



**CITY OF PACIFIC GROVE**  
300 Forest Avenue, Pacific Grove, California 93950

**AGENDA REPORT**

**TO:** Planning Commission

**FROM:** Laurel O'Halloran, Associate Planner

**MEETING DATE:** January 7, 2016

**ADDRESS:** 214 13th Street Pacific Grove, CA 93950  
APN: 006-272-006

**SUBJECT:** Use Permit (UP) 15- 812

**APPLICANT/  
OWNER:** Jim Irwin/Matt Tanzi

**ZONING/LAND USE:** R-2, residential

**CEQA:** Section 15301.e(1) Class 1 Categorical Exemption

**RECOMMENDATION:**

Hold a public hearing on Use Permit (UP) 15-812 and approve, subject to staff-recommended findings and conditions.

**PROJECT DESCRIPTION**

To permit and approve an existing detached category one accessory structure with a bedroom and full bathroom per S. 23.16.021 and to permit and approve a second category one accessory structure which is a 260 square foot carport pursuant to PGM 23.64.180

**BACKGROUND**

The project site is located at 214 13<sup>th</sup> Street in the R-2 zoning district which permits duplexes and two detached single-family residences subject to first securing a use permit. Accessory structures are also a permitted use and subject to various permitting paths. The parcel is 3,600 square feet. The existing single-story 1,105 square foot single family residence is on the Historic Resources Inventory. The existing rear detached accessory structure is 179 square feet, contains a full bath, and is located within the rear setback.

Administrative Architectural Permit AAP 14-460 was approved in September 2014. The permit approved rehabilitation of an historic structure, renovation of an existing detached habitable category one accessory structure, and construction of a second category one accessory structure in the form of a carport. A category one accessory structure is defined as a detached non-habitable structure that is 70 square feet or more in area (such as garages, carports, workshops, and gazebos.) Upon further review, staff determined the correct permitting path for the scope of work is Use Permit.

**DISCUSSION**

The existing category one accessory structure at the rear of the property contains a bedroom and bathroom. A Use Permit is required for a detached room exceeding 100 square feet with plumbing fixtures per S. 23.16.021.

Additionally a Use Permit is required for additional category one accessory structures, in this case, the 260 square foot carport per Table 23.64.180.

Maximum gross floor area permitted for a 3,600 square foot lot is up to 2,400 square feet. Total gross floor area, including the existing house, carport, and detached habitable structure with plumbing is 1,544 square feet and is lower than the maximum square footage threshold.

Allowable building coverage is 50% and the project building coverage is 42%. Site coverage in R-2 is 60% and the project coverage is 60%.

**Carport**

The carport brings the property into greater conformance by meeting the required off street parking. Lot sizes between 2,700-4000 square feet in the R-2 zone are required to have one covered and one uncovered parking space. The carport provides one covered parking space and the 20 foot driveway accommodates one on-site uncovered parking space. The carport does not encroach in the setback areas.

**Detached Habitable Accessory Structure with Plumbing**

Detached or semi-detached rooms exceeding 100 square feet are subject to a use permit. The structure meets the characteristics outlined in S. 23.16.021 in that the room has no interior access to other rooms in the structure or on the building site and the room is equipped with a sink in addition to and remote from the kitchen on the same building site. The structure would not readily lend itself to a multiple dwelling use in that it lacks a kitchen; however, because the property is zoned R-2, the property owner, may at a later date apply for a use permit for a second detached unit.

The existing detached accessory structure encroaches into the rear setback. The required rear setback is 10 feet and the structure has a rear setback of 3'3" is considered legal non-conforming. The project site has been reviewed by Monterey Peninsula Water Management District (MPWMD) and it has been verified that there are adequate water credits for the full bathroom in the accessory structure.

A condition of approval will require the applicant to record a Deed Restriction with the County stating the structure will not be converted to a 2<sup>nd</sup> Unit without first obtaining the appropriate Planning Permit.

**FINDINGS**

Staff recommends approval of UP 15-812, subject to the recommended findings (see Attachment 1, Draft Resolution).

**CONDITIONS**

Staff recommends approval of UP 15-812 subject to the recommended conditions (see Attachment 1, Draft Resolution).

**CEQA**

In reviewing this action the City has followed guidelines adopted by the State of California as published in California Administrative Code, Title 14, §15000, et seq. The proposed project is found exempt under the CEQA Guidelines Section Class 1 15301(e)(1).

**OPTIONS**

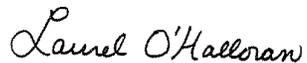
1. Approve the application, with the recommended conditions.
2. Approve a modified project, citing evidence to support findings.
3. Deny the application, citing evidence why findings cannot be made.

**ATTACHMENTS**

1. Draft resolution
2. Application materials
3. CEQA Materials
4. Project Plans
5. Water Management District forms

RESPECTFULLY SUBMITTED:

REVIEWED BY:



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Laurel O'Halloran  
Associate Planner

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Anastazia Aziz, AICP  
Senior Planner



# CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

## Permit & Request Application

Item 7.a

Project Permit(s) & Fees			App. #:
Permit: <u>UP</u>	Fee: _____	Multiple Permit Discount: _____	<u>15-812</u>
_____	_____	_____	Date: <u>12/18/15</u>
_____	_____	_____	Received By: <u>L O'Halloran</u>
_____	_____	_____	Total Fee: <u>\$ 31,831.50</u>

Project/Property Information	
Project Address: <u>214 13th St.</u>	APN: <u>006-272-006-000</u>
Lot: <u>14 dlv</u> Block: <u>29</u> Tract: <u>1st Addition</u>	
ZC: <u>R2</u> GP: <u>High Density 29.0d/au</u> Lot Size: <u>.083 acres = 3,600 S.F.</u>	
Project Description: <u>Remodel existing restroom in existing guest/recreation room.</u>	
Applicant Name: <u>Jim Irwin</u> Phone #: <u>649-4642</u>	
Mailing Address: <u>2340 Garden Rd. Ste. 100 Monterey, CA 93940</u>	
Email Address: <u>jimi@wrdarch.com / debbybeckrealtor@gmail.com</u>	
Owner Name: <u>Matt Tanzi</u> Phone #: <u>(408) 218-5809</u>	
Mailing Address: <u>6711 Mt. Leneve - San Jose, CA 95120</u>	
Email Address: <u>matteoje@sbcglobal.net</u>	

