



**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Planning Commission

**FROM:** Laurel O'Halloran, Associate Planner

**MEETING DATE:** October 27, 2016

**SUBJECT:** Use Permit 16-830

**ADDRESS:** 836 Carmel Avenue APN 006-694-006

**ZONING/  
LAND USE:** Unclassified/Open Space

**APPLICANT:** Luis Vargas, on behalf of California American Water, Owner

**CEQA:** Categorical Exemption, Section 15301(e)(1)

**RECOMMENDATION**

Receive report, hold public hearing, and approve Use Permit 16-830 based on the findings and subject to the staff-recommended conditions.

**BACKGROUND**

On September 19, 2016, Luis Vargas applied for a Use Permit and an Administrative Architectural Permit to permit a 720 sf accessory structure to allow for 3 covered parking spaces. The lot size is Approx. 8.946 Acres.

**DISCUSSION**

Zoning Code

The proposed project is in conformance with all requirements of the Unclassified zone.

The proposed project will have a building coverage of 14.5%, which is within the allowable maximum building coverage of 40%, pursuant to P.G.M.C. 23.16.040. The proposed project will have a site coverage of 3.5%, which is well within the allowable maximum site coverage of 60%. The proposed project will have a gross floor area 13,040 square feet (3.5%) with the 720 sf additional structure, which is within the allowable maximum gross floor area.

The detached three car garage is in conformance with all requirements of the Category 1 accessory structure requirements, pursuant to P.G.M.C. 23.64.180.

The California-American Water Company (Cal-Am) is the domestic water purveyor for the City of Pacific Grove. Water for domestic use originates from a number of wells in Carmel Valley and Seaside.

As an interesting side note, in 1987, the City Council adopted Resolution No. 5844 that designates the reservoir site as a “Point of Historical Interest” in recognition of the contributions of the Chinese labor force that built the reservoir.

The reservoir site is located between Hillcrest Avenue, Carmel Avenue and David Avenue, between the Cities of Monterey and Pacific Grove. The site is no longer used as a water storage facility and is currently maintained by Cal-Am as an operations center and storage site for vehicles and equipment. Parcels in Pacific Grove and Monterey that are in the immediate vicinity of the reservoir site are developed with residential uses.

The proposed accessory structure is located at the northwest side of the site, approximately 10’ from west side property line and 185’ from the roadway at the intersection of Carmel Avenue and 2nd Street. The proposed structure cannot be seen from the street.

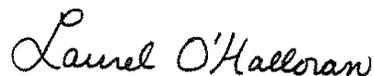
Environmental Determination:

The project qualifies for a Class 1 exemption from CEQA requirements, pursuant to Section 15301(e)(1) – Existing Facilities. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact.

**ATTACHMENTS**

- A. Permit Application
- B. Project Data Sheet
- C. Draft Resolution
- D. CEQA Documentation
- E. Project Plans

RESPECTFULLY SUBMITTED:



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Laurel O'Halloran, Associate Planner



# CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

## Permit Application

Application # UP Item 6a 830  
 Date: 9-19-16  
 Total Fees: \$ 4215.00  
 Received by: Laurel O'Halloran

