



**CITY OF PACIFIC GROVE**  
**300 Forest Avenue, Pacific Grove, California 93950**

**AGENDA REPORT**

**TO:** Chair Frederickson and Planning Commission Members

**FROM:** Laurel O'Halloran, Associate Planner

**MEETING DATE:** October 8, 2015

**SUBJECT:** Call Up Appeal of the Architectural Review Board approval from the September 8, 2015 Architectural Review Board Hearing of Architectural Permit 15-399 to allow a first floor addition of 675 sf and a second story addition of 669 sf including the addition of a 571 sf second story deck in the rear to an existing two-story 3,158 sf single family residence for a total of a 4,309 sf two-story residence.

**Recommendation:** Review the Agenda Report and vote to affirm the action of the Architectural Review Board and approve AP 15-399.

**Background and Project Description:**

**Application:** AP 15-399

**Location:** 14 Acropolis & 1249 Ocean View  
Boulevard

**APN:** 006-011-013

**Applicant:** Eric Miller/Richard & Gerrilyn Iest

The project site is located at 14 Acropolis in the R-1-H zoning district. The subject site is developed with a two-story 3,158 sf single-family residence constructed in 2002. The proposed project includes a lot merge for the parcel to the north, 1249 Ocean View Boulevard which has a 1,817sf structure constructed in 1940. The lot size of 6,160 sf for 1249 OVB allows for 2,925sf structure. The combined lot sizes of 6,558 sf and 6,160 sf will create a total lot size of 12,718 for 14 Acropolis.

The proposed residential structure will meet the development regulations set forth in the R-1-H zoning district including setbacks and height requirements.

[The two lots were originally one lot according to 1928 Block files on file in the City of Pacific Grove. This proposal seeks to reinstate the property to its original lot size and bring the property back to one single family residence.]

The residence is not within the City's coastal zone, nor on the historic resources inventory. It is an archeological sensitive area and an Archeological report on file has determined the proposed residence and adjoining demolition should not be delayed for archeological reasons. The residence is in an area of special biological significance and the proposed landscape plan incorporates on-site drainage and drought tolerant plants.

On September 8, 2015 the Architectural Review Board approved AP 15-399 unanimously. There were no written objections received and one neighbor expressed concern about the total square footage of the proposed project and neighborhood compatibility.

## **Staff Analysis**

### ***Applicable General Plan Goals and Policies***

#### *Chapter 6, Natural Resources*

The subject site is located in area of special biological significance and water quality is a pertinent issue, therefore, the following should be considered:

Policy 3: Actively promote tree planting to maintain and renew the urban forest.

Goal 4: Protect Pacific Grove's water and marine resources.

The overall site coverage is proposed to be reduced by removing 297 square footage of impervious surface. The reduced coverage and proposed landscaping will result in decreased runoff; contribute to improved aesthetics and maintenance of the urban forest.

#### *Chapter 7, Historic and Archaeological Resources*

The subject site is located in an archaeological sensitive area therefore, the following should be considered:

Goal 4: Protect Pacific Grove's archaeological resources.

Program BB require that all sites with potential resources likely to be disturbed by a proposed project be analyzed by a qualified archaeologist with local expertise.

An archaeological report prepared for the City made the following recommendation:

- The proposed project should not be delayed for archaeological reasons.
- If archaeological resources or human remains are accidentally discovered during construction, work shall be halted within 150 feet of the find until it can be

evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated and implemented.

*Chapter 8, Urban structure and Design*

Policy 2: Continue to require citywide architectural review for all new structures, and for exterior changes to existing structures.

Program B While recognizing the individuality of existing neighborhoods within the City; develop design standards that encourage new structures and additions to contribute to the existing scale and character of the area, while allowing for creativity in design.

The proposed project design does allow for creativity in form and mass which is encouraged in the General Plan.

***Applicable Zoning Regulations***

***R-I –H Zoning Regulations:*** The allowable maximum building coverage is 35% and the proposed project site will have a building coverage of 31%. The allowable maximum site coverage is 60% and the proposed project site will have a site coverage of 45.5%. The allowable maximum gross floor area is 4,309 sf and the proposed project site will create a 4,309 sf residence.

Per Section 23.16.050, which is an extensive table delineating the allowed residential gross floor area, the proposed home is consistent with the provision contained in the Table. This Table was created in response to what many felt was the mansionization of single family homes. Therefore, we conclude that this home is consistent with the anti-mansionization intent of the zoning code.

It is the intent in the R-H district to preserve the characteristics of open space around dwellings, and public views of ocean, sky and trees. The proposed demolition of the 1249 Ocean View Boulevard structure and the adjacent lot merge allows for an expansive open feeling with the proposed addition setback from Ocean View Boulevard street frontage.

The north side setback, which fronts Ocean View Boulevard, has a required setback of 15' and the proposed plan will have an expansive setback of 41'8" which allows for ocean, sky and tree views for the neighboring properties.

Special regulation 23.56.015 (b) requires that no portion of a roof above 18 feet shall have a pitch less than 3:12. The proposed addition has a roof pitch of 4:4/12 which is more than 3:12

***Applicable Architectural Design Guidelines:***

***Guideline # 27:*** A building should be in scale with its site.

The proposed addition and overall architectural design, although maximizing the allowable residential gross floor area, complements the existing two story residential structure and is in keeping with the contemporary architecture. There is ample open space around the structure and it is in scale with the lot size.

***Guideline # 28:*** An addition should complement and balance the overall form, mass and composition of the existing building.

The proposed addition complements and balances the existing form, mass and composition of the existing contemporary house. Additionally, the proposal does not exceed the lot coverage limit of 35% and is limited to 31%. The placement of the proposed addition on the lot provides for ample landscape area.

***Guideline #36:*** Design a facade to provide visual interest to the street.

The proposed facade will provide visual interest along the street by the use of varying materials and the combination of horizontal and vertical elements which soften the elevation. The proposed expansion of the contemporary home will add to the neighborhood's varied/eclectic architecture and add interest and variety to the streetscape. The neighborhood is composed of a variety of one and two story residential structures of varying design.

The Planning Commission may affirm, affirm in part, or reverse the action, decision, or determination that is the subject of the appeal or call-up, based upon findings of fact about the particular case. The findings shall identify the reasons for the action on the appeal or call-up, and verify the specific compliance or non-compliance of the subject of the appeal or call-up with the General Plan, Zoning Regulations and Architectural Design Guidelines.

It is the opinion of City Staff that the call up before the Planning Commission should be dismissed on the basis that the proposal conforms to the General Plan, Zoning Regulations and Architectural Review Guidelines therefore re-affirm the decision made by the Architectural Review Board.

**Environmental Review:**

The proposed addition qualifies for a Class 1 exemption from CEQA requirements, pursuant to Section 15301.e.1 (Class 1) – Existing Facilities. The addition will not result in an increase of more than 50% of the floor area of the structure before the addition. The proposed addition does not present any unusual circumstances that would result in a potentially significant environmental impact.

**Alternative Actions:**

1. The Planning Commission may affirm the action of the Architectural Review Board and approve AP 15-399.

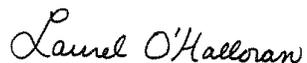
2. The Planning Commission may reverse the action of the Architectural Review Board and deny AP 15-399 with specific findings.

**Attachments**

1. Draft AP
2. Application materials
3. CEQA Materials
4. Project Plans

RESPECTFULLY SUBMITTED:

REVIEWED BY:



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Laurel O'Halloran  
Associate Planner

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Mark Brodeur  
Community and Economic  
Development Director



# CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950  
 T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

## Permit & Request Application

\$1465 paid on 3/25/15  
 \$1491.50 paid on 7/23/15

Project Permit(s) & Fees	Permit:	Fee:	Multiple Permit Discount:	App. #:	Date:	Received By:	Total Fee:
	AP	2224.00		15-399	7/23/15	A. Hobson	
	LM	1465.00	x 50% = \$732.50				\$2956.50

**Project/Property Information**

Project Address: 4 ACROPOLIS, APN: 006-011-013  
 Lot: 7 Block: 291 Tract: PG BEACH ADDITION  
 ZC: R-1-H GP: Med Den. 17.4 du/lac Lot Size: 6,558 SF.

Project: LOT MERGER W/ APN 006-011-013.  
 Description: ADDITION AND RENOVATION OF SINGLE FAMILY DWELLING. ADDITION OF BASEMENT.

Applicant Name: ERIC MILLER ARCHITECTS Phone #: 831-372-0410  
 Mailing Address: 211 HOFFMAN AVE., MONTEREY, CA 93940  
 Email Address: CARLA@ERICMILLERARCHITECTS.COM

Owner Name: RICHARD E. GERRILYN Phone #: \_\_\_\_\_  
TRUST FAMILY TRUST  
 Mailing Address: 14576 AVENUE 14, MADERA, CA 93637-8922  
 Email Address: \_\_\_\_\_

**Permit(s)/Request(s)**

<input type="checkbox"/> CRD: Counter Determination	<input type="checkbox"/> UP: Use Permit	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> VAR: Variance
<input checked="" type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> AUP: Administrative UP	<input type="checkbox"/> HPP: Historic Preservation Permit	<input type="checkbox"/> AVAR: Administrative VAR
<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> UP-A: UP Amendment	<input type="checkbox"/> HDP: Historic Demolition Permit	<input type="checkbox"/> VAR-A: VAR Amendment
<input type="checkbox"/> ADC: AP Design Change	<input type="checkbox"/> AUP-A: AUP Amendment	<input type="checkbox"/> HRP: Historic Relocation Permit	<input type="checkbox"/> AVAR-A: AVAR Amendment
<input type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> C-1 Interp. of Permitted Uses	<input type="checkbox"/> HD: Historic Determination	<input type="checkbox"/> IS & ND/MND: Initial Study
<input type="checkbox"/> ASP: Administrative SP	<input type="checkbox"/> SU: Second Unit	<input type="checkbox"/> TPD: Tree Permit w/ Dev't	<input type="checkbox"/> EIR: Env. Impact Report
<input type="checkbox"/> TTM: Tentative Tract Map	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> PUU: Permit Undocumented Unit	<input type="checkbox"/> MMP: Mitigation Monitoring
<input type="checkbox"/> FTM: Final Tract Map	<input checked="" type="checkbox"/> LM: Lot Merger	<input type="checkbox"/> GPA: General Plan Amendment	<input type="checkbox"/> Other _____
<input type="checkbox"/> SPR: Site Plan Review	<input type="checkbox"/> COC: Certificate of Compliance	<input type="checkbox"/> ZCA: Zoning Code Amendment	<input type="checkbox"/> Other _____

<b>CEQA Determination</b>	<b>Review Authority</b>	<b>Does the property have?</b>	<b>Is the property within?</b>
<input checked="" type="checkbox"/> Cat. Exempt, Class:	<input checked="" type="checkbox"/> Staff <input type="checkbox"/> NRC	<input checked="" type="checkbox"/> Active Planning Permit	<input type="checkbox"/> ASA: Archaeologically Sensitive Area <sup>1</sup>
<input type="checkbox"/> ND: Negative Declaration	<input type="checkbox"/> ZA <input type="checkbox"/> HRC	<input type="checkbox"/> Active Building Permit	<input type="checkbox"/> CZ: Coastal Zone <sup>2</sup>
<input type="checkbox"/> MND: Mitigated ND	<input type="checkbox"/> SPRC <input type="checkbox"/> PC	<input type="checkbox"/> Active Code Violation	<input checked="" type="checkbox"/> ASBS: Drainage into ASBS Watershed
<input type="checkbox"/> EIR: Environmental Impact Report	<input checked="" type="checkbox"/> ARB <input type="checkbox"/> CC	<u>LM 15-176</u>	<input type="checkbox"/> HRI: Historic Resources Inventory <sup>3,4</sup>
			<input type="checkbox"/> BP: Butterfly Preserve Buffer

**CERTIFICATION** – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge. **If the owner is not available for signature, written/electronic and signed verification from the owner shall be required at the time of submittal agreeing to 1) the Applicant acting as their agent, 2) this Certification and 3) the Applicant acknowledgement below.**