Permit(s)/Request(s)			
<input type="checkbox"/> CRD: Counter Determination	<input checked="" type="checkbox"/> UP: Use Permit	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> VAR: Variance
<input type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> AUP: Administrative UP	<input type="checkbox"/> HPP: Historic Preservation Permit	<input type="checkbox"/> AVAR: Administrative VAR
<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> UP-A: UP Amendment	<input type="checkbox"/> HDP: Historic Demolition Permit	<input type="checkbox"/> VAR-A: VAR Amendment
<input type="checkbox"/> ADC: AP Design Change	<input type="checkbox"/> AUP-A: AUP Amendment	<input type="checkbox"/> HRP: Historic Relocation Permit	<input type="checkbox"/> AVAR-A: AVAR Amendment
<input type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> C-1 Interp. of Permitted Uses	<input type="checkbox"/> HD: Historic Determination	<input type="checkbox"/> IS & ND/MND: Initial Study
<input type="checkbox"/> ASP: Administrative SP	<input type="checkbox"/> SU: Second Unit	<input type="checkbox"/> TPD: Tree Permit w/ Dev't	<input type="checkbox"/> EIR: Env. Impact Report
<input type="checkbox"/> TTM: Tentative Tract Map	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> PUU: Permit Undocumented Unit	<input type="checkbox"/> MMP: Mitigation Monitoring
<input type="checkbox"/> FTM: Final Tract Map	<input type="checkbox"/> LM: Lot Merger	<input type="checkbox"/> GPA: General Plan Amendment	<input type="checkbox"/> Other _____
<input type="checkbox"/> SPR: Site Plan Review	<input type="checkbox"/> COC: Certificate of Compliance	<input type="checkbox"/> ZCA: Zoning Code Amendment	<input type="checkbox"/> Other _____

CEQA Determination	Review Authority	Does the property have?	Is the property within?
<input checked="" type="checkbox"/> Cat. Exempt, Class:	<input type="checkbox"/> Staff <input type="checkbox"/> NRC	<input type="checkbox"/> Active Planning Permit	<input type="checkbox"/> ASA: Archaeologically Sensitive Area <sup>1</sup>
<input type="checkbox"/> ND: Negative Declaration	<input type="checkbox"/> ZA <input type="checkbox"/> HRC	<input type="checkbox"/> Active Building Permit	<input type="checkbox"/> CZ: Coastal Zone <sup>2</sup>
<input type="checkbox"/> MND: Mitigated ND	<input type="checkbox"/> SPRC <input checked="" type="checkbox"/> PC	<input type="checkbox"/> Active Code Violation	<input checked="" type="checkbox"/> ASBS: Drainage into ASBS Watershed
<input type="checkbox"/> EIR: Environmental Impact Report	<input type="checkbox"/> ARB <input type="checkbox"/> CC		<input checked="" type="checkbox"/> HRI: Historic Resources Inventory <sup>3,4</sup>
			<input type="checkbox"/> BP: Butterfly Preserve Buffer

**CERTIFICATION** – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge. **If the owner is not available for signature, written/electronic and signed verification from the owner shall be required at the time of submittal agreeing to 1) the Applicant acting as their agent, 2) this Certification and 3) the Applicant acknowledgement below.**

<u>Jim Irwin</u> Applicant Signature	<u>12/18/15</u> Date	<u>[Signature]</u> Owner Signature (Required)	<u>12/18/15</u> Date
		<u>for 214 13th St, LLC</u>	

COPY

Item 7.a

PROJECT DATA SHEET

Project Address: 24 13th St.

Submittal Date:

09/15/14

Applicant(s): Jim Irwin

Permit Type(s) & No(s):

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District		R-2	R-2	
Building Site Area	3600 SF	3,600 S.F.	3,600 S.F.	
Density (multi-family projects only)	—	—	—	
Building Coverage	50% (1845 SF)	1,284 S.F.	1,544 S.F.	
Site Coverage	60% (2160 SF)	1,716 SF	2,156 S.F.	
Gross Floor Area	2400 SF	1,284 S.F.	1,544 S.F.	856 sf under
Square Footage not counted towards Gross Floor Area		—	—	
Impervious Surface Area Created and/or Replaced			440 S.F.	
Exterior Lateral Wall Length to be demolished in feet & % of total*	—	—	— ft / %	N/A
Exterior Lateral Wall Length to be built	—	Ø	Ø	
Building Height	24 FT	18'-0" avg.	18'-0" avg.	from average grade
Number of stories	2	1	1	
Front Setback	15'-0"	7'-0"	7'-0"	existing cond.
Side Setback (specify side)	3'-0"	5'-3"	5'-3"	existing cond.
Side Setback (specify side)	3'-0"	3'-8"	3'-8"	existing cond.
Rear Setback	10'-0"	1'-6"	1'-6"	existing cond.
Garage Door Setback	20'	Ø	20'-0"	existing cond.
Covered Parking Spaces	1	Ø	1	open carport face
Uncovered Parking Spaces	1	Ø	1	carport
Parking Space Size (Interior measurement)	9' x 20'	dirt	11'-8" x 20' 16'-0" x 20'	conc. pad covered uncovered
Number of Driveways	1	dirt	1	
Driveway Width(s)			24'-0"	
Back-up Distance			20'-0"	
Eave Projection (Into Setback)	3' maximum			existing varies
Distances Between Eaves & Property Lines	3' minimum			10' & varies rear
Open Porch/Deck Projections		3'-6"	3'-6"	existing cond.
Architectural Feature Projections		—	—	
Number & Category of Accessory Buildings		1	2	Carport/ Category 1
Accessory Building Setbacks		3'-3"	3'-3"	existing cond.
Distance between Buildings		12'-6"	12'-6"	
Accessory Building Heights		8'-7"	8'-7"	
Fence Heights		varies	varies	existing cond.

\*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.

[Rev. 01/14/14]

218 SF reduction required

222 SF reduced 3,278 - 2056 = 222 SF



**RESOLUTION NO. 16-01**

**USE PERMIT (UP) NO. 15- 812 TO PERMIT AN EXISTING UNPERMITTED  
DETACHED ACCESSORY STRUCTURE WITH A BEDROOM AND BATHROOM AND  
TO PERMIT A SECOND CATEGORY 1 ACCESSORY STRUCTURE**

**FACTS**

1. The subject site is located at 214 13th Street, Pacific Grove, 93950 APN 006-272-006
2. The subject site has a designation of High Density 29.0 du/ac adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-2 zoning district.
4. The subject site is approximately 3,600 square feet.
5. The subject site is developed with a 1,105 sf single-family residence, a 179 sf detached structure with a bedroom and bathroom and a new 260 sf carport.
6. The project site will meet the one covered and one uncovered off street parking requirements for the R-2 zone.
7. Records do not exist approving the bathroom in the detached accessory structure.
8. Administrative Architectural Permit AAP 14-460 was approved in September 2014. Upon further review, the correct permit path for the scope of work is a use permit.
9. This project has been determined to be CEQA Exempt under CEQA Guidelines Class 1 Section 15301.

**FINDINGS**

1. The proposed use, a detached structure equipped with plumbing is allowed with a use permit per Pacific Grove Municipal Code 23.16.021 and a second category 1 accessory structure in the form of a carport is allowed with a use permit per Pacific Grove Municipal Code Table 23.64.180.
2. The proposed uses are allowed in the R-2 zoning district and comply with the applicable provisions and regulations, with the exception of setback requirements for the existing rear structure. The carport brings the property into greater conformance with the regulations by meeting on-site parking requirements.
3. The establishment, maintenance, or operation of the use will not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use in that the carport brings the property into greater conformity with the zoning district and the detached habitable accessory structure supports the residential nature of the existing historic neighborhood.
4. The use, as described and conditionally approved, will not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city; and

5. The location, size, design, and operating characteristics of the proposed use are compatible with the existing and future land uses in the vicinity in that it conforms to the zoning regulations or the R-2 district with the exception of setbacks which are legal non-conforming.

**NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF PACIFIC GROVE:**

The foregoing Findings are adopted as findings of the Planning Commission as though set forth fully herein.

Use Permit 15-812 is hereby approved, subject to the findings and conditions herein.

1. **Resolution.** A resolution signed by the Permittee, acknowledging receipt of the Use Permit and acceptance of the terms and conditions must be returned to the Community and Economic Development Department.
2. **Approval.** All activities must occur in strict compliance with the proposal as set forth in the application for Use Permit, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Planning Commission approval as a use permit amendment.
3. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
4. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
5. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CEDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
6. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
7. **Conformance to Plans.** Development of the site shall conform to the approved Use Permit plans entitled "Residential Remodel 214 13<sup>th</sup> Street dated June 25, 2015 on file with the Community and Economic Development Department and to the Building Code.
8. **During-Construction Pollution Prevention (a):** During construction, the developer shall employ storm water best management practices (BMPs) for erosion and sediment control, prevention of non-stormwater discharges, and implement good housekeeping and construction waste management practices to protect the storm

drainage system and water quality as required by City Code Section 9.30.130(c), the City Phase II NPDES Permit, State Water Resources Control Board (SWRCB) Construction General Permit (CGP), and the Monterey Regional Storm Water Management Program (MRSWMP). Plans for during-construction storm water management and BMPs, such as a Storm Water Pollution Prevention Plan (SWPPP), shall be submitted to the City and subject to review and approval of the Public Works/Community Development Director and Building Official prior to issuance of a grading and/or building permit.

- 9. **During-Construction Pollution Prevention** (b): Construction activities subject to BMP requirements shall continuously employ measures to control waste such as discarded building materials, concrete truck washout, chemicals, litter, and sanitary waste at the construction site that may cause adverse impacts to water quality, contamination, or unauthorized discharge of pollutants.
- 10. **Deed Restriction:** A Deed Restriction must be recorded with the Monterey County stating the structure will not be converted to a second unit without first obtaining the appropriate Planning Permit. This permit shall be revoked if a Deed Restriction is not recorded with the County within one year from the date of approval. An application for extension of this permit, if needed, must be made prior to the expiration date.
- 11. **Street Trees.** One tree shall be planted per 30 feet of frontage, with a minimum of two trees
- 12. **Effective Date:** This resolution shall become effective upon the expiration of the 10-day appeal period.

**PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF PACIFIC GROVE** this 7th day of January, 2016, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

\_\_\_\_\_  
WILLIAM FREDRICKSON, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

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Owner \_\_\_\_\_ Date \_\_\_\_\_



**CITY OF PACIFIC GROVE**

**Community Development Department – Planning Division**

300 Forest Avenue, Pacific Grove, CA 93950

T: 831.648.3190 • F: 831.648.3184 • [www.ci.pg.ca.us/cdd](http://www.ci.pg.ca.us/cdd)

**NOTICE OF EXEMPTION FROM CEQA**

**Item 7.a**

**Property Address/Location: 214 13th St, Pacific Grove, CA 93950**

**Project Description: UP 150812**

Description: To legalize a bathroom in a detached structure

APN: 006272006000

ZC: R-2

Lot Size: 3,600 sf

Applicant Name:	Jim Irwin	Phone #:	649-4642
Mailing Address:	2340 Garden Road Monterey, CA 93940		
Email Address:	jii@wrdarch.com		

**Public Agency Approving Project: City of Pacific Grove, Monterey County, California**

**Exempt Status (Check One):**

- Ministerial (Sec. 21080(b)(1):15268))
- Declared Emergency (Sec. 21080(b)(3): 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption  
Type and Section Number: Section 15301 Class 1
- Statutory Exemption  
Type and Section Number:
- Other:

**Exemption Findings:**  
No significant environmental impacts or effects are anticipated.

**Contact: Laurel OHalloran, Planning Department, City of Pacific Grove**

**Contact Phone: (831) 648-3183**

**Signature:** Laurel OHalloran

**Date:** December 18, 2015

**MONTEREY PENINSULA WATER MANAGEMENT DISTRICT**

5 HARRIS COURT, BLDG. G · P.O. BOX 85 · MONTEREY, CA 93942 · (831) 658-5601 · FAX (831) 644-9558 www.mpwmd.net

Item 7.a

**RESIDENTIAL INSPECTION REPORT**

Conservation:  Change of Title | Permits:  Pre-Inspection/Credits  New Construction  Remodel/Addition  Re-Inspection

PROPERTY ADDRESS: 214 13<sup>TH</sup> STREET E-mail M.GONNERMAN@MPWMD.NET

CITY: PACIFIC GROVE BATHROOMS: FULL III  $\frac{1}{2}$  \_\_\_\_\_ Other \_\_\_\_\_

ASSESSOR'S PARCEL NUMBER: 006 - 272 - 006 BUSINESS NAME: \_\_\_\_\_

OWNER'S NAME: 214 13<sup>TH</sup> ST LLC PERSON CONTACTED: BECK, DEBBY

SFD  AUX. \_\_\_\_\_  MFD  NON-RES. (No. of Bldgs.) \_\_\_\_\_  MIXED USE

This form certifies that an inspection was conducted at the above address. At the time of the inspection, the property  WAS  WAS NOT found to be in compliance with MPWMD Water Efficiency Standards and/or with MPWMD Water Permit No. 33957. Additionally, fees in the amount of \_\_\_\_\_ are  PAID  DUE. Water Efficiency Standards are listed in Regulation XIV of the District Rules and Regulations; see summary on the back of this form. **(Specific Permit requirements are on file at the District office.)**

*Any discrepancies on fixture counts must be reported and cleared or appealed within 21 days of inspection date.*

No Water Credits are available for outdoor water fixtures, multiple utility sinks, and multiple showerhead installations (Pursuant to District Rules 24 & 25.5)

**WATER FIXTURE INVENTORY:**

Name of fixture	Fixture Count	Remarks/Location
3 Washbasin.....	III	
3 Toilet. <u>H.E.</u> .....	III	M.F. 1.28 <u>app III</u>
Large Bathtub (over 55 gal.).....	—	
3 Standard Bathtub or Shower Stall (with one showerhead) <u>2.0</u> .....	III	S: II T: I <u>2.0 app III</u>
Additional Showerhead.....	—	
1 Kitchen Sink/Dishwasher. <u>H.E.</u> .....	I	WHIRLPOOL WDT720PADM
Dishwasher, additional.....	—	
0 Laundry Sink or Utility Sink* (1 per Residential Site).....	—	
1 Clothes Washer. <u>H.E.</u> .....	0	HOOUPS ONLY
Bidet.....	—	
Bar Sink/Vegetable Sink/Entertainment Sink.....	—	
Instant-Access Hot Water System.....	NO	
Swimming Pool (square-feet of surface area).....	—	
x Rain Sensor/Soil Sensor.....	N/A	INSTALL IF NEEDED
Rainwater Harvesting Capacity/Cistern Gallons.....	—	
Sub-metering (in line meters).....	—	
Separate meter requirement.....	—	

\* Credit is available for one utility sink only per Residential Site.