<b>APPLICANT/OWNER:</b>	Project Address: <u>836 CARMEL AVE / Hillcrest</u> APN: <u>006-694-006</u>	
	Project Description: <u>NEW CANOPY (SHADE STRUCTURE) FOR TRUCK PARKING @ (E) PARKING AREA.</u> <u>18 x 40 = 300</u>	
	<u>Applicant</u>	<u>Owner</u>
	Name: <u>LUIS VARGAS</u> Phone: <u>831-320-2655</u> Email: <u>LUIS@ISARCH.NET</u> Mailing Address: <u>250 MAIN ST.</u> <u>SALINAS, CA 93901</u>	Name: <u>CALIFORNIA AMERICAN WATER</u> Phone: <u>831-640-3224</u> Email: _____ Mailing Address: _____
<b>PLANNING STAFF USE ONLY:</b>	<b>Permit Request:</b> <input type="checkbox"/> CRD: Counter Determination <input type="checkbox"/> AUP: Administrative UP <input type="checkbox"/> IHS: Initial Historic Screening <input type="checkbox"/> AVAR: Administrative VAR <input type="checkbox"/> AP: Architectural Permit <input type="checkbox"/> UP-A: UP Amendment <input type="checkbox"/> HPP: Historic Preservation <input type="checkbox"/> VAR-A: VAR Amendment <input checked="" type="checkbox"/> AAP: Administrative AP <input type="checkbox"/> AUP-A: AUP Amendment <input type="checkbox"/> A: Appeal <input type="checkbox"/> AVAR-A: AVAR Amendment <input type="checkbox"/> ADC: Admin Design Change <input type="checkbox"/> SU: Second Unit <input type="checkbox"/> TPD: Tree Permit W/ Dev't <input type="checkbox"/> MMP: Mitigation Monitoring <input type="checkbox"/> SP: Sign Permit <input type="checkbox"/> LLA: Lot Line Adjustment <input type="checkbox"/> PUU: Undocumented Unit <input type="checkbox"/> Stormwater Permit <input checked="" type="checkbox"/> UP: Use Permit <input type="checkbox"/> LM: Lot Merger <input type="checkbox"/> VAR: Variance <input type="checkbox"/> Other:	
	<b>CEQA Determination:</b> <b>Review Authority:</b> <b>Active Permits:</b> <b>Overlay Zones:</b> <input checked="" type="checkbox"/> Exempt <input type="checkbox"/> Staff <input type="checkbox"/> HRC <input type="checkbox"/> Butterfly Zone <input type="checkbox"/> Initial Study & Mitigated Negative Declaration <input type="checkbox"/> ZA <input checked="" type="checkbox"/> CPC <input type="checkbox"/> Coastal Zone <input type="checkbox"/> Environmental Impact Report <input type="checkbox"/> SPRC <input type="checkbox"/> CC <input type="checkbox"/> Area of Special Biological Significance (ASBS) <input type="checkbox"/> _____ <input type="checkbox"/> ARB <input type="checkbox"/> _____ <input type="checkbox"/> Environmentally Sensitive Habitat Area (ESHA)	
	<b>Property Information</b> Lot: <u>1</u> Block: <u>not in Block Reservoir site</u> Tract: <u>Assessors Map of PG Acres</u> ZC: <u>unclassified - U</u> GP: <u>open space</u> Lot Size: <u>390,000 SF</u>	
	<input type="checkbox"/> Historic Resources Inventory <input type="checkbox"/> Archaeologically Sensitive Area <b>Staff Use Only:</b> <div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: center;"> <p><b>PAID</b></p> <p><u>5,375.05</u></p> <p><u>9-19-16</u></p> </div> <div style="text-align: center;"> <p><u>Refund \$ 1,159.97</u></p> <p><u>9-20-16</u></p> </div> </div>	

**CERTIFICATION** – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

Applicant Signature: [Signature] Date: 9-12-16  
 Owner Signature (Required): [Signature] Date: 9-14-16

PROJECT DATA SHEET

Project Address: 836 CARMEL AVE Submittal Date: 9-14-16 - REV. 10-4-16  
 Applicant(s): LUIS VARGAS - ISA Permit Type(s) & No(s): \_\_\_\_\_

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	<u>U</u>	<u>✓</u>	<u>—</u>	
Building Site Area (SITE)		<u>8.94 Acres</u>	<u>—</u>	<u>390,000.8f</u>
Density (multi-family projects only)				<u>N/A</u>
Building Coverage	<u>—</u>	<u>12,320</u>	<u>13,040</u>	<u>720 sf addition 3.5%</u>
Site Coverage		<u>54900</u>	<u>55,620</u>	<u>14.5%</u>
Gross Floor Area		<u>12,320</u>	<u>13,040</u>	<u>addition of 720 sft 3.5%</u>
Square Footage not counted towards Gross Floor Area	<u>—</u>	<u>—</u>	<u>—</u>	<u>N/A</u>
Impervious Surface Area Created and/or Replaced	<u>N/A</u>		<u>720</u>	
Exterior Lateral Wall Length to be demolished in feet & % of total*	<u>—</u>	<u>—</u>	<u>ft/ %</u>	<u>NONE</u>
Exterior Lateral Wall Length to be built	<u>—</u>	<u>—</u>	<u>—</u>	<u>NONE</u>
Building Height	<u>15</u>		<u>15'</u>	
Number of stories	<u>—</u>		<u>1</u>	
Front Setback	<u>20'</u>	<u>20'</u>	<u>—</u>	<u>N/A</u>
Side Setback (specify side)	<u>10% lot width</u>	<u>5'</u>	<u>10'</u>	
Side Setback (specify side)				<u>N/A</u>
Rear Setback	<u>5'</u>			<u>N/A</u>
Garage Door Setback				<u>N/A</u>
Covered Parking Spaces	<u>—</u>	<u>0</u>	<u>3</u>	
Uncovered Parking Spaces	<u>—</u>	<u>68</u>	<u>68</u>	
Parking Space Size (Interior measurement)	<u>9' x 20'</u>	<u>larger 9x20</u>	<u>larger 9-20'</u>	<u>9' x 20' OR larger</u>
Number of Driveways	<u>1</u>			<u>1 - (E)</u>
Driveway Width(s)		<u>20'</u>	<u>20'</u>	
Back-up Distance		<u>20'</u>	<u>20'</u>	
Eave Projection (Into Setback)	<u>3' maximum</u>		<u>0'</u>	
Distances Between Eaves & Property Lines	<u>3' minimum</u>		<u>10'</u>	
Open Porch/Deck Projections				<u>N/A</u>
Architectural Feature Projections				<u>N/A</u>
Number & Category of Accessory Buildings			<u>0</u>	<u>N/A</u>
Accessory Building Setbacks	<u>5'</u>	<u>10'</u>	<u>10'</u>	<u>N/A</u>
Distance between Buildings	<u>10'</u>	<u>N/A</u>	<u>40'</u>	<u>(N) BLD'G TO (E) BLD'G</u>
Accessory Building Heights		<u>15-18'</u>	<u>15'</u>	<u>N/A</u>
Fence Heights		<u>6'</u>		