Carla Washburn 7/23/15 Richard C. Jost 7/23/15  
 Applicant Signature Date Owner Signature (Required) Date





# CITY OF PACIFIC GROVE

9a

## Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

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### Permit & Request Application

Project Permit(s) & Fees			
Permit: _____	Fee: _____	Multiple Permit Discount: _____	App. #: _____
_____	_____	_____	Date: _____
_____	_____	_____	Received By: _____
_____	_____	_____	Total Fee: _____

Project/Property Information	
Project Address: <u>1249 OCEAN VIEW BOULEVARD</u>	APN: <u>006-011-012</u>
Lot: <u>7</u> Block: <u>291</u> Tract: <u>PG BEACH ADDITION</u>	
ZC: <u>R-1-H</u> GP: <u>MD 17.4 du/AC</u> Lot Size: <u>6,160 S.F.</u>	
Project Description: <u>DEMOLITION OF EXISTING HOUSE</u>	
Applicant Name: <u>ERIC MILLER ARCHITECTS</u>	Phone #: <u>831-372-0410</u>
Mailing Address: <u>211 HOFFMAN AVENUE, MONTEREY, CA 93940</u>	
Email Address: <u>CARLA@ERICMILLERARCHITECTS.COM</u>	
Owner Name: <u>RICHARD &amp; GERRILYN JEST FAMILY TRUST</u>	Phone #: _____
Mailing Address: <u>14576 AVENUE 14, MADERA, CA 93637-8922</u>	
Email Address: _____	

Permit(s)/Request(s)			
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**CERTIFICATION** – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge. **\*If the owner is not available for signature, written/electronic and signed verification from the owner shall be required at the time of submittal agreeing to 1) the Applicant acting as their agent, 2) this Certification and 3) the Applicant acknowledgement below.**

<u>Carla Washemite</u>	<u>7/23/15</u>	<u>Richard C. Jest</u>	<u>7/23/15</u>
Applicant Signature	Date	Owner Signature (Required)	Date

## PROJECT DATA SHEET

Project Address: 14 Acropolis

Submittal Date:

July 23, 2015Applicant(s): Richard & Gerrilyn Iest

Permit Type(s) &amp; No(s):

AP & LM

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-1-H	R-1-H	R-1-H	
Building Site Area		6,558/6,160	12,718 sf	
Density (multi-family projects only)	NA	NA	NA	
Building Coverage	35% (4,451)	4,023 sf	3,845 sf	
Site Coverage	60% (7,630)	7,399 sf	5,609 sf	
Gross Floor Area	4,309 sf	3,158/1,817	4,309 sf	
Square Footage not counted towards Gross Floor Area		234 sf/0	980 sf 1,056 sf	Covered Patios Basement
Impervious Surface Area Created and/or Replaced		1,361 sf	1,064 sf	
Exterior Lateral Wall Length to be demolished in feet & % of total*	_____	481 LF	108.67 <sup>ft</sup> / <sub>22.6%</sub>	
Exterior Lateral Wall Length to be built	_____	_____	327.5 LF	
Building Height	25 Ft.	24'-3"	25'-0"	
Number of stories	2	2	2+Basement	
Front Setback	15 Ft.	15'-6"	15'-6"	
<u>North</u> Side Setback (specify side)	15 Ft.	68'-0"	41'-8"	
<u>South</u> Side Setback (specify side)	10 Ft.	5'-6"	5'-6"	
Rear Setback	10 Ft.	17'-0"	12'-5"	
Garage Door Setback	20 Ft.	40'-9"	40'-9"	
Covered Parking Spaces	1	2	2	
Uncovered Parking Spaces	1	2	2	
Parking Space Size (Interior measurement)	9' x 20'	9'-8"x16'-11"	9'-8"x16'-11"	
Number of Driveways	1	1	1	
Driveway Width(s)		10'-10"	10'-10"	
Back-up Distance		43'-5"	43'-5"	
Eave Projection (Into Setback)	3' maximum	0	10" Max.	
Distances Between Eaves & Property Lines	3' minimum	5'-0" Min.	5'-0" Min.	
Open Porch/Deck Projections		5'-2"	7'-9"	
Architectural Feature Projections		2'-11"	2'-11"	
Number & Category of Accessory Buildings		1	0	
Accessory Building Setbacks	Rear=5'	2'-1"	0	
Distance between Buildings		16'-6"	0	
Accessory Building Heights	8 Ft.	10'-0"	0	
Fence Heights	4' & 6'	2'-6"&6'	2'-6"&6'	

\*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.



## CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

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### ARCHITECTURAL PERMIT (AP) 15-399

**FOR A PROPERTY LOCATED AT 14 ACROPOLIS TO ALLOW A FIRST FLOOR ADDITION OF 675 SF AND A SECOND STORY ADDITION OF 698 SF INCLUDING THE ADDITION OF A 571 SF SECOND STORY DECK IN THE REAR TO AN EXISTING TWO STORY 2,936 SF SINGLE FAMILY RESIDENCE FOR A TOTAL OF A 4,309 SF TWO STORY RESIDENCE.**

#### FACTS

1. The subject site is located at 14 Acropolis, Pacific Grove, 93950 APN 006-011-013.
2. The subject site has a designation of Medium Density 17.4 du/ac on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-1-H zoning district.
4. Subject to Demolition Permit 15-412 approved August 11, 2015 and Lot Merger Permit 15-399 approved August 25, 2015.
5. The subject site is 12,718 square feet.
6. The subject site is developed with a two story, single family dwelling.
7. The subject site is an archaeologically sensitive area. An archaeological report prepared by Mary Doane and Trudy Haversat July 10, 2001 determined the subject parcel does not contain evidence of potentially significant prehistoric cultural resources.
8. An arborist report prepared by Frank Ono August 3, 2015 determined the tree to be removed as part of the proposed development is under the 12" DBH requirement for non-native protected trees and therefore there are no issues in the removal. The City arborist concurred.
9. The existing structure is not on the Historic Resources Inventory.
10. This project has been determined to be CEQA Exempt under CEQA Guidelines Section 15301(e) (1).
11. The subject site is located in the area of Special Biological Significance Watershed.

#### FINDINGS

1. The proposed development will meet the development regulations set forth in the R-1-H zoning district including setbacks and height requirements and;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines No.'s 14, 27, 28 and;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. The Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

#### PERMIT

Architectural Permit (AP) 15-399 To allow a first floor addition of 675 sf and a second story addition of 698 sf including the addition of a 571 sf second story deck in the rear to an existing two story 2,936 sf single family residence for a total of a 4,309 sf two story residence.

**CONDITIONS OF APPROVAL**

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CEDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
6. **Stormwater Treatment Measure:** The stormwater treatment measures shall be maintained by the property owner in perpetuity and City of Pacific Grove staff shall be allowed access to inspect all stormwater treatment measures on an annual basis.
7. **Archeology.** If archaeological resources or human remains are discovered during construction, work shall be halted within 50 meters of the find until it can be evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated, with the concurrence of the City of Pacific Grove staff, and implemented.
8. **Lighting:** All exterior lighting must conform to Architectural Review Guidelines Nos. 10,11,12
9. **Building Permits:** Prior to any issuance of building permits, the lot merger permit number 15-176 will be recorded with the County of Monterey and a copy on file with the Community and Economic Development Department.
10. **Building Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.

**NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:**

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes Approval of Architectural Permit (AP) 15-399 to allow a first floor addition of 675 sf and a second story addition of 698 sf including the addition of a 571 sf second story deck in the rear to an existing two story 2,936 sf single family residence for a total of a 4,309sf two story residence.
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 8<sup>th</sup> day of September, 2015, by the following vote:

AYES: Steres, Boyle, Doocy, Edmonds

NOES:

ABSENT: Gunby

APPROVED:

\_\_\_\_\_  
Rick Steres, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

\_\_\_\_\_  
Richard Iest \_\_\_\_\_  
Date

\_\_\_\_\_  
Gerrilyn Iest \_\_\_\_\_  
Date



## CITY OF PACIFIC GROVE

### Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

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### NOTICE OF EXEMPTION FROM CEQA

9a

**Property Address/Location: 14 Acropolis, Pacific Grove, CA 93950**

**Project Description: Architectural Permit ( AP) 15-399**

To allow a first floor addition of 675 sf and a second story addition of 669 sf including the addition of a 571 sf second story deck in the rear to an existing two story 3,158 sf single family residence for a total of a 2,373 sf two story residence.

APN: 006-555-001

ZC: R-1=H

GP: Med Den 17.4 du/ac

Lot Size: 6,493 sf

Applicant Name: Eric Miller Architects Phone #: 372-0410

Mailing Address: 211 Hoffman Avenue Monterey, Ca 93940

Email Address: [carla@ericmillerarchitects.com](mailto:carla@ericmillerarchitects.com)

**Public Agency Approving Project: City of Pacific Grove, Monterey County, California**

**Exempt Status (Check One) :**

- Ministerial (Sec. 21080(b)(1):15268))
- Declared Emergency (Sec. 21080(b)(3): 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption

Type and Section Number: Section 15301(e) (1) Class 1 Categorical Exemption

**Exemption Findings:**

The project includes the addition of 1,151sf, and therefore qualifies for a Class 1 exemption from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The proposed alterations do not present any unusual circumstances that would result in a potentially significant environmental impact.

**Contact Laurel O'Halloran, Assistant Planner Contact Phone: (831) 648-3127**

**Signature: *Laurel O'Halloran* Date: August 31, 2015**

# ARCHAEOLOGICAL CONSULTING

P.O. BOX 3377  
SALINAS, CA 93912  
(831) 422-4912

## PRELIMINARY ARCHAEOLOGICAL RECONNAISSANCE OF ASSESSOR'S PARCEL NUMBER 006-011-013, PACIFIC GROVE, MONTEREY COUNTY, CALIFORNIA

by

Mary Doane, B.A., and Trudy Haversat, RPA

July 10, 2001

Prepared for

Stanley & Francine Blaustein

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JUL 27 2015

COMMUNITY DEV. DEPT.

**SUMMARY:** PROJECT 3094

**RESULTS:** NEGATIVE

**ACRES:** <1/4

**SITES:** NONE

**UTMG:** 5.9580/40.5480

**MAP:** USGS 7.5 MINUTE MONTEREY QUADRANGLE

Note: *SOPA*, the Society of Professional Archaeologists, has been superseded by the new Registry of Professional Archaeologists. Registered Professional Archaeologists are designated by RPA.

## INTRODUCTION

In June 2001 Archaeological Consulting was authorized by Craig Holdren of Eric Miller Architects to prepare a Preliminary Archaeological Reconnaissance report for the Blaustein parcel in Pacific Grove, Monterey County, California.

As part of our methodology in the preparation of this report, we have conducted: 1) a background records search at the Northwest Regional Information Center of the California Archaeological Inventory, located at Sonoma State University, Rohnert Park; and 2) a field reconnaissance of the project area. The following report contains the results of these investigations as well as our conclusions and recommendations.

## PROJECT LOCATION AND DESCRIPTION

The project parcel is located at 14 Acropolis Street in Pacific Grove, Monterey County, California (see Maps 1 & 2). The Assessor's Parcel Number is 006-011-013 and the Universal Transverse Mercator Grid (UTMG) coordinates for the approximate center of the project area are 5.9580/40.5480 on the USGS 7.5 minute Monterey Quadrangle (1947; photorevised 1983).

At the time of the reconnaissance the parcel contained an existing house with attached garage, a concrete driveway and patio and extensive ground cover, such as iceplant, junipers and gravel. The soil on the parcel was visible in small areas of the front yard, along the sides of the house and in a part of the far rear yard. Overall, soil visibility was considered marginally adequate for the purposes of the reconnaissance.

