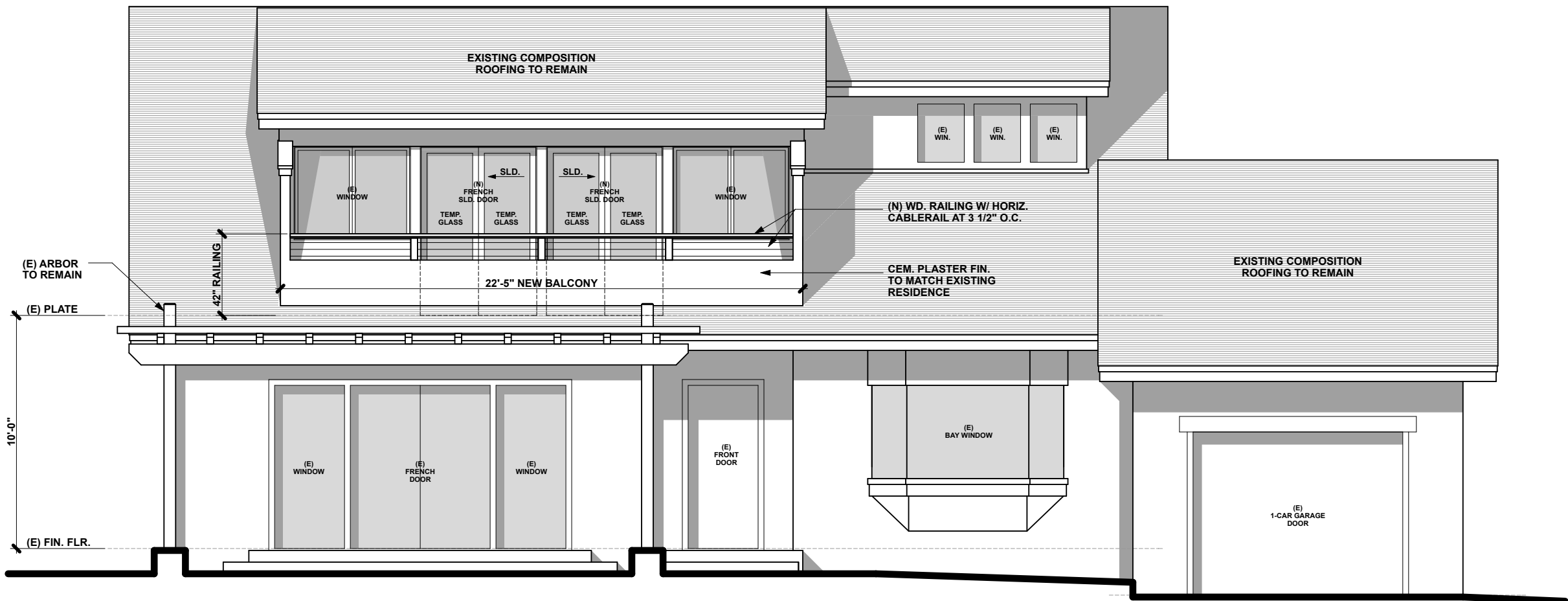
EXISTING EAST EXTERIOR ELEVATION
3/16" = 1'-0"



NEW EAST EXTERIOR ELEVATION
3/16" = 1'-0"



EXISTING NORTH EXTERIOR ELEVATION
3/16" = 1'-0"



NEW NORTH EXTERIOR ELEVATION
3/16" = 1'-0"



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

NOTICE OF EXEMPTION FROM CEQA

Item 3a

Property Address/Location: **1209 Surf Avenue, Pacific Grove, CA 93950**
Permit Application: **AP and UP 16-056**
Description: To allow the addition of a second story balcony of 101 square feet at the front of the existing two-story residence, and a 38 square feet accessory structure (inground hot tub) with plumbing at the rear of the property.

APN: 006-432-029
Zoning Code: R-1-H
General Plan Designation: Medium Den to 17.4 DU/ac
Lot Size: 6,789 square feet

<u>Applicant Name:</u>	Aaron Tollefson	<u>Phone #:</u> (831) 578-3450
<u>Mailing Address:</u>	957 Angeles Way. Del Rey Oaks, Ca 93940	
<u>Email Address:</u>	aaronolley@sbcglobal.net	

Public Agency Approving Project: City of Pacific Grove, Monterey County, California

Exempt Status (Check One):

- ☐ Ministerial (Sec. 21080(b)(1):15268))
- ☐ Declared Emergency (Sec. 21080(b)(3): 15269(a))
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- ☐ Categorical Exemption

Type and Section Number: Section 15301(e)(1) Class 1 Categorical Exemption

Exemption Findings:

The project includes the addition of a 101 square feet balcony and a 38 square feet accessory structure (inground hot tub), and therefore qualifies for a Class 1 Exemption from CEQA requirements, pursuant to Section 15301(e)(1) – Existing Facilities.

The proposed alterations do not present any unusual circumstances that would result in a potentially significant environmental impact.

Contact: Wendy Lao, Assistant Planner **Contact Phone:** (831) 648-3185

Signature:

Date: February 1, 2016