\*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.



**RESOLUTION NO. 16-05**

**USE PERMIT (UP) AND ADMINISTRATIVE ARCHITECTURAL PERMIT NO. 16-830 TO PERMIT  
A 720 SQUARE FOOT ACCESSORY STRUCTURE CATEGORY 1 TO ALLOW FOR THREE  
COVERED PARKING SPACES.**

**FACTS**

1. The subject site is located at 836 Carmel Ave, Pacific Grove, 93950 APN 006-694-006
2. The subject site has a designation of Medium Density 17.4 du/ac adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the U-Unclassified zoning district.
4. The subject site is approximately 8.946 Acres
5. The reservoir site is located at between Hillcrest Avenue, Carmel Avenue and David Avenue, between the Cities of Monterey and Pacific Grove. The site is developed with several storage buildings and the abandoned reservoir.
6. This project has been determined to be CEQA Exempt under CEQA Guidelines Class 1 Section 15301.

**FINDINGS**

1. The proposed use is allowed with a use permit per Pacific Grove Municipal Code 23.64.180.
2. Accessory structure means a building that is subordinate and incidental to the use of the main building on the same site. A Use Permit is required, subject to approval by the Planning Commission, to have an additional Category 1 accessory structure that is larger than 120 sf.
3. The proposed use is allowed in the U zoning district and complies with all applicable provisions of these regulations;
4. The establishment, maintenance, or operation of the use will not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use;
5. The use, as described and conditionally approved, will not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city; and
6. The location, size, design, and operating characteristics of the proposed use are compatible with the existing and future land uses in the vicinity.

**NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF  
PACIFIC GROVE:**

1. The foregoing Findings are adopted as findings of the Planning Commission as though set forth fully herein.
2. Use Permit 15-738 is hereby approved, subject to the findings and conditions herein.
3. Solar panels shall be installed as part of the proposed project.
4. A resolution signed by the Permittee, acknowledging receipt of the Use Permit and acceptance of the terms and conditions must be returned to the Community and Economic Development Department.
5. All activities must occur in strict compliance with the proposal as set forth in the application for Use Permit, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Planning Commission approval as a use permit amendment.
6. These terms and conditions shall run with the land, and it is the intention of the Planning Commission and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made, and the Planning Commission approves, any such amendments pursuant to the Zoning Code regulations.
7. This Resolution shall become effective upon the expiration of the 10-day appeal period.
8. Review and approval by the Public Works, Fire and Building Departments are required prior to final approval.

**PASSED AND ADOPTED** BY THE PLANNING COMMISSION OF THE CITY OF PACIFIC GROVE this 27th day of October, 2016, by the following vote:

AYES:

NOES:

APPROVED:

\_\_\_\_\_  
WILLIAM FREDRICKSON, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

\_\_\_\_\_  
Luis Vargas  
Applicant

\_\_\_\_\_  
Date





**GENERAL NOTES**

- EVERYTHING IS EXISTING UNLESS OTHERWISE NOTED.
- G.C. TO LOCATE ALL UTILITIES & FIELD VERIFY (E) CONDITIONS PRIOR TO COMMENCEMENT