## PROJECT METHODOLOGY

The methodology used in the preparation of this report included two primary steps, as follows:

### **Background Research**

The background research for this project included an examination of the archaeological site records, maps, and project files of the Northwest Regional Information Center of the California Archaeological Inventory, located at Sonoma State University, Rohnert Park, California. In addition, our own extensive personal files and maps were examined for supplemental information, such as rumors of historic or prehistoric resources within the general project area.

The Regional Information Centers have been established by the California Office of Historic Preservation as the local repository for all archaeological reports which are prepared under cultural resource management regulations. The background literature search at the appropriate Regional Information Center is required by state guidelines and current professional standards. Following completion of the project, a copy of the report also must be deposited with that organization.

These literature searches are undertaken to determine if there are any previously recorded archaeological resources within the project area, and whether the area has been included within any previous archaeological research or reconnaissance projects.

### **Field Reconnaissance**

The field reconnaissance was conducted by Mary Doane, B.A., on July 6, 2001. The survey consisted of a "general surface reconnaissance" of all areas which could reasonably be expected to contain visible cultural resources, and which could be viewed without major vegetation removal or excavation.

## RESULTS OF THE RECONNAISSANCE

### Background Research

The record search of the files at the Northwest Regional Information Center showed that there are twenty-four archaeological sites recorded within one kilometer of the project parcel. The nearest recorded sites are CA-MNT-121 & 122 immediately north across Ocean View Boulevard. There is no site recorded on the project parcel and no evidence of a previous archaeological reconnaissance having been conducted on it.

In addition, the California Inventory of Historical Resources (March 1976), California Historical Landmarks, and the National Register of Historic Places were checked for listed cultural resources which might be present in the project area; none were discovered.

The project area lies within the currently recognized ethnographic territory of the Costanoan (often called Ohlone) linguistic group. Discussions of this group and their territorial boundaries can be found in Breschini, Haversat, and Hampson (1983), Kroeber (1925), Levy (1978), Margolin (1978), and other sources. In brief, the group followed a general hunting and gathering subsistence pattern with partial dependence on the natural acorn crop. Habitation is considered to have been semi-sedentary and occupation sites can be expected most often at the confluence of streams, other areas of similar topography along streams, or in the vicinity of springs. These original sources of water may no longer be present or adequate. Also, resource gathering and processing areas, and associated temporary campsites, are frequently found on the coast and in other locations containing resources utilized by the group. Factors which influence the location of these sites include the presence of suitable exposures of rock for bedrock mortars or other milling activities, ecotones, the presence of specific resources (oak groves, marshes, quarries, game trails, trade routes, etc.), proximity to water, and the availability of shelter. Temporary camps or other activity areas can also be found along ridges or other travel corridors.

## Field Research

An occasional small fragment of marine shell in light gray granitic soil was observed. None of the other materials frequently associated with prehistoric cultural resources in this area (dark midden soil, bone or bone fragments, flaked or ground stone, fire-altered rock, artifacts, etc.) were observed during the field reconnaissance.

## CONCLUSIONS AND RECOMMENDATIONS

Based upon the background research and the surface reconnaissance, we conclude that the project parcel does not contain surface evidence of potentially significant prehistoric cultural resources. The current project calls for demolition of the existing structure and construction of a new house with a slab-on-grade foundation. Because of this we make the following recommendation:

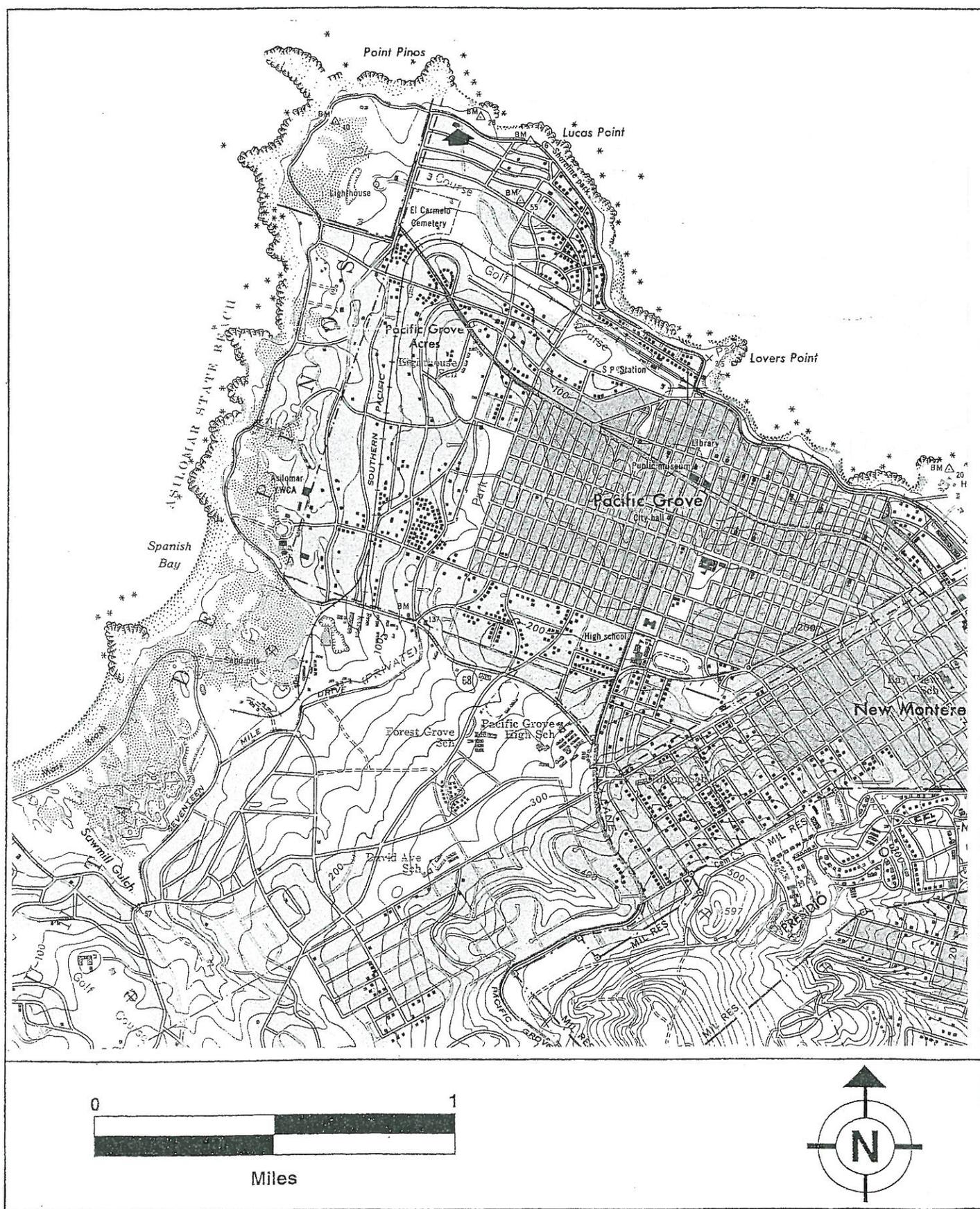
- The proposed project should not be delayed for archaeological reasons.

Because of the possibility of unidentified (e.g., buried) cultural resources being found during construction, we recommend that the following standard language, or the equivalent, be included in any permits issued within the project area:

- If archaeological resources or human remains are accidentally discovered during construction, work shall be halted within 50 meters (150 feet) of the find until it can be evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated and implemented.

**REFERENCES**

- Breschini, G. S., T. Haversat, and R. P. Hampson  
1983 **A Cultural Resources Overview of the Coast and Coast-Valley Study Areas [California]**. Coyote Press, Salinas.
- Kroeber, A. L.  
1925 Handbook of the Indians of California. **Bureau of American Ethnology Bulletin 78**.
- Levy, R.  
1978 Costanoan. Pp. 485-495 in **Handbook of North American Indians, Vol. 8, California**. Smithsonian Institution, Washington, D.C.
- Margolin, M.  
1978 **The Ohlone Way**. Heyday Books, Berkeley.



Map 1. Project Location.

TAX CODE AREA 400

SHORELINE

PARK

OCEAN

VIEW

SURF

AVE

SHELL

AVE

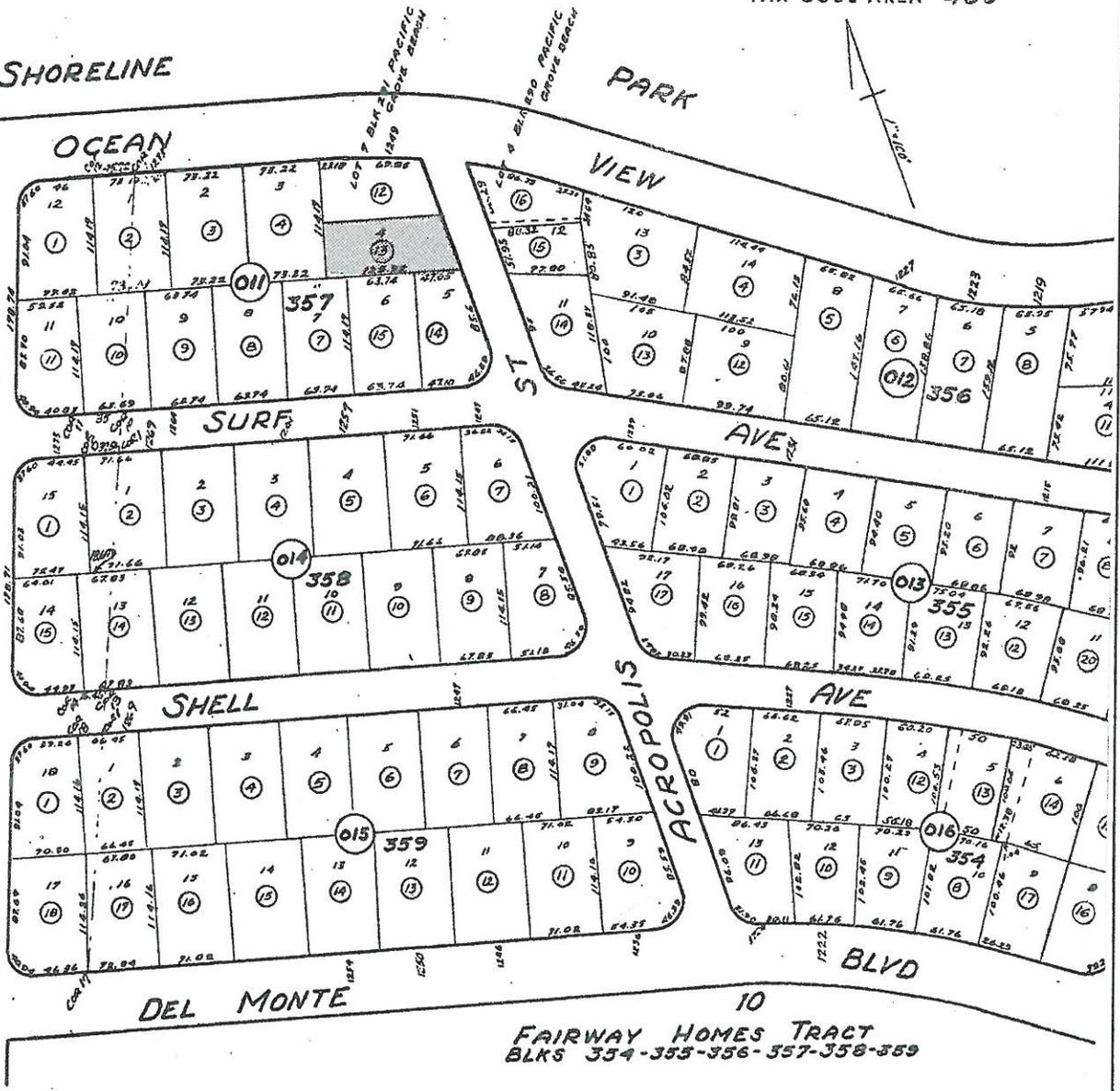
DEL MONTE

10 BLVD

FAIRWAY HOMES TRACT  
BLKS 354-355-356-357-358-359

U.S. LIGHTHOUSE RESERVATION  
7-01

ASILOMAR AVE



Map 2. Project Location.