Inspector's Notes: SEND RECEIPT FOR H.E. (INF: 5.0 OR LESS) CLOTHES WASHER

**ACTION REQUIRED**

- Items not in compliance **must be corrected** within thirty (30) days.
- Re-inspection required.** Please call 658-5601 to schedule. (Re-inspection Fees of \$105.00 are required prior to inspection.)
- Provide itemized receipts for Toilets, Showerheads or signed "Showerhead Certification of Installation" form; provide photos and receipts for Rain Sensor installation. Mail documents to P.O. Box 85, Monterey, CA 93942; or fax to 644-9558.
- Water Release Form & Water Permit Application Form required (Jurisdiction). Fees may be due. **(Contact the District.)**

Debbi Beck 12/9/15 M. Gonnerman 12/9/15  
 Acknowledgment of Receipt Date MPWMD Representative Date

See Important Terms and Conditions on back of form.

# Residential Remodel

## 214 13th Street Pacific Grove, CA 93950

LEGEND	SYMBOLS	PROJECT TEAM	PROJECT INFORMATION	SHEET INDEX
<p>EARTH</p> <p>ROCK</p> <p>SAND, MORTAR, PLASTER</p> <p>CONCRETE BLOCK</p> <p>CAST-IN-PLACE (C.I.P.) CONCRETE</p> <p>(E) STUD WALL</p> <p>(N) STUD WALL</p> <p>(E) STUD WALL TO BE REMOVED</p> <p>SOUND INSULATED STUD WALL</p> <p>METAL</p> <p>WOOD FINISH</p> <p>WOOD FRAMING CONTINUOUS MEMBER</p> <p>WOOD BLOCKING</p> <p>PLYWOOD</p> <p>GYPSUM WALLBOARD</p> <p>A.C. PAVING</p>	<p>DOOR SYMBOL</p> <p>WINDOW SYMBOL</p> <p>KEY TAG</p> <p>DEMOLITION TAG</p> <p>MATCH LINE</p> <p>WORK POINT, DATUM POINT OR CONTROL</p> <p>VERTICAL OR HORIZONTAL DIAPHRAGM KEY</p> <p>SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN</p> <p>DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN</p> <p>FINISH GRADE (SPOT) ELEVATION SURFACE</p> <p>EXISTING GRADE (SPOT) ELEVATION SURFACE</p> <p>PROPERTY LINE</p> <p>REVISION</p>	<p><b>OWNER</b></p> <p>MATT TANZI 6711 MT. LENEVE SAN JOSE, CA 95120 ph: (408) 218-9809 Email: mattej@sbccglobal.net Contact: MATT TANZI</p> <p><b>ARCHITECT</b></p> <p>WALD, RUHNKE &amp; DOST ARCHITECTS, LLP 2340 GARDEN ROAD, SUITE 100 MONTEREY, CA 93940 ph: (831) 649-4642 fax: (831) 649-3530 Email: henry@wrarch.com Contact: HENRY RUHNKE</p>	<p>PROJECT: RESIDENTIAL REMODEL</p> <p>LOCATION: 214 13th STREET PACIFIC GROVE, CA 93950</p> <p>APN: 169-081-020-000</p> <p>ZONING: R-2</p> <p>CONSTRUCTION: V-B NON-SPRINKLERED</p> <p>BUILDING AREA: (E) HOUSE 1,105 S.F. (E) RECREATION ROOM 179 S.F. 1,284 S.F.</p> <p>(N) CARPORT 260 S.F.</p> <p>LOT SIZE: 0.083 ACRES = 3,600 S.F.</p> <p><b>APPLICABLE BUILDING CODES &amp; STANDARDS</b></p> <p>2013 CALIFORNIA ADMINISTRATIVE CODE (CAC), PART 1, TITLE 24, CALIFORNIA CODE OF REGULATIONS (C.C.R.)</p> <p>2013 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.</p> <p>2013 CALIFORNIA RESIDENTIAL CODE (CRC), PART 2.5, TITLE 24 C.C.R.</p> <p>2013 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.</p> <p>2013 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.</p> <p>2013 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.</p> <p>2010 CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24 C.C.R.</p> <p>2007 CALIFORNIA ELEVATOR CODE, PART 7, TITLE 24 C.C.R.</p> <p>2013 CALIFORNIA HISTORICAL BUILDING CODE (CHC), PART 8, TITLE 24 C.C.R.</p> <p>2013 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24 C.C.R.</p> <p>2013 CALIFORNIA EXISTING BUILDING CODE (CEBC), PART 10, TITLE 24 C.C.R.</p> <p>2013 CALIFORNIA GREEN STANDARDS CODE (CALGreen), PART 11, TITLE 24 C.C.R.</p> <p>2013 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24 C.C.R.</p> <p>TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS</p> <p><b>PARTIAL LIST OF APPLICABLE STATE STANDARDS</b></p> <p>NFPA 13, AUTOMATIC SPRINKLER SYSTEMS, (CA AMENDED) 2013 EDITION</p> <p>NFPA 72, NATIONAL FIRE ALARM AND SIGNALING CODE, (CA AMENDED) 2013 EDITION</p> <p>EXITING:</p> <p>NOTE: THIS BUILDING OR SPACE SHALL PROVIDE A READILY DISTINGUISHABLE MEANS OF EGRESS COMPLYING WITH CHAPTER 10 AND CHAPTER 11 (WHERE APPLICABLE FOR ACCESSIBILITY PURPOSE) OF THE 2013 EDITION OF THE CALIFORNIA BUILDING CODE. THE EXIT SYSTEM SHALL MAINTAIN A CONTINUOUS, UNOBSTRUCTED AND UNDIMINISHED PATH OF EXIT TRAVEL FROM ANY OCCUPIED POINT WITHIN THE BUILDING TO A PUBLIC WAY.</p>	<p><b>SHT. # SHEET TITLE</b></p> <p>A001 COVER SHEET</p> <p><b>ARCHITECTURAL</b></p> <p>D201 DEMOLITION FLOOR PLAN</p> <p>A100 SITE PLAN</p> <p>A201 NEW FLOOR PLANS</p> <p>A230 EXISTING AND NEW ROOF PLAN</p> <p>A401 EXTERIOR ELEVATIONS</p> <p>A402 CARPORT EXTERIOR ELEVATIONS</p>
<p><b>SCOPE OF WORK</b></p> <ol style="list-style-type: none"> <li>INTERIOR REMODEL.</li> <li>REPLACE WINDOWS.</li> <li>PATCH, REPAIR AND PAINT EXTERIOR.</li> <li>ADD NEW DRIVEWAY, PARKING PAD AND CARPORT.</li> <li>REPLACE FIREPLACE / CHIMNEY.</li> </ol>		<p><b>GENERAL NOTES</b></p> <ol style="list-style-type: none"> <li>THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, GRADES, AND OTHER CONDITIONS, AND SHALL CORRELATE AT THE JOB SITE ALL SUCH ITEMS. GENERAL CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION AND CORRECTION PRIOR TO BEGINNING ANY WORK.</li> <li>THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE COORDINATION OF ALL TRADES AND GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR (SHOWN OR INFERRED) ON THESE PLANS TO RENDER THE WORK COMPLETE.</li> <li>IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY FOR THE SUPERVISION OF THE WORK.</li> <li>THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE WORK OR THE PROPER EXECUTION OF THE SAME.</li> <li>WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY, PRIOR TO COMMENCEMENT OF WORK.</li> <li>THESE DRAWINGS SHALL BE CONSIDERED SUBSTANTIALLY COMPLETE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO RENDER THE WORK COMPLETE, AS IS THE INTENT OF THESE DRAWINGS, EITHER SHOWN OR INFERRED HEREIN, THROUGH PROPER AND ESTABLISHED CONSTRUCTION PRACTICES.</li> <li>EXISTING CONSTRUCTION DETAILS SHOWN HEREIN ARE ASSUMED TO BE SUBSTANTIALLY CORRECT AND MAY NOT DEPICT THE ACTUAL CONDITION. THE GENERAL CONTRACTOR SHALL VERIFY (E) CONDITIONS AND NOTIFY THE ARCHITECT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.</li> <li>ANY PROPOSED SHUT DOWN OF UTILITIES SHALL BE REGISTERED IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT.</li> <li>CONSTRUCTION WASTE MANAGEMENT: RECYCLE AND /OR SALVAGE FOR REUSE A MINIMUM OF 50 PERCENT NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING CODE, CHAPTER 4, DIVISION 4.4.</li> </ol>		
<p><b>VICINITY MAP</b></p>	<p><b>LOCATION MAP</b></p>	<p><b>JOB NO.: 14094</b></p> <p>PRINT DATE: 9.16.2014</p> <p>PLOT DATE: 9.16.2014</p> <p>DRAWN BY:</p> <p>CHECKED BY:</p> <p>SET ISSUED:</p> <p>09.16.2014 PLANNING SUBMITTAL</p> <p><b>COVER SHEET</b></p> <p>SHEET NO.: <b>A001</b></p> <p>FILE NAME: 14094-A001P</p>		