**KEYED NOTES**

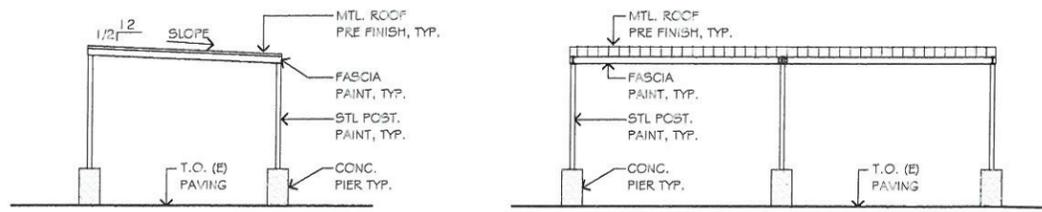
- ① (E) FIRE HYDRANT
- ② (N) CANOPY: SHADE STRUCTURE, SEE S2.1 & S3.1
- ③ (E) LANDSCAPE AREA W/ TREES

**LEGEND**

-  AREA OF WORK
-  PATH OF TRAVEL (P.O.T.), AS INDICATED, IS A COMMON BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 2" BEVELED AT 1:2 MAX. SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 4" VERTICAL AND IS AT LEAST 48" WIDE. THE PATH SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. PASSING SPACES (11B-403.5.2) AT LEAST 60" x 60" ARE LOCATED NOT MORE THAN 200' APART. PARTS OF P.O.T. WITH CONTINUOUS GRADIENTS HAVE 40' LEVEL AREAS (11B-403.7) NOT MORE THAN 400' APART. THE CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL AND IS LESS THAN 5% U.O.N. P.O.T. SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 30" MIN. (11B-307) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL & ABOVE 27" AND LESS THAN 80" (11B-307.4)
-  PROPERTY LINE
-  FENCING, 6' HIGH CHAINLINK W/ SLATS U.O.N.