# IEST RESIDENCE

## 14 Acropolis Pacific Grove, California

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REVISION	No.
9a	

CONSULTANT:

ERIC MILLER ARCHITECTS, INC.  
211 HOFFMAN AVENUE MONTEREY, CA 93940  
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

ARCHITECT

TITLE SHEET

JOB NAME: Iest Residence  
1249 Ocean View Boulevard  
Pacific Grove, CA 93940  
A.P.N. 006-011-012

DATE: 8/04/15  
SCALE: N.T.S.  
DRAWN: C.J.H.  
JOB NUMBER: 15.10

A-0.1  
SHEET OF

### OWNERSHIP NOTES

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**TREE REMOVAL:**  
ONE 6" PINE IS PROPOSED FOR REMOVAL.

### PROJECT DATA

**OWNER:** RICHARD AND GERRILYN IEST  
14576 AVENUE 14  
MADERA, CA 95637

**ARCHITECT:** ERIC MILLER ARCHITECTS, INC.  
211 HOFFMAN AVENUE  
MONTEREY, CA 93940  
PH: 831-372-0410

**SURVEY:** BASELINE CONSULTING  
19720 MONTE BELLO  
CASTROVILLE, CA 95012  
PH: 831-632-0956

**LANDSCAPE:** MICHELLE COMEAU LANDSCAPE DESIGN  
P.O. BOX 6327  
CARMEL, CA 93921  
PH: 831-620-0111

**ADDRESS:** 14 ACROPOLIS  
PACIFIC GROVE, CA 93950

**APN:** 006-011-012 & 018  
LOT 7, BLOCK 291, PACIFIC GROVE BEACH ADDITION

**PROJECT DESCRIPTION:**  
PROPOSE LOT MERGER OF APN 006-011-012 AND 006-011-018, AND THE DEMOLITION OF THE SINGLE FAMILY DWELLING AT 1249 OCEAN VIEW BOULEVARD.

PROPOSE ADDITION AND REMODEL TO EXISTING 2 STORY SINGLE FAMILY DWELLING WITH 2 CAR GARAGE AT 14 ACROPOLIS. THE ADDITION INCLUDES 3 BEDROOMS AND 3 BATHS TO A 3 BEDROOM AND 2-1/2 BATH SINGLE FAMILY DWELLING. THE EXISTING 9,056 SF DWELLING WILL HAVE AN ADDITION OF 1,251 SF. AND ADDITION OF 1,056 SF. BASEMENT. THE INTERIOR REMODEL IS 8.7% OF EXISTING AREA. THE COVERED PATIOS INCLUDE EXISTING 45 SF. AND AN ADDITION OF 251 SF. THE SITE WALLS WILL BE REMOVED WITH NEW SITE WALLS ALONG ACROPOLIS AND OCEAN VIEW BOULEVARD. NEW PATHWAYS AND A FIREPIT WILL BE ADDED.

### SHEET INDEX COMMUNITY DEV. DEPT.

ARCHITECTURAL	
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1 of 1	TOPOGRAPHIC SURVEY - PROPOSED
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A-1.1	PROPOSED SITE PLAN
A-1.2	DEMOLITION PLAN - OCEAN VIEW BOULEVARD
A-2.1	DEMOLITION FIRST FLOOR PLAN
A-2.2	DEMOLITION SECOND FLOOR PLAN
A-2.3	DEMOLITION ROOF PLAN
A-2.4	PROPOSED BASEMENT FLOOR PLAN
A-2.5	PROPOSED FIRST FLOOR PLAN
A-2.6	PROPOSED SECOND FLOOR PLAN
A-2.7	PROPOSED ROOF PLAN
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A-3.1	EXTERIOR ELEVATIONS - NORTH
A-3.2	EXTERIOR ELEVATIONS - WEST
A-3.3	EXTERIOR ELEVATIONS - SOUTH
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EL-2	SECOND FLOOR EXTERIOR LIGHTING PLAN
LANDSCAPE	
L-1	PLANTING PLAN
L-2	HARDSCAPE & IRRIGATION PLAN
L-3	NOTES

### PROJECT DATA SHEET

**PROJECT DATA SHEET**

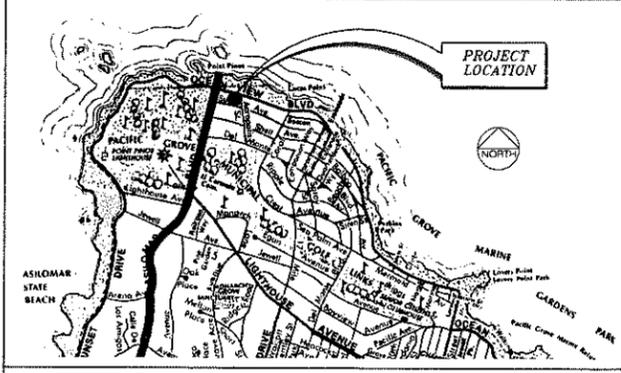
Project Address: 14 Acropolis      Submittal Date: July 30, 2015

Applicant(s): Richard & Gerrilyn Iest      Permit Type(s) & No(s): AP & LM

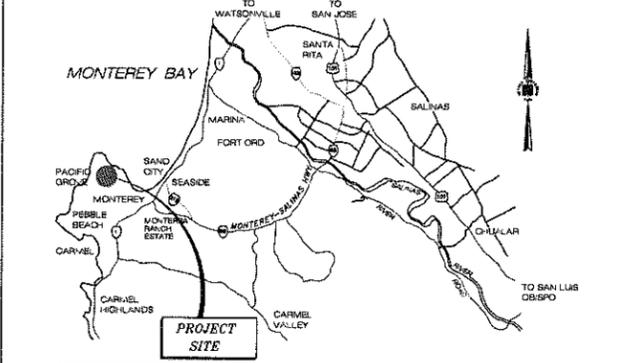
	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-1-H	R-1-H	R-1-H	
Building Site Area		6,558/6,160	12,718 sf	
Density (multi-family projects only)	NA	NA	NA	
Building Coverage	35% (4,451)	4,023 sf	3,845 sf	
Site Coverage	60% (7,630)	7,399 sf	5,609 sf	
Gross Floor Area	4,309 sf	3,158/1,817	4,309 sf	1st=2,678 s.f. 2nd=1,631 s.f.
Square Footage not counted towards Gross Floor Area		234 sf/0	980 sf	Covered Patios Basement
Impervious Surface Area Created and/or Replaced		1,361 sf	1,064 sf	
Exterior Lateral Wall Length to be demolished in feet & % of total*		481 LF	108.67 LF	22.6%
Exterior Lateral Wall Length to be built			327.5 LF	
Building Height	25 Ft.	24'-3"	25'-0"	
Number of stories	2	2	2+Basement	
Front Setback	15 Ft.	15'-6"	15'-6"	
North Side Setback (specify side)	15 Ft.	68'-0"	41'-8"	
South Side Setback (specify side)	10 Ft.	5'-6"	5'-6"	
Rear Setback	10 Ft.	17'-0"	12'-5"	
Garage Door Setback	20 Ft.	40'-9"	40'-9"	
Covered Parking Spaces	1	2	2	
Uncovered Parking Spaces	1	2	2	
Parking Space Size (Interior measurement)	9' x 20'	9'-8"x16'-11"	9'-8"x16'-11"	
Number of Driveways	1	1	1	
Driveway Width(s)		10'-10"	10'-10"	
Back-up Distance		43'-5"	43'-5"	
Eave Projection (Into Setback)	3' maximum	0	10" Max.	
Distances Between Eaves & Property Lines	3' minimum	5'-0" Min.	5'-0" Min.	
Open Porch/Deck Projections		5'-2"	7'-9"	
Architectural Feature Projections		2'-11"	2'-11"	
Number & Category of Accessory Buildings		1	0	
Accessory Building Setbacks	Rear=5'	2'-1"	0	
Distance between Buildings		16'-6"	0	
Accessory Building Heights	8 Ft.	10'-0"	0	
Fence Heights	4' & 6'	2'-6" & 6'	2'-6" & 6'	

\*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.  
[Rev. 01/14/14]

### LOCATION MAP



### VICINITY MAP





REVISION	No.
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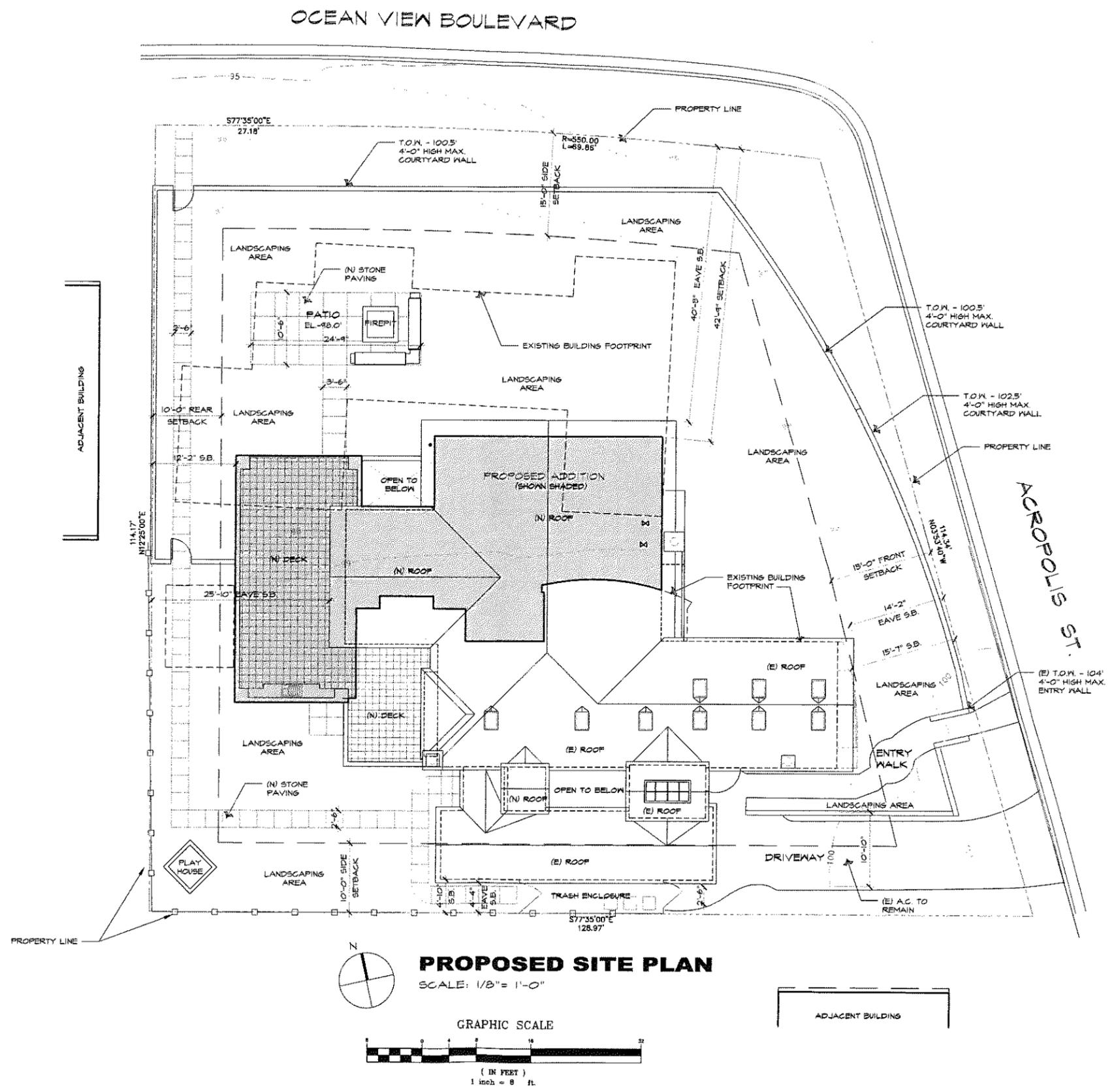
CONSULTANT:

ARCHITECT  
**ERIC MILLER ARCHITECTS, INC.**  
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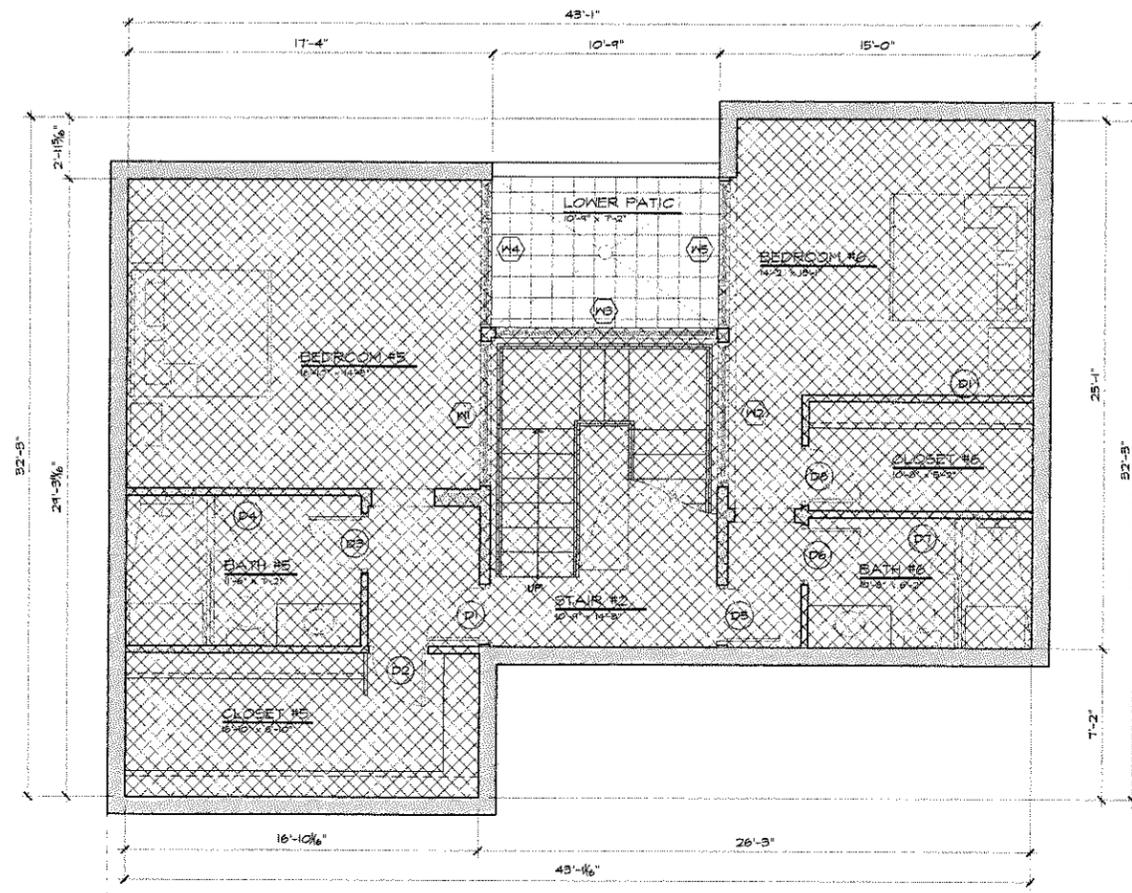
**PROPOSED SITE PLAN**  
 JOB NAME: **West Residence**  
 1249 Ocean View Boulevard  
 Pacific Grove, CA 93950  
 A.P.N. 006-011-012

DATE: 7/28/15  
 SCALE: 1/8" = 1'-0"  
 DRAWN: C.J.H.  
 JOB NUMBER: 15.10

**A-1.1**  
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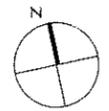
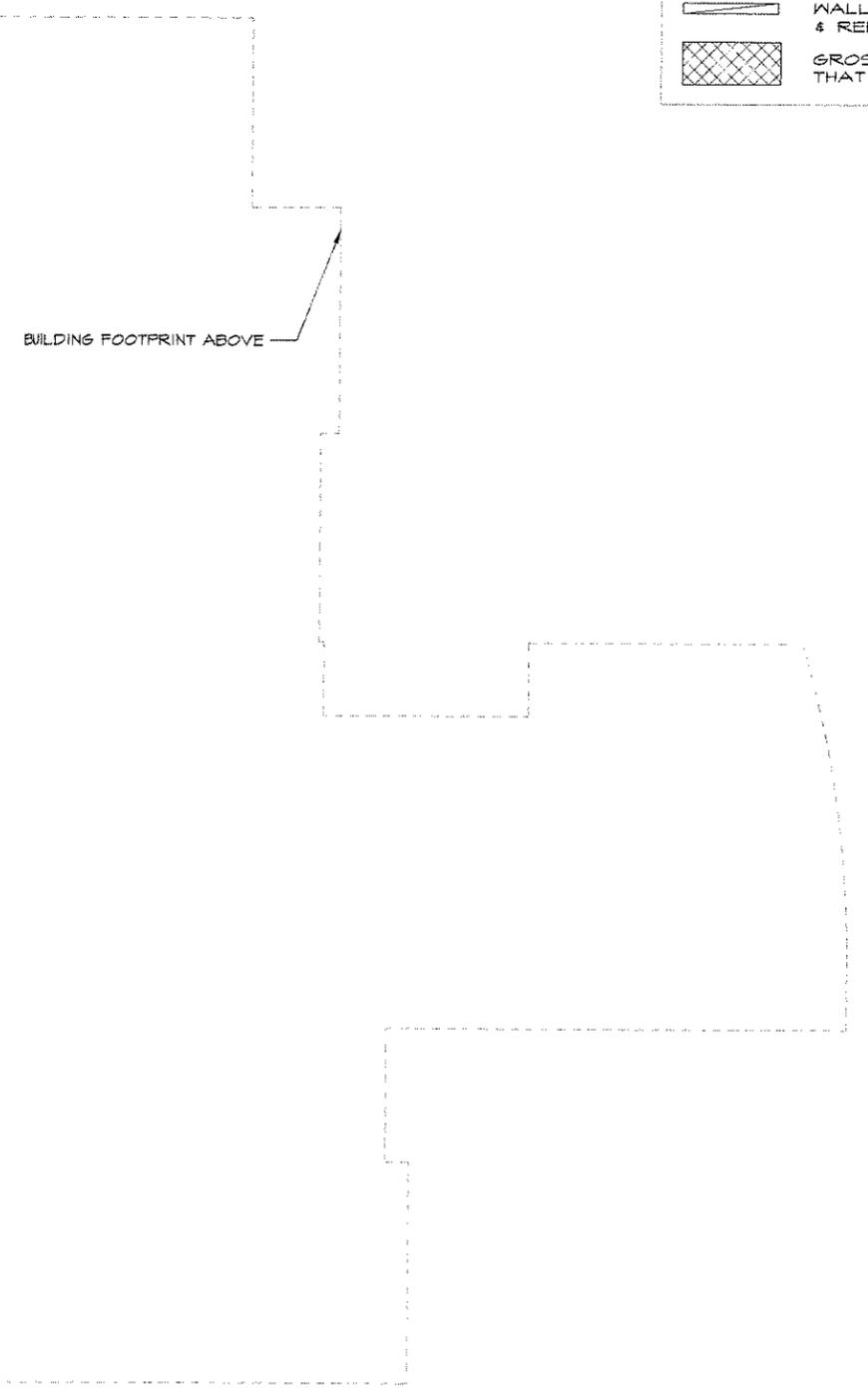


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**LEGEND**

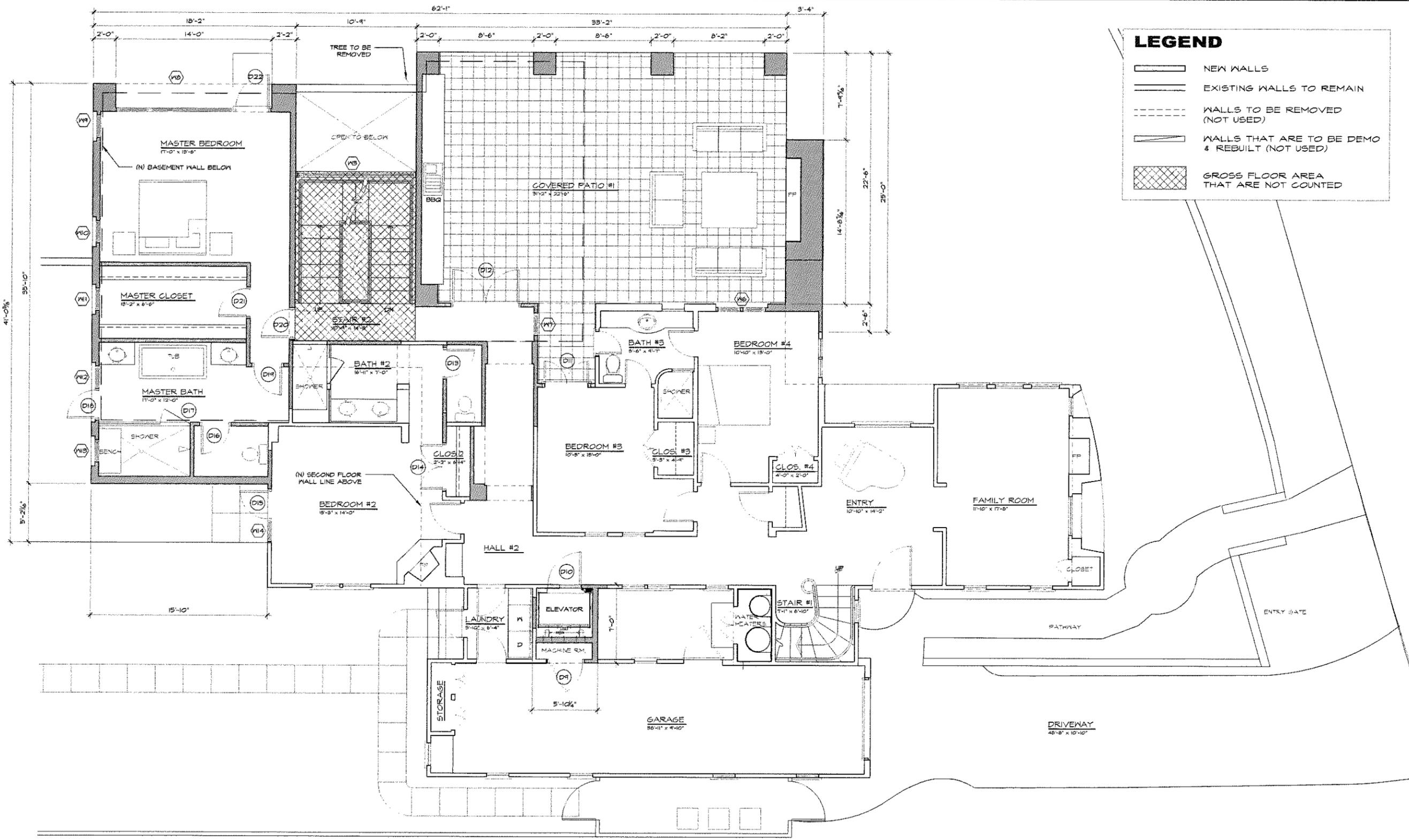
- NEW WALLS
- EXISTING WALLS TO REMAIN (NOT USED)
- WALLS TO BE REMOVED (NOT USED)
- WALLS THAT ARE TO BE DEMO & REBUILT (NOT USED)
- GROSS FLOOR AREA THAT ARE NOT COUNTED



**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

REVISION	No.
9a	
CONSULTANT:	
ARCHITECT <b>ERIC MILLER ARCHITECTS, INC.</b> 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com	
ARCHITECT <b>BASEMENT FLR. PLAN-NEW</b> JOB NAME: <b>West Residence</b> 1249 Ocean View Boulevard Pacific Grove, CA 93950 A.P.N. 006-011-012	
DATE:	7/29/15
SCALE:	1/4"=1'-0"
DRAWN:	CJH
JOB NUMBER:	15.10
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SHEET OF	