RESIDENTIAL REMODEL  
214 13TH STREET, PACIFIC GROVE

MATT TANZI  
6711 MT. LENEVE  
SAN JOSE, CA 95120

A.P.N.: 006-272-006-000

**DEMOLITION NOTES**

THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- D1 REMOVE WALL, OR PORTION OF WALL.
- D2 REMOVE CABINETRY, CASEWORK AND SHELVING.
- D3 REMOVE DOOR & FRAME ENTIRELY.
- D4 REMOVE EXTERIOR WINDOW. FRAMING TO REMAIN INTACT EXCEPT WHERE INDICATED TO RESIZE THE OPENING TO ACCOMMODATE NEW WORK.
- D5 REMOVE SINK AND ASSOCIATED APPURTENANCES - CAP PLUMBING AT NEAREST SOURCE.
- D6 REMOVE TOILET - CAP PLUMBING AT NEAREST SOURCE.
- D7 REMOVE TUB OR SHOWER AND ASSOCIATED APPURTENANCES - CAP PLUMBING AT NEAREST SOURCE.
- D8 REMOVE APPLIANCES, REFRIGERATOR, DISHWASHER, RANGE, OVEN, WASHER, DRYER, ETC. - CAP PLUMBING AT NEAREST SOURCE.
- D9 REMOVE INTERIOR WINDOW AND FRAME IN THEIR ENTIRETY.
- D10 REMOVE FIREPLACE/CHIMNEY IN THEIR ENTIRETY.
- D11 REMOVE WOOD RAMP IN ITS ENTIRETY.

**KEY NOTES**

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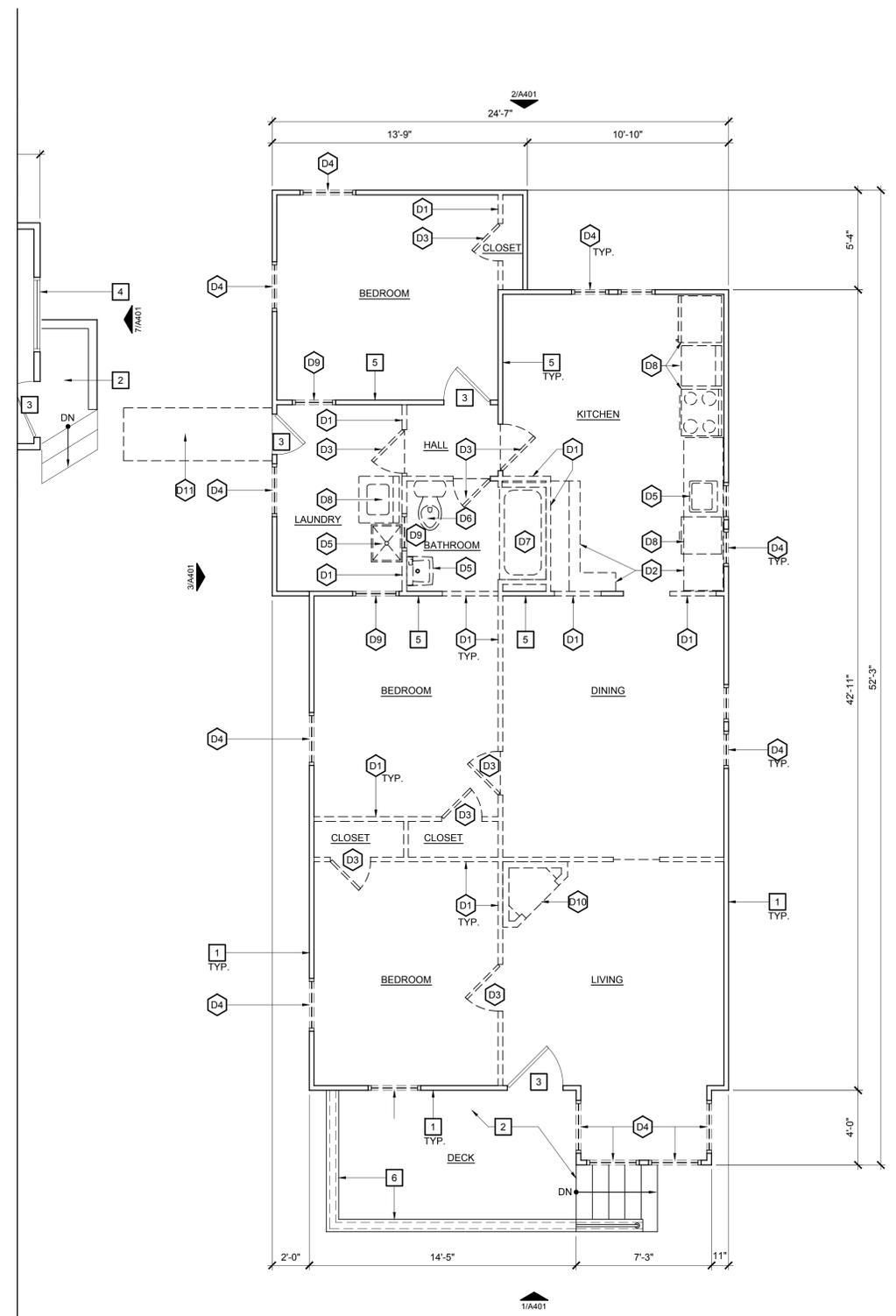
- 1 EXTERIOR WALLS TO REMAIN INTACT, TYP.
- 2 DECK / LANDING AND STEPS TO REMAIN INTACT.
- 3 DOOR TO REMAIN INTACT.
- 4 WINDOW TO REMAIN INTACT.
- 5 WALL, OR PORTION OF WALL, TO REMAIN.
- 6 DECK LOW WALL TO REMAIN INTACT.