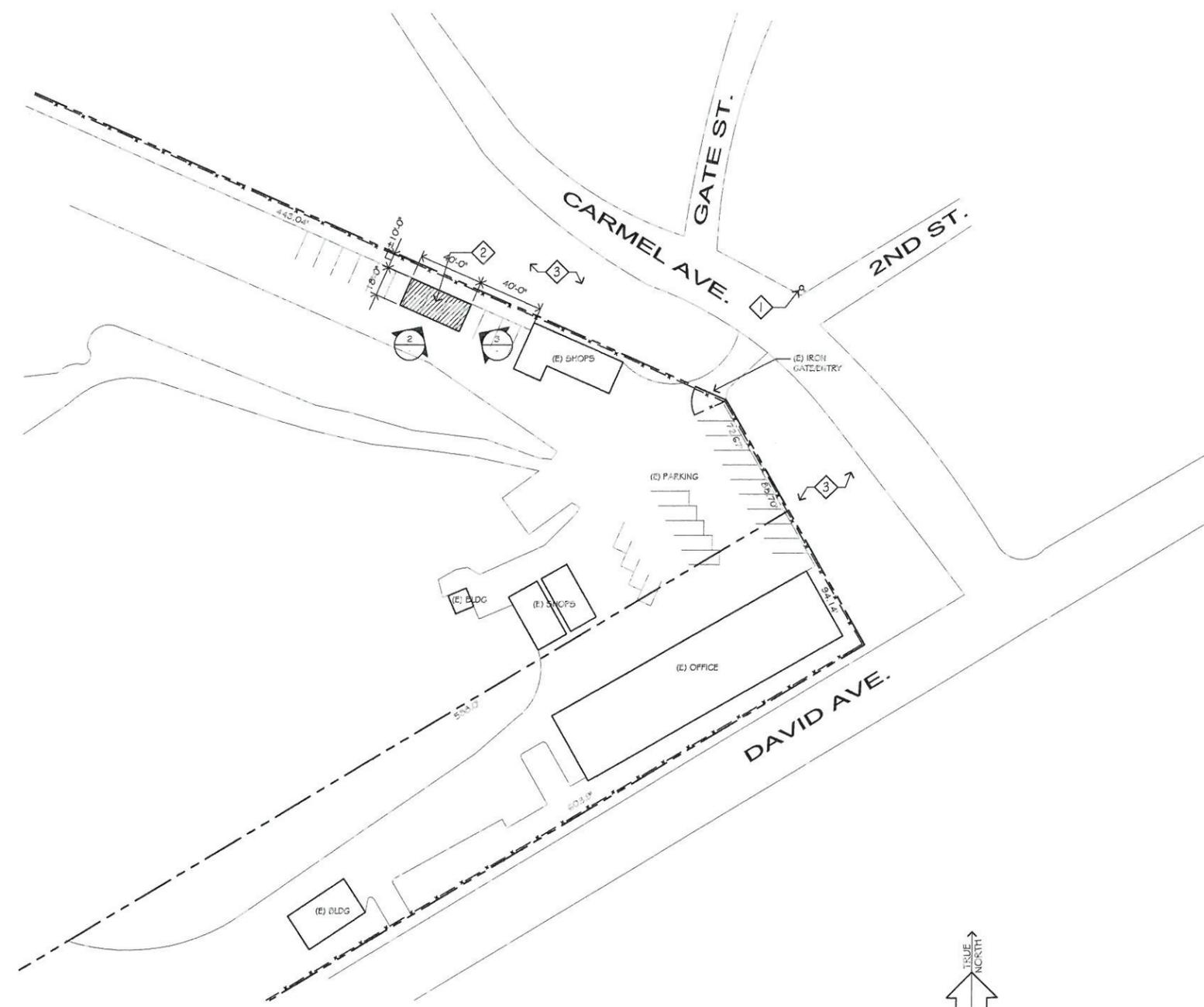
**CODE ANALYSIS**

BLDG. ID.	DESCRIPTION	OCC. GROUP	CONST. TYPE	STORIES	ACTUAL AREA	ALLOWABLE AREA
S-1	CANOPY	U	V-B	1	800	5,500



3 (OPP. SIDE SIM.)  
**SIDE ELEVATION**  
SCALE: 1/8"=1'-0"

2 (OPP. SIDE SIM.)  
**FRONT ELEVATION**  
SCALE: 1/8"=1'-0"



1 **SITE PLAN**  
SCALE: 1"=40'



**IN STUDIO ARCHITECTURE**  
250 MAIN STREET  
SALINAS, CA 93901  
831.320.2655

DATES \_\_\_\_\_



**CLIENT**  
**CALIFORNIA AMERICAN WATER**

**PROJECT**  
**SHADE STRUCTURE**

836 CARMEL AVE  
PACIFIC GROVE, CA 93950

**SHEET**  
**OVERALL SITE PLAN**

PROJECT NUMBER:	1637
ISSUED:	JULY 29, 2016
DRAWN BY:	CF
CHECKED BY:	-
FILENAME:	-

RECEIVED  
SEP 19 2016  
CITY OF PACIFIC GROVE  
COMMUNITY DEV DEPT

**A1.0**

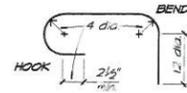
**GENERAL NOTES**

**Site Condition:** The Contractor shall examine and check all existing conditions, dimensions, levels and material and notify the Architect of discrepancies.

**Concrete:** Concrete shall be proportioned to give a 28 day compressive strength of at least 2500 psi for slabs and foundations. The slump shall be the minimum consistent with the condition of placing but in general shall not exceed 4 inches. All concrete construction shall be in accordance with Chapter 19 of the California Building Code, 2013 Edition.

**Reinforcing bars:** Reinforcing bars shall be deformed bars conforming to ASTM Standard Specification A615, Grade 40 for #4 bars and smaller and Grade 60 for #5 bars and larger. Reinforcing shall be placed in as long lengths as possible. Bars shall lap 60 dia. in concrete and 40 dia. masonry at splices unless otherwise shown or noted on the plans, using the diameter of the larger bar in case of difference in size. Splices shall be staggered and bars may be wired together at splices. Bend steel around corners 12" minimum. All reinforcing steel shall be in accordance with Chapter 19 of the California Building Code, 2013 Edition. Bar coverage (face of bar to face of concrete) shall be as follows unless noted otherwise.

Concrete slab on grade 1/4" min.  
Concrete surface against earth 3" min.  
When poured against forms exposed to weather or earth 2" min.  
All others See details



Bars shall have bends and hooks as follows except as otherwise shown or noted:

**Structural and Miscellaneous Steel:** Wide Flange steel beams shall conform to ASTM A992, Grade 50. Plates and other structural and miscellaneous steel shall conform to ASTM A-36. Structural steel tubes shall conform to ASTM A500, Grade B. Fabrication, erection, welding and painting shall be in accordance with the latest edition of the American Institute of Steel Construction Specifications. All steel exposed to weather shall be galvanized.

**Steel Decking:** Steel Decking shall be of size and shape as noted on the drawings, galvanized as manufactured by ASC Steel Deck, or approved equal.

**Bolts:** Bolts shall conform to ASTM A-307. Bolts and nuts shall be galvanized where exposed to the weather.

**Special Inspections:** The following special inspections, as required by Section 1705 of the California Building Code, 2013 Edition, shall be provided during construction on the following types of work. The Contractor shall make arrangements for such tests, inspections and approvals with an independent testing laboratory or entity acceptable to the Owner. The Owner shall bear costs of the test and/or inspections.