Half-Size on 12x18



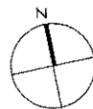
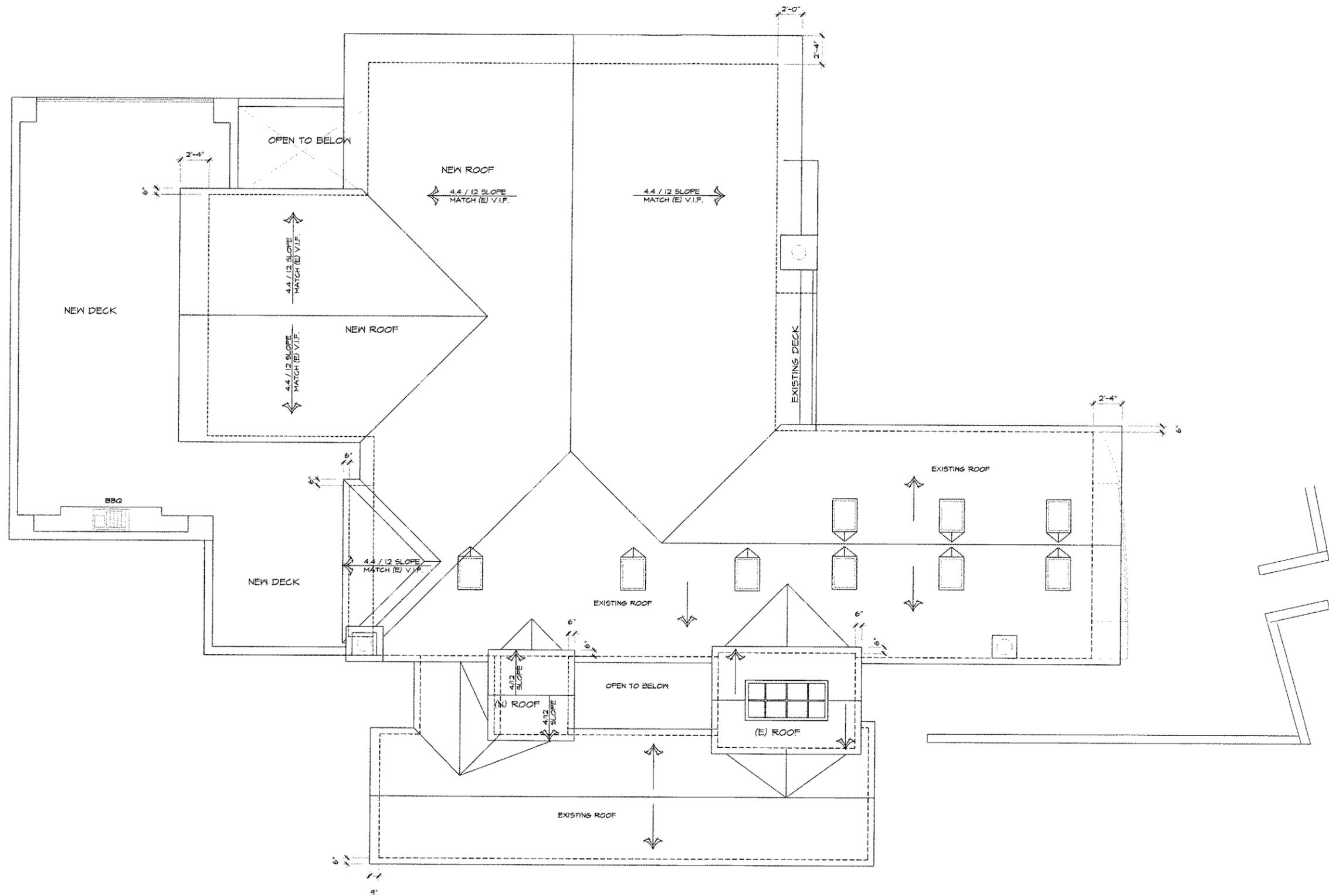
**LEGEND**

- NEW WALLS
- EXISTING WALLS TO REMAIN
- WALLS TO BE REMOVED (NOT USED)
- WALLS THAT ARE TO BE DEMO & REBUILT (NOT USED)
- GROSS FLOOR AREA THAT ARE NOT COUNTED

**FIRST FLOOR PLAN - NEW**  
 SCALE: 1/4" = 1'-0"

REVISION	No.
9a	
CONSULTANT:	
<b>ERIC MILLER ARCHITECTS, INC.</b> 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com	
ARCHITECT	
<b>FIRST FLOOR PLAN-NEW</b> JOB NAME: <b>West Residence</b> 1249 Ocean View Boulevard Pacific Grove, CA 93950 A.P.N. 006-011-012	
DATE:	7/23/15
SCALE:	1/4" = 1'-0"
DRAWN:	CJH
JOB NUMBER:	1510
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**PROPOSED ROOF PLAN**

SCALE: 1/4" = 1'-0"

REVISION	No.
9a	

CONSULTANT:

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ROOF PLAN-NEW

JOB NAME: West Residence  
 1249 Ocean View Boulevard  
 Pacific Grove, CA 93950  
 A.P.N. 006-011-012

DATE: 7/23/15  
 SCALE: 1/4" = 1'-0"  
 DRAWN: C.J.H.  
 JOB NUMBER: 1510

**A-2.7**  
 SHEET OF

REVISION	No.
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CONSULTANT:

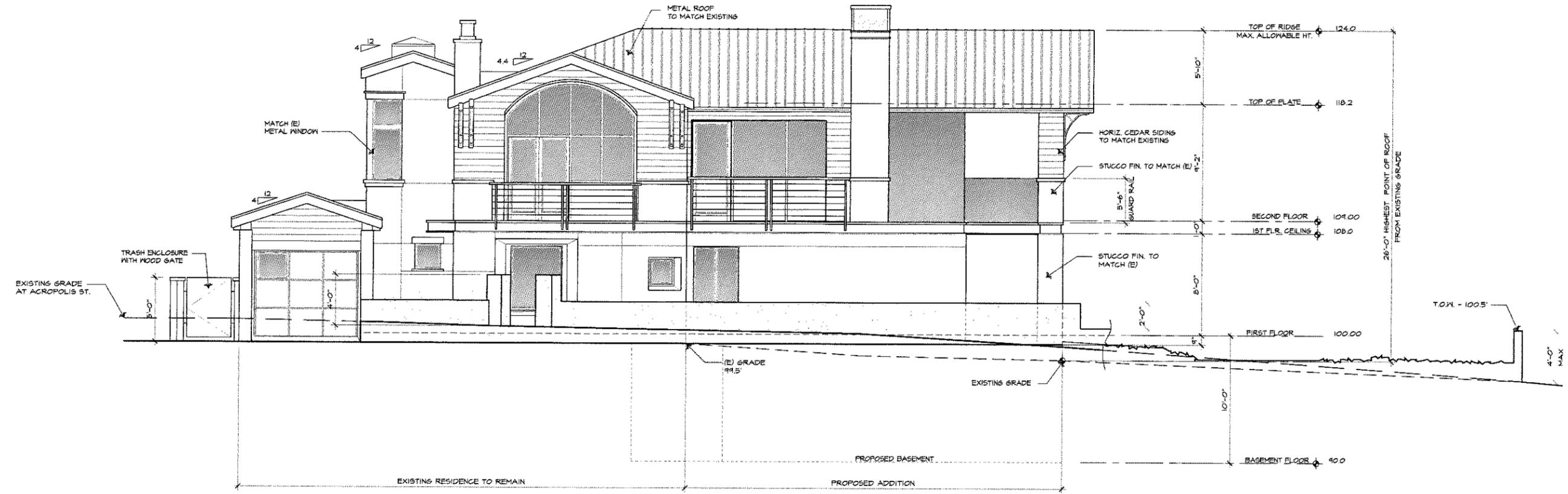
ARCHITECT  
**ERIC MILLER ARCHITECTS, INC.**  
 211 HOFFMAN AVENUE MONTEREY, CA 93940  
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EXT. ELEVATION - EAST

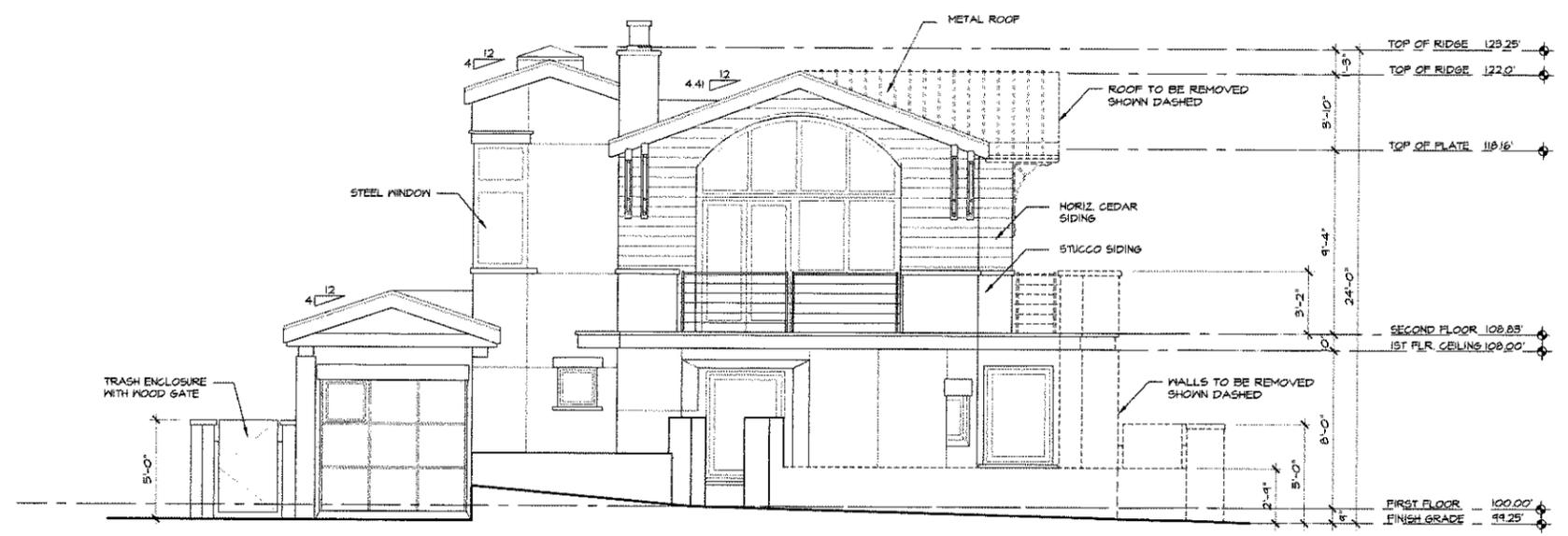
JOB NAME:  
**West Residence**  
 1249 Ocean View Boulevard  
 Pacific Grove, CA 93950  
 A.P.N. 006-011-012