**DEMOLITION GENERAL NOTES**

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING. ALL ELEMENTS NOT SHOWN TO REMAIN ARE TO BE DEMOLISHED PER ARCHITECT'S APPROVAL.
2. CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED TO THE ITEMS TO REMAIN.
3. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
4. PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION/CONSTRUCTION AREA. KEEP AREA CLEAN.
5. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
6. THE ELECTRICAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHT AND POWER IN THE SPACE DURING CONSTRUCTION, INCLUDING PROVISIONS FOR EMERGENCY LIGHTING.
7. REMOVE ALL EXISTING CARPET, TILE, VCT AND SHEET VINYL WHERE OCCURS, U.O.N. REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSE RISES OR DEPRESSIONS IN FLOORING SURFACE, SUCH AS FASTNERS, OUTLET CORES, COVER PLATES, CARPET PADS, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC.
8. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
9. REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.
10. ALL DOORS, FRAMES, HARDWARE, MECHANICAL ITEMS, PLUMBING FIXTURES, LIGHT FIXTURES (INCLUDING DOWNLIGHTS & FLUORESCENTS), AND SPECIAL EQUIPMENT TO BE DEMOLISHED EXCEPT AS SPECIFICALLY EXCLUDED BECOMES PROPERTY OF THE CONTRACTOR AND SHOULD BE REMOVED FROM THE PREMISES.
11. GENERAL CONSTRUCTION CONTRACTOR SHALL PROVIDE APPROPRIATE WEATHER PROTECTION OF EXISTING STRUCTURE WHEN DEMOLITION WORK CAUSES EXPOSURE OF EXISTING CONSTRUCTION TO THE ELEMENTS.
12. PATCH AND REPAIR WALL SURFACES TO REMAIN TO MATCH SCHEDULE FINISHES AFTER COMPLETION OF DEMOLITION WORK AND INSTALLATION OF NEW PARTITIONS AND/OR NEW DOORS AND WINDOWS.
13. AT ALL WALLS TO REMAIN, REFER TO DRAWINGS FOR TREATMENT OF EXISTING SURFACES OTHER THAN PAINT. PATCH AND FILL WALLS, PREP FOR NEW FINISH.
14. CONTRACTOR SHALL LEGALLY DISPOSE OF ANY MATERIAL SCHEDULED FOR DEMOLITION.

**LEGEND**

- (E) WALL TO REMAIN.
- (E) DOOR TO REMAIN.
- (E) WINDOW TO REMAIN. (U.N.O.)
- (E) WALL TO BE REMOVED
- (E) DOOR AND FRAME TO BE REMOVED.
- (E) WINDOW TO BE REMOVED.



**AND RECREATION ROOM  
ION FLOOR PLANS**

RESIDENTIAL REMODEL  
214 13TH STREET, PACIFIC GROVE

A.P.N.: 006-272-006-000

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6711 MT. LENEVE  
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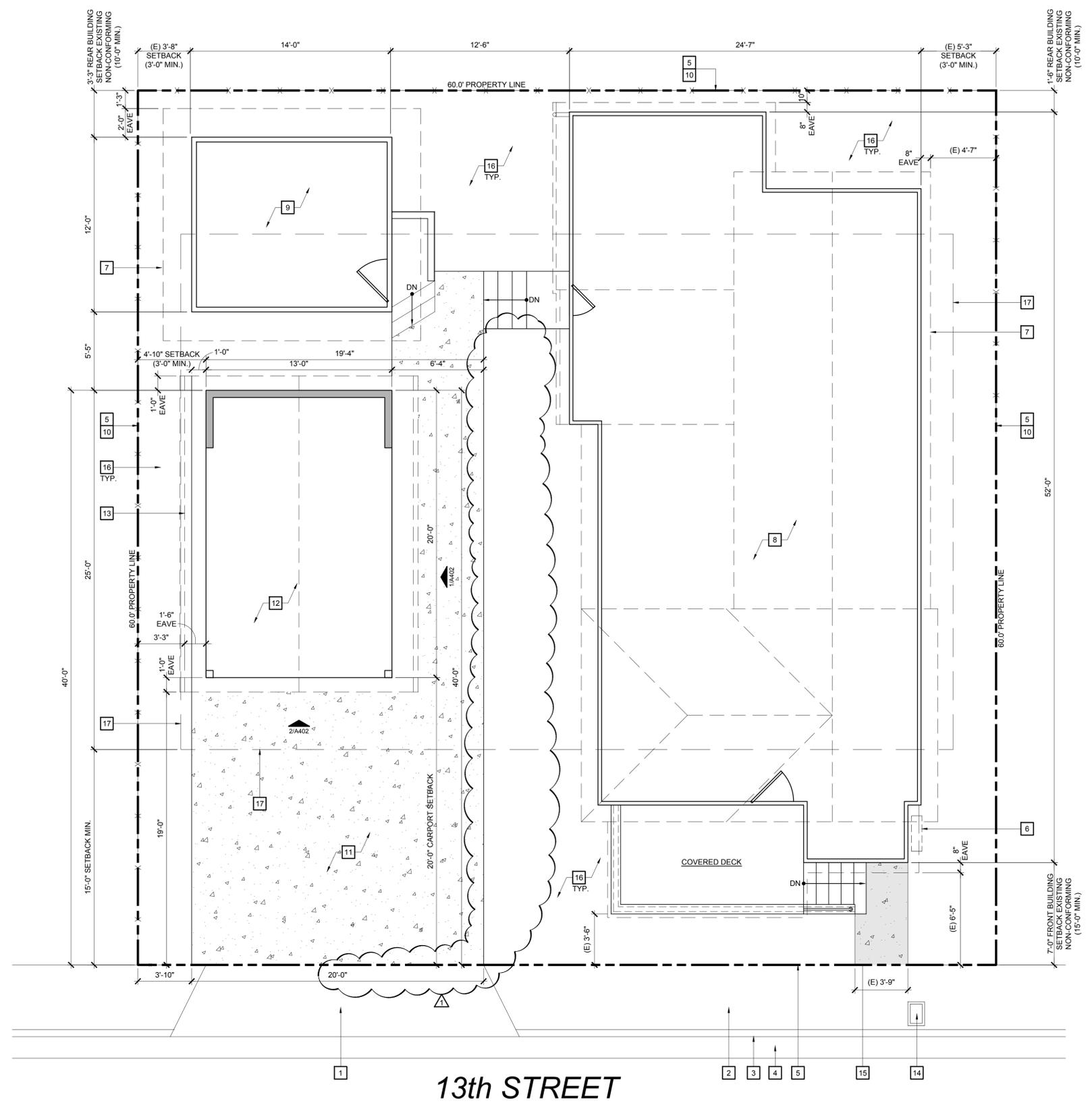
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SET ISSUED:  
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SHEET NAME:  
**DEMOLITION FLOOR PLANS**