A. Structural Welding, per Section 1705.2.2 and Table 1705.2.1.

**General Design Criteria:**

**Seismic:**

Occupancy Category = II; I = 1.0  
Seismic Design Category = 'D'; Site Class 'D'  
S<sub>s</sub> = 1.547 g; S<sub>1</sub> = 0.517 g  
F<sub>a</sub> = 1.0; F<sub>v</sub> = 1.5  
S<sub>m</sub> = F<sub>a</sub>S<sub>s</sub> = 1.547 g  
S<sub>m</sub> = F<sub>v</sub>S<sub>s</sub> = 0.855 g  
S<sub>0.5</sub> = 2/3 S<sub>m</sub> = 1.032 g  
S<sub>0.1</sub> = 2/3 S<sub>m</sub> = 0.517 g  
R = 2 (Inverted Pendulum per ASCE7-10, Table 15.4-2)  
V = S<sub>0.5</sub> W x 0.7 = 0.4W (Working Stress)  
(R1)

**Wind:**

Wind Exposure 'C'  
10 mph wind speed

**Live Loads:**

Roof Live Load = 20 psf

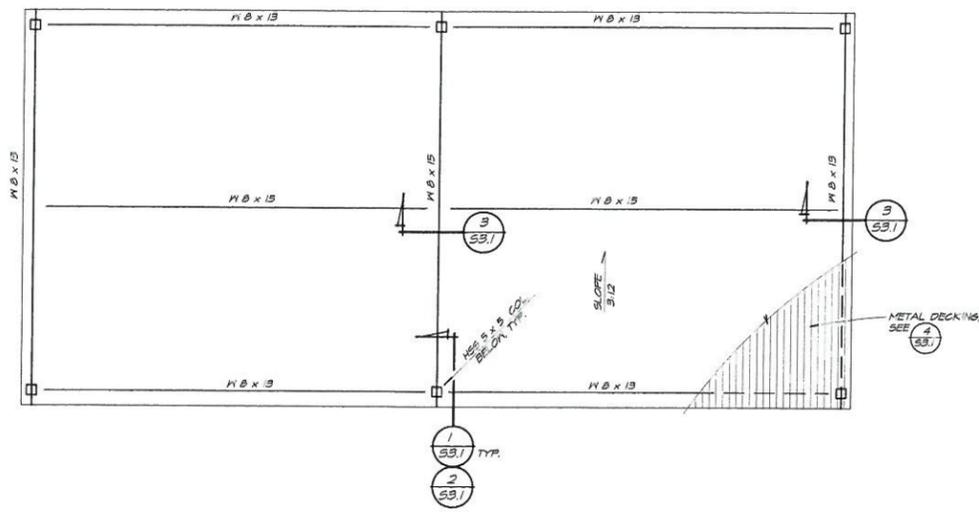
**Longitude & Latitude:**

Long: -121.92473  
Lat: 36.60784

**Note:** All construction not specifically detailed shall be built to conform with similar construction shown and the requirements of the California Building Code, 2013 Edition.