SHEET NO.:  
**D201**

FILE NAME: 14094-D201



13th STREET

PLAN NORTH



**SITE PLAN**  
SCALE: 1/4"=1'-0"

THE KEY TO FOOTNOTES	
1	EX
2	EX
3	EX
4	EX
5	EX
6	EX
7	EX
8	EX
9	EX
10	EX
11	NE
12	NE
13	NE
14	EX
15	EX
16	EX
17	LIT

1.	A
2.	A
3.	A
4.	F
5.	S



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RESIDENTIAL REMODEL  
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**NEW FLOOR PLAN**  
SHEET NO.:  
**A201**  
FILE NAME: 14094-A201

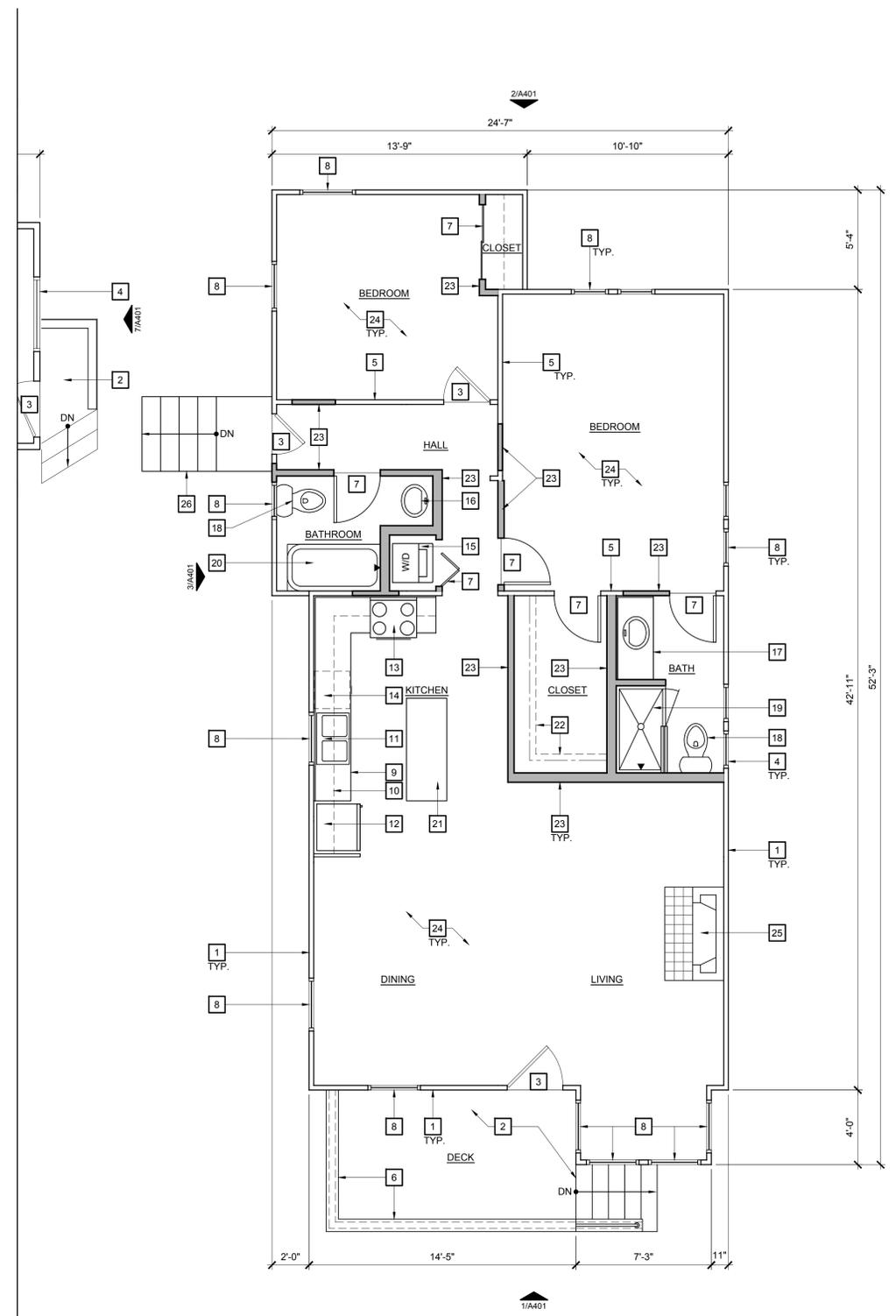
**KEY NOTES**

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- 1 EXTERIOR WALLS TO REMAIN INTACT, TYP.
- 2 DECK / LANDING AND STEPS TO REMAIN INTACT.
- 3 DOOR TO REMAIN INTACT.
- 4 WINDOW TO REMAIN INTACT.
- 5 WALL, OR PORTION OF WALL, TO REMAIN.
- 6 DECK LOW WALL TO REMAIN INTACT.
- 7 (N) WOOD DOOR.
- 8 (N) ALUMINUM WOOD CLAD WINDOW.
- 9 (N) LOWER CASEWORK AND SHELVING.
- 10 (N) UPPER CASEWORK AND SHELVING.
- 11 (N) DOUBLE KITCHEN SINK.
- 12 (N) REFRIGERATOR.
- 13 (N) RANGE / OVEN.
- 14 (N) DISHWASHER.
- 15 (N) STACKABLE WASHER / DRYER.
- 16 (N) BATHROOM PEDESTAL SINK.
- 17 (N) BATHROOM VANITY.
- 18 (N) TOILET.
- 19 (N) SHOWER STALL.
- 20 (N) BATHTUB / SHOWER.
- 21 (N) KITCHEN ISLAND.
- 22 (N) CLOSET SHELF AND POLE.
- 23 (N) WALL, OR INFILL PORTION OF WALL.
- 24 (N) FLOORING THROUGHOUT.
- 25 (N) FIREPLACE.
- 26 (N) LANDING AND STEPS.