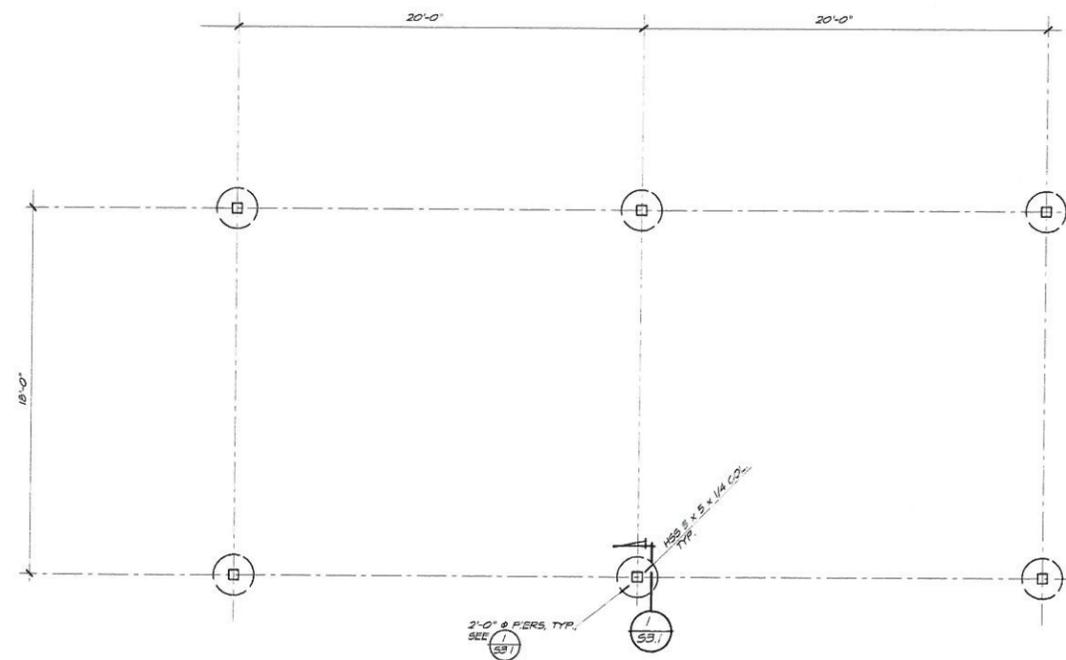
**ABBREVIATIONS**

A.B. = Anchor Bolt	Frmg. = Framing	Perf. = Performed
Arch. Dngs. = Architectural Drawings	Ft. = Foot, Feet	PLY. = Plywood
Blk. = Block	Ftg. = Footing	Pl. = Plate
Blng. = Blocking	gd. = Gauge	Reinf. = Reinforcing
Bm. = Beam	Galv. = Galvanized	Ret. = Retaining
Bot. = Bottom	GL. = Gullion beam	Req. = Requirements
Cont. = Cantilever	SSM = Galvanized Sheet Metal	Rt. = Roof
C.L. = Center Line	Hdr. = Header	Rm. = Room
Clr. = Clear	Ht. = Height	Redwd. = Redwood
Col. = Column	Hor'z. = Horizontal	S.B. = Solid Blocking
Compl. Pen. = Complete Penetration	Inst. = Joint	Sheatg. = Sheathing
Conc. = Concrete	Max. = Maximum	Sim. = Similar
Cont. = Continous	M.B. = Machine Bolt	Sq. = Square
Dbl. = Double	M.B.M. = Metal Bolt Manufacturer	Std. = Standard
D.F. = Douglas Fir	Mech. = Mechanical	T.E.N. = Typical Edge Nailing
Dia. = Diameter	Mn. = Minimum	T&G = Tongue and Groove
(E) = Existing	(N) = New	TS = Structural Steel Tube
Ech. = Each	N.T.S. = Not to Scale	Typ. = Typical
Fin. = Finish	O.C. = On Center	U.N. = Unless Noted
Fnd. = Foundation	O.H. = Openable Hand	Vert. = Vertical
F.O.C. = Face of Concrete	P.H.P. = Perforated Metal Pipe	W.U.F. = Welded Wire Fabric
F.O.S. = Face of Stud	P.T.D.F. = Pressure Treated Douglas Fir	W. = Steel Beam
		W.A. = Wedge Anchor



**ROOF FRAMING PLAN**

1/4" = 1'-0"



**FOUNDATION PLAN**

1/4" = 1'-0"

**FOUNDATION NOTES**

1. DIMENSIONS ARE TO FACE OF CONC. & FTGS & COLUMNS ETC. UNLESS NOTED. VERIFY DIMENSIONS W/ ARCH. DNGS AND NOTIFY THE ARCHITECT OF DISCREPANCIES. SEE ARCH. DNGS FOR ADDL. NOTES AND DIMENSIONS NOT SHOWN.
2. CENTER FOOTINGS/PIERS ON COLUMNS UNLESS NOTED OR SHOWN OTHERWISE.

RECEIVED

SEP 19 2013

CITY OF PACIFIC GROVE  
COMMUNITY DEV DEPT

REVISIONS


**DONALD C. URFER AND ASSOC. INC.**  
CIVIL AND STRUCTURAL ENGINEERS  
2715 PORTER STREET, SOQUEL, CA 95073  
408.1.476.3881