**LEGEND**

- (E) WOOD STUD FRAMED WALL TO REMAIN.
- (N) 2x WOOD STUD INTERIOR FRAMED WALL.
- EXISTING DOOR TO REMAIN
- NEW DOOR

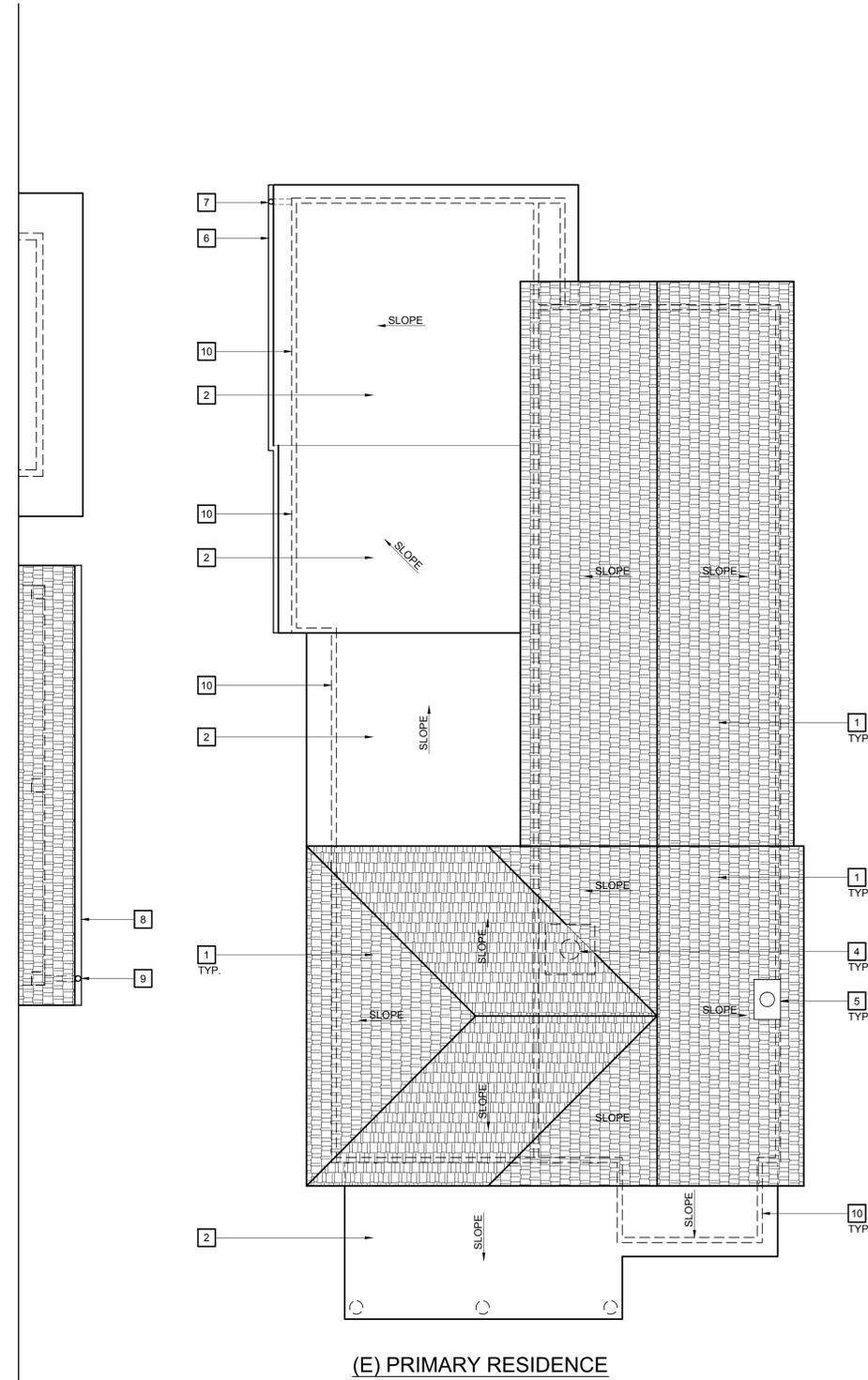


**IND RECREATION  
LOOR PLANS**

### KEY NOTES

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- 1 (E) ASPHALT COMPOSITION SHINGLE ROOF SYSTEM TO REMAIN.
- 2 (E) LOW SLOPE BUILT-UP ROOF SYSTEM TO REMAIN.
- 3 (N) ASPHALT COMPOSITION SHINGLE ROOF SYSTEM TO MATCH (E) RESIDENCE STYLE.
- 4 (E) CHIMNEY TO BE REMOVED. PATCH AND REPAIR ROOF IN AREA AFFECTED.
- 5 (N) CHIMNEY.
- 6 (E) GUTTER.
- 7 (E) DOWNSPOUT.
- 8 (N) GUTTER.
- 9 (N) DOWNSPOUT.
- 10 DASHED LINE INDICATES WALL OR STRUCTURE OUTLINE BELOW.



ANS

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SHEET NAME:

ROOF PLANS

SHEET NO.:

**A230**

FILE NAME: 14094-A230



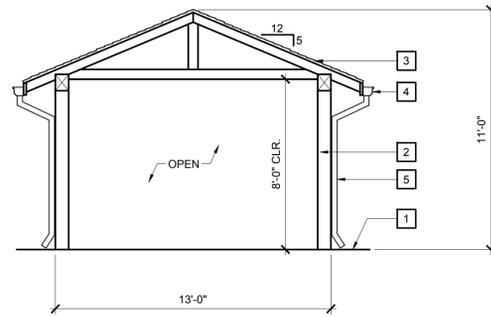
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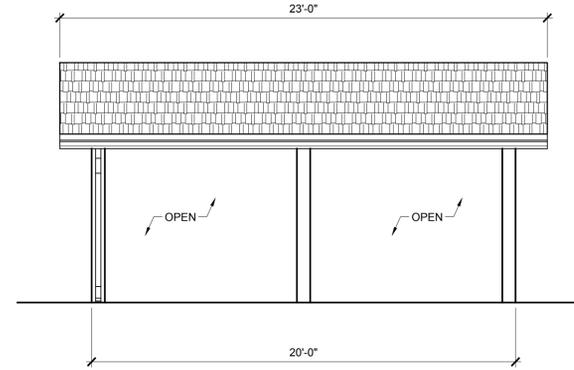
- 1 NEW CONCRETE PAD.
- 2 NEW WOOD FRAMED CARPORT STRUCTURE - PAINTED P-4.
- 3 NEW ASPHALT SHINGLE ROOF SYSTEM TO MATCH EXISTING RESIDENCE STYLE.
- 4 NEW GALVANIZED METAL GUTTER - PAINTED P-4.
- 5 NEW GALVANIZED DOWNSPOUT - PAINTED P-4.

**EXTERIOR FINISH LEGEND**

- P-4 PAINT - KELLY MOORE, KM5699 TAMARIND TART, FLAT & EGGSHELL  
FLAT FINISH AT SURFACE, EGGSHELL FINISH AT TRIM



**2 CARPORT EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 CARPORT NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

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09.16.2014 PLANNING SUBMITTAL

SHEET NAME:  
**CARPORT EXTERIOR ELEVATIONS**

SHEET NO.:  
**A402**



Guest Unit



Guest Unit



Item 7.a









Item 7.a



Item 7.a