FOUNDATION PLAN / ROOF FRMG PLAN  
GENERAL NOTES

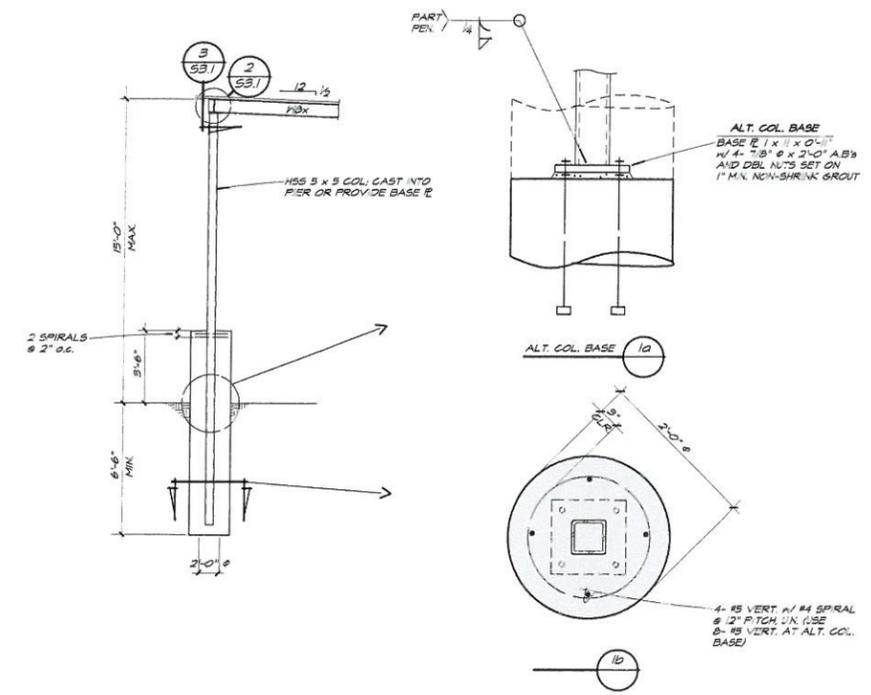
**TRUCK SHADE STRUCTURE**  
CALIFORNIA AMERICAN WATER CO.  
511 FOREST LODGE RD., PACIFIC GROVE, CA.



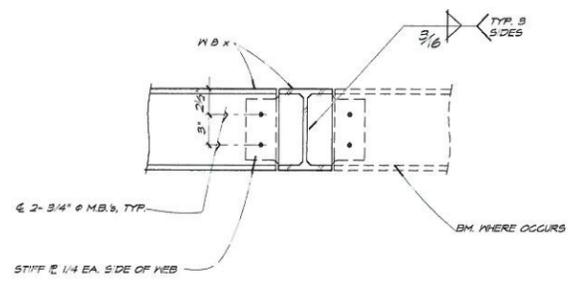
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JOB	
SHEET	

**S2.1**

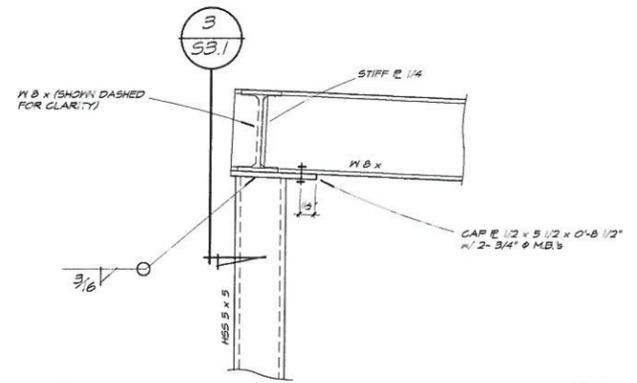
REVISIONS



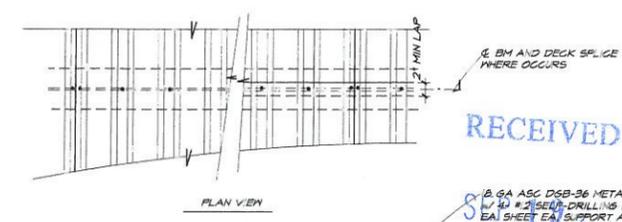
**DETAIL** 1  
1/4"=1'-0" S3.1



**DETAIL** 3  
1 1/2"=1'-0" S3.1



**DETAIL** 2  
1 1/2"=1'-0" S3.1



PLAN VIEW  
SCREW PATTERN TO SUPPORTS

RECEIVED  
CITY OF PACIFIC GROVE  
COMMUNITY DEV DEPT

18 GA ASC DSB-26 METAL DECKING  
W/ 1/4" #2 SELF-DRILLING FASTENERS  
EAL SHEET EA SUPPORT AND DELTA  
6" @ 2" SEAM ATTACHMENTS @  
26" o.c. SEE IAPMO ER C16, REVISED  
7/2013 FOR ADDL INSTALLATION  
INFORMATION (S-10322 IN I,  
I = 0.302 IN I)

**DETAIL** 4  
S3.1

**DONALD C. URFFER AND ASSOC. INC.**  
CIVIL AND STRUCTURAL ENGINEERS  
2715 PORTER STREET, SOQUEL, CA 95073  
951.476.9861

DETAILS

**TRUCK SHADE STRUCTURE**  
CALIFORNIA AMERICAN WATER CO.  
511 FOREST LODGE RD., PACIFIC GROVE, CA.



DATE  
SCALE  
DRAWN  
JOB  
SHEET

S3.1