DATE: 7/23/15  
 SCALE: 1/4" = 1'-0"  
 DRAWN: C.J.H.  
 JOB NUMBER: 1510

**A-3.0**  
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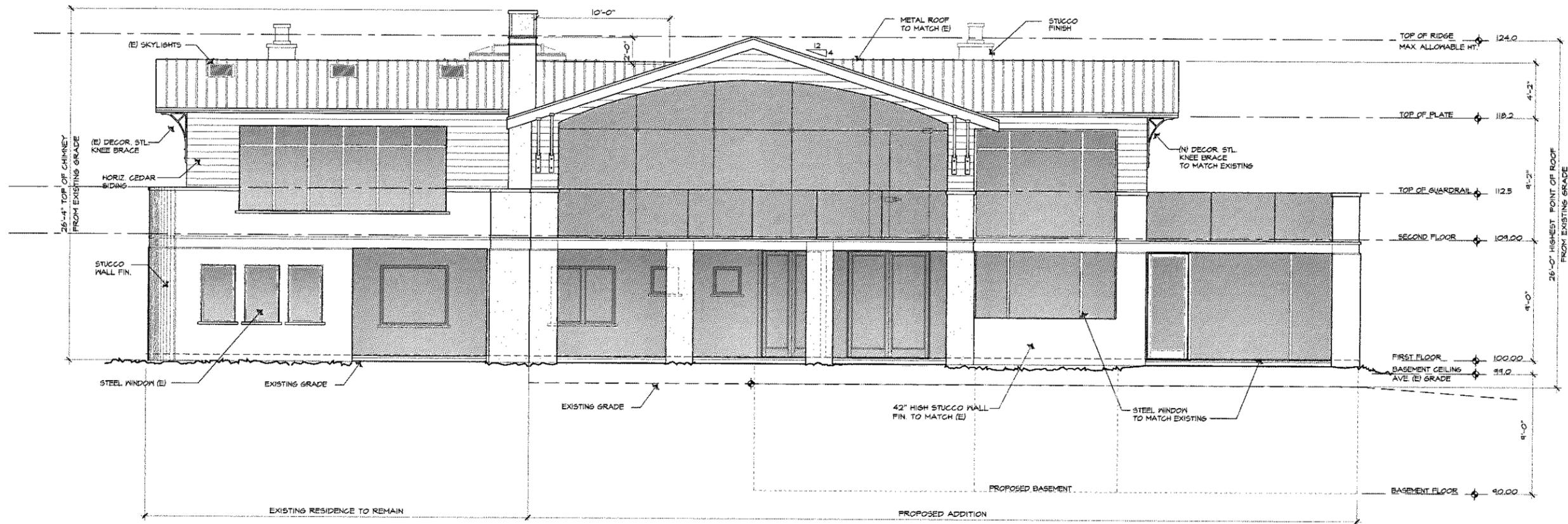


**PROPOSED EAST SIDE ELEVATION**  
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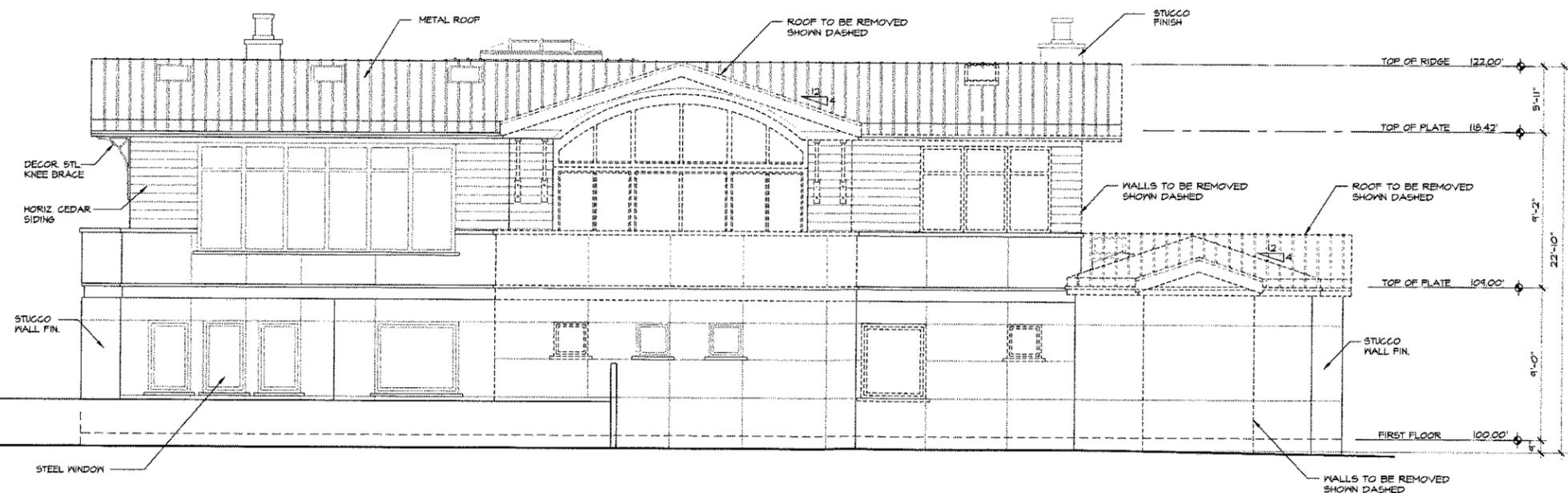


**EXISTING EAST SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"

REVISION	No.
9a	



**PROPOSED NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**EXISTING NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

CONSULTANT:

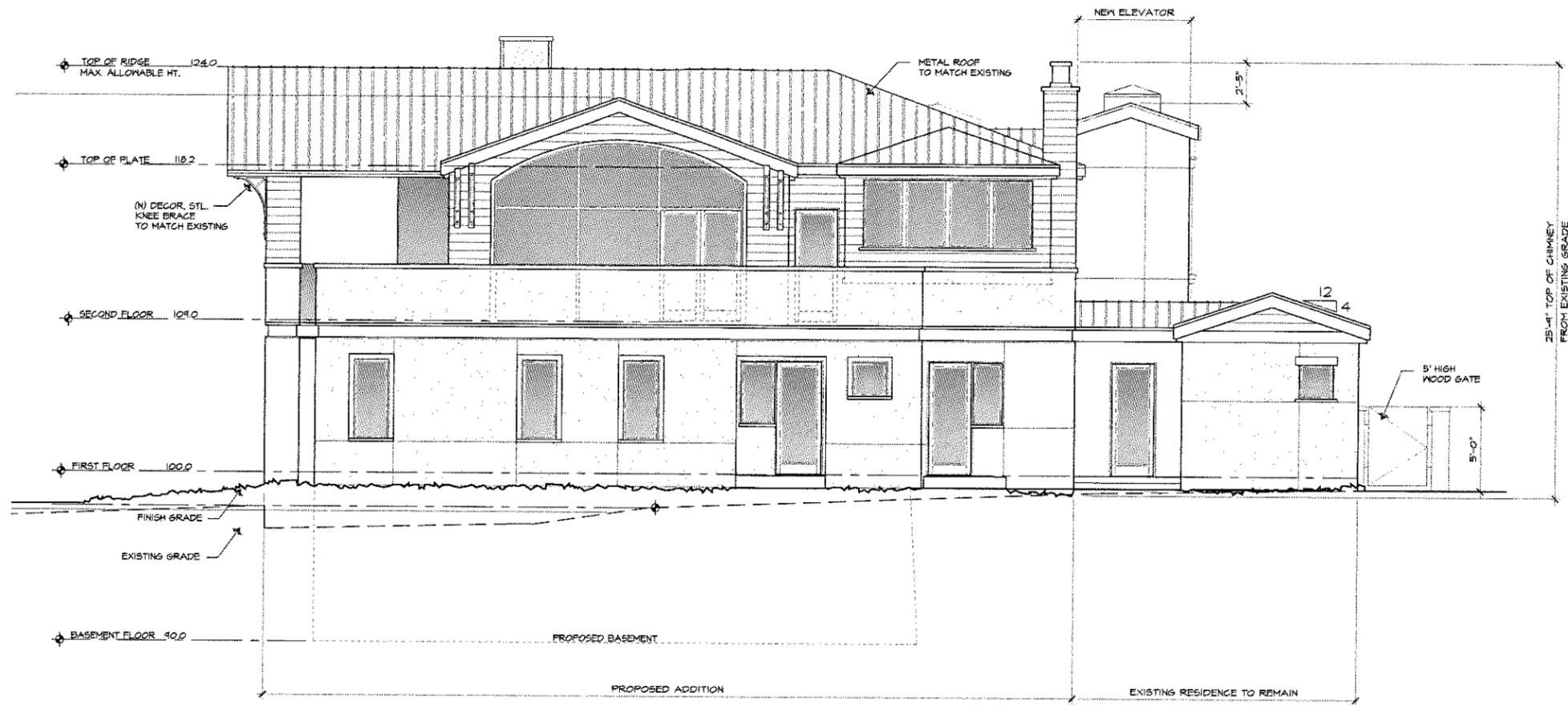
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PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

EXT. ELEVATIONS - NORTH

JOB NAME:  
**West Residence**  
1249 Ocean View Boulevard  
Pacific Grove, CA 93950  
A.P.N. 006-011-012

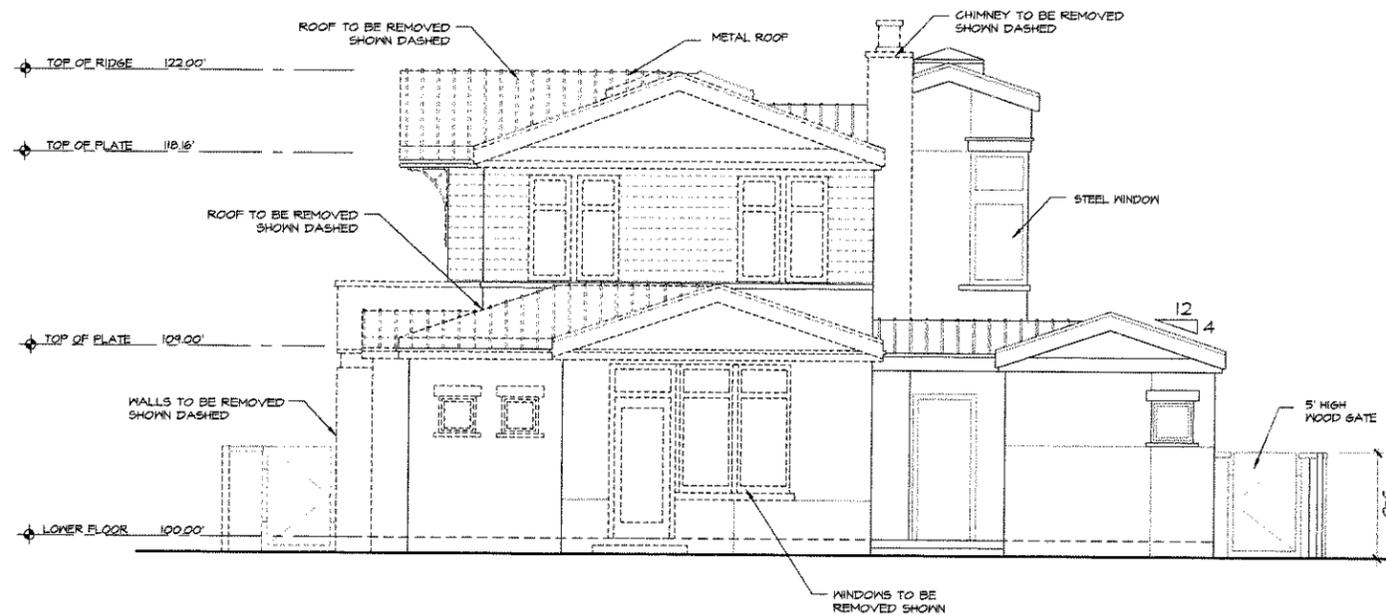
DATE: 7/23/15  
SCALE: 1/4" = 1'-0"  
DRAWN: C.J.H.  
JOB NUMBER: 1510

**A-3.1**  
SHEET OF



**PROPOSED WEST ELEVATION**

SCALE: 1/4" = 1'-0"



**EXISTING WEST ELEVATION**

SCALE: 1/4" = 1'-0"

REVISION	No.
9a	

CONSULTANT:

ARCHITECT  
**ERIC MILLER ARCHITECTS, INC.**  
 211 HOFFMAN AVENUE MONTEREY, CA 93940  
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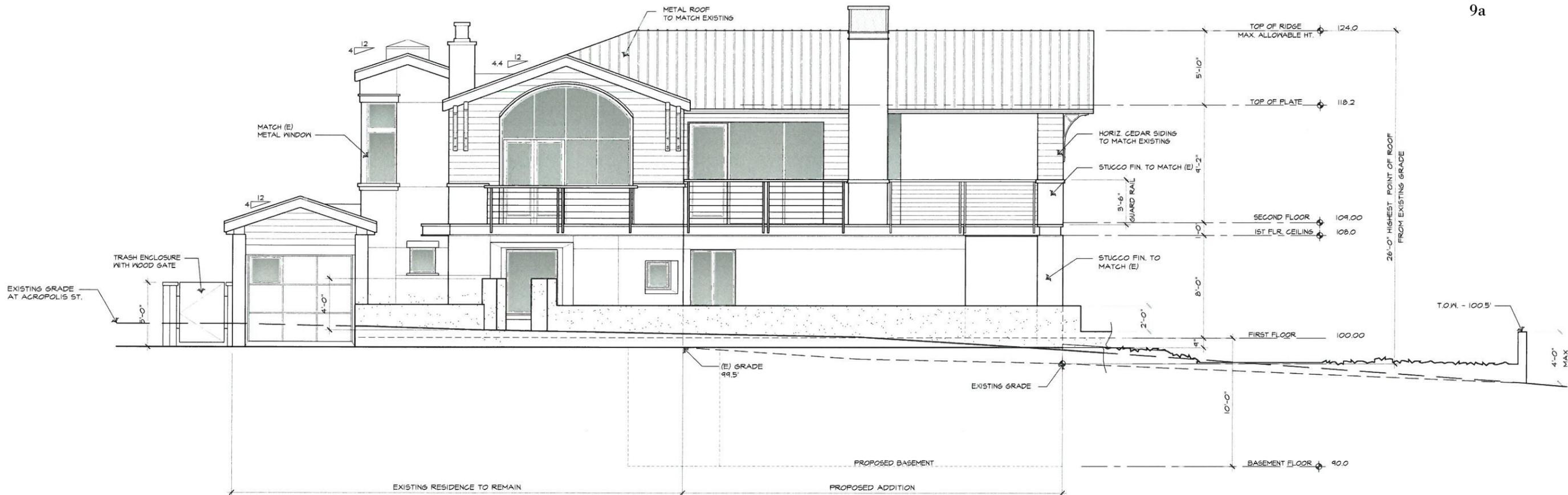
EXT. ELEVATIONS - WEST

JOB NAME:  
**West Residence**  
 1249 Ocean View Boulevard  
 Pacific Grove, CA 93950  
 A.P.N. 006-011-012

DATE: 7/23/15  
 SCALE: 1/4" = 1'-0"  
 DRAWN: C.J.H.  
 JOB NUMBER: 15.10

**A-3.2**  
 SHEET OF

THE CITY OF PACIFIC GROVE HAS REVIEWED THIS PROJECT AND HAS ISSUED THIS PERMIT. THIS PERMIT IS VALID ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY CHANGES TO THE PROJECT OR SITE WITHOUT THE WRITTEN APPROVAL OF THE CITY ENGINEER WILL VOID THIS PERMIT.



### PROPOSED EAST SIDE ELEVATION

SCALE: 1/4" = 1'-0"



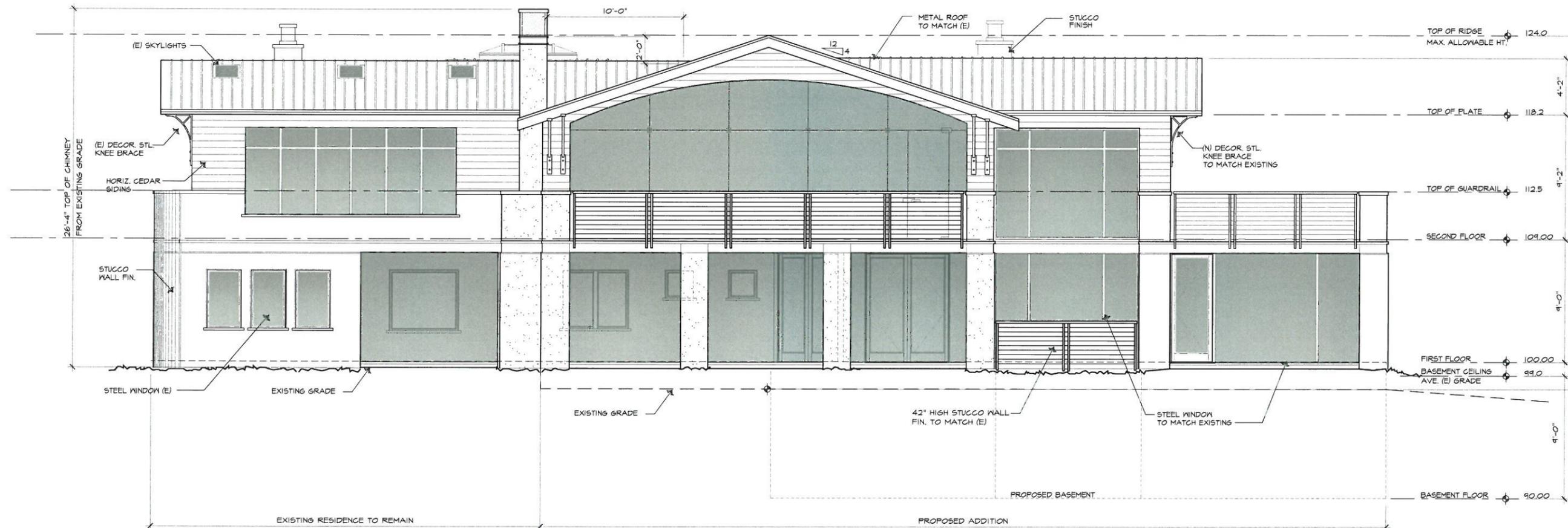
### EXISTING EAST SIDE ELEVATION

SCALE: 1/4" = 1'-0"

Half-Size on 12x18

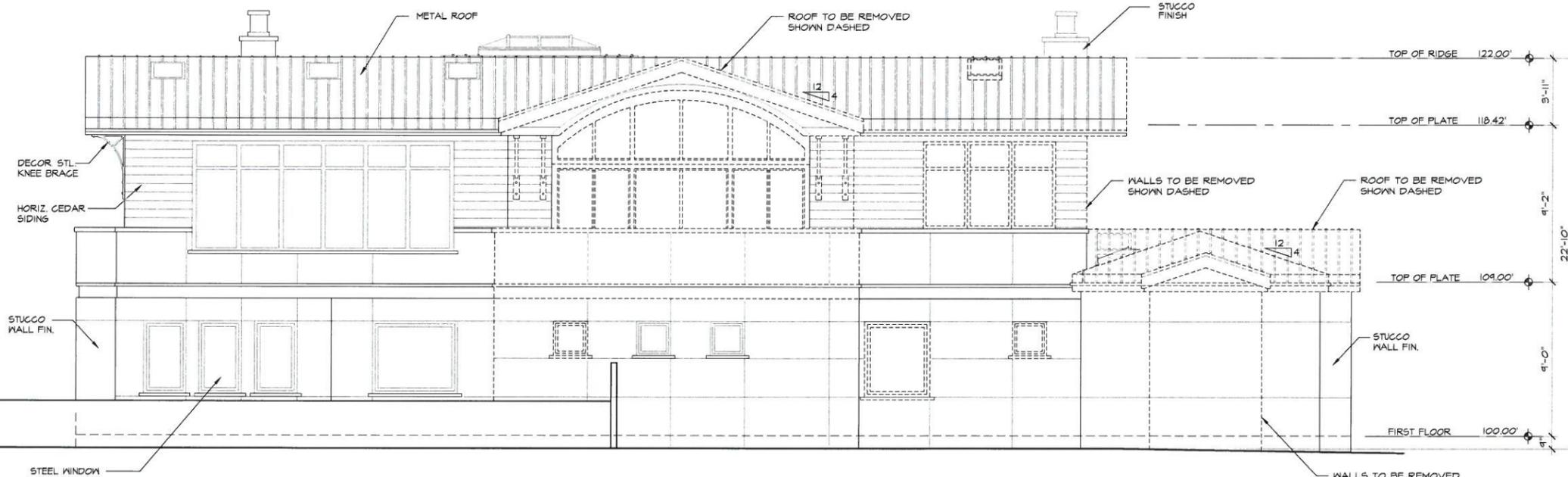
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REV  
SEP 29 2015



### PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"



### EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"

RECEIVED

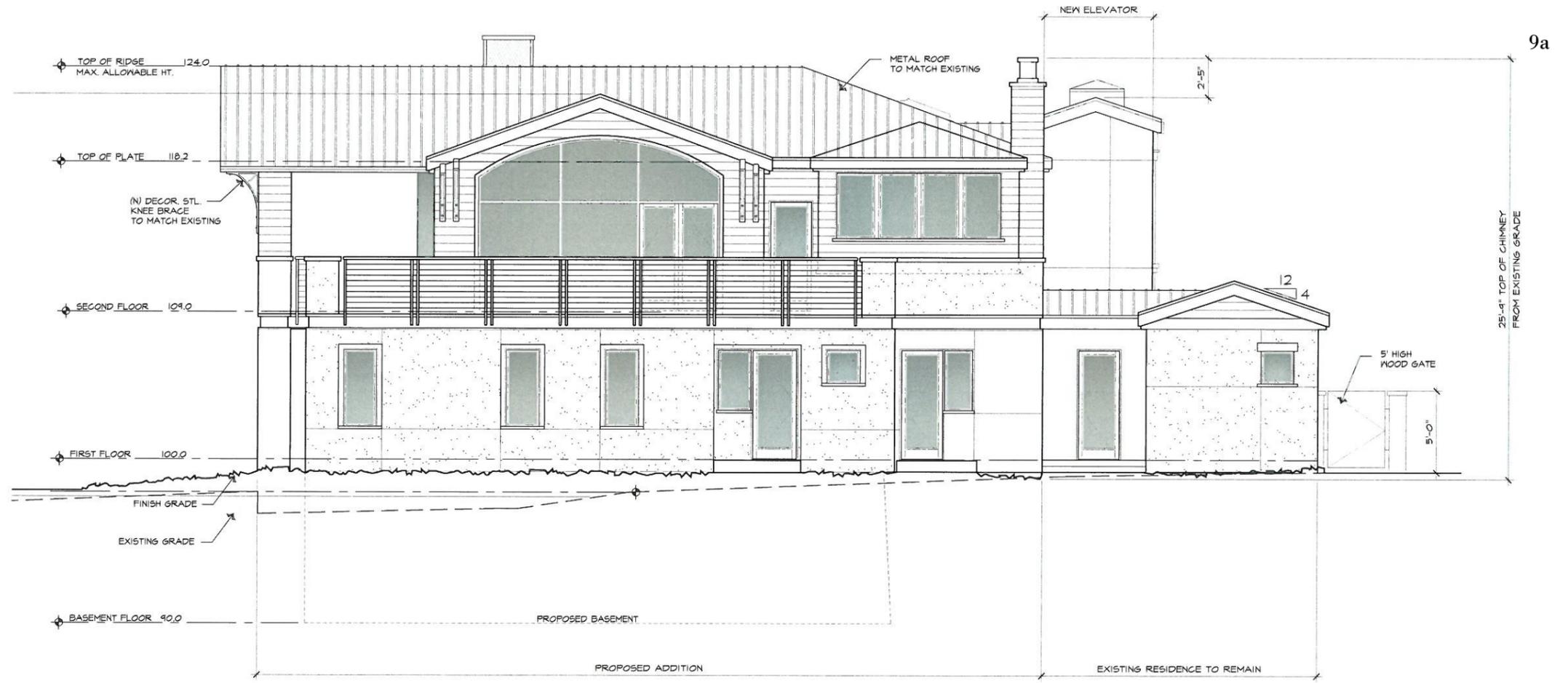
SEP 29 2015

COMMUNITY DEV. DEPT.

Half-Size on 12x18

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**PROPOSED WEST ELEVATION**

SCALE: 1/4" = 1'-0"



**EXISTING WEST ELEVATION**

SCALE: 1/4" = 1'-0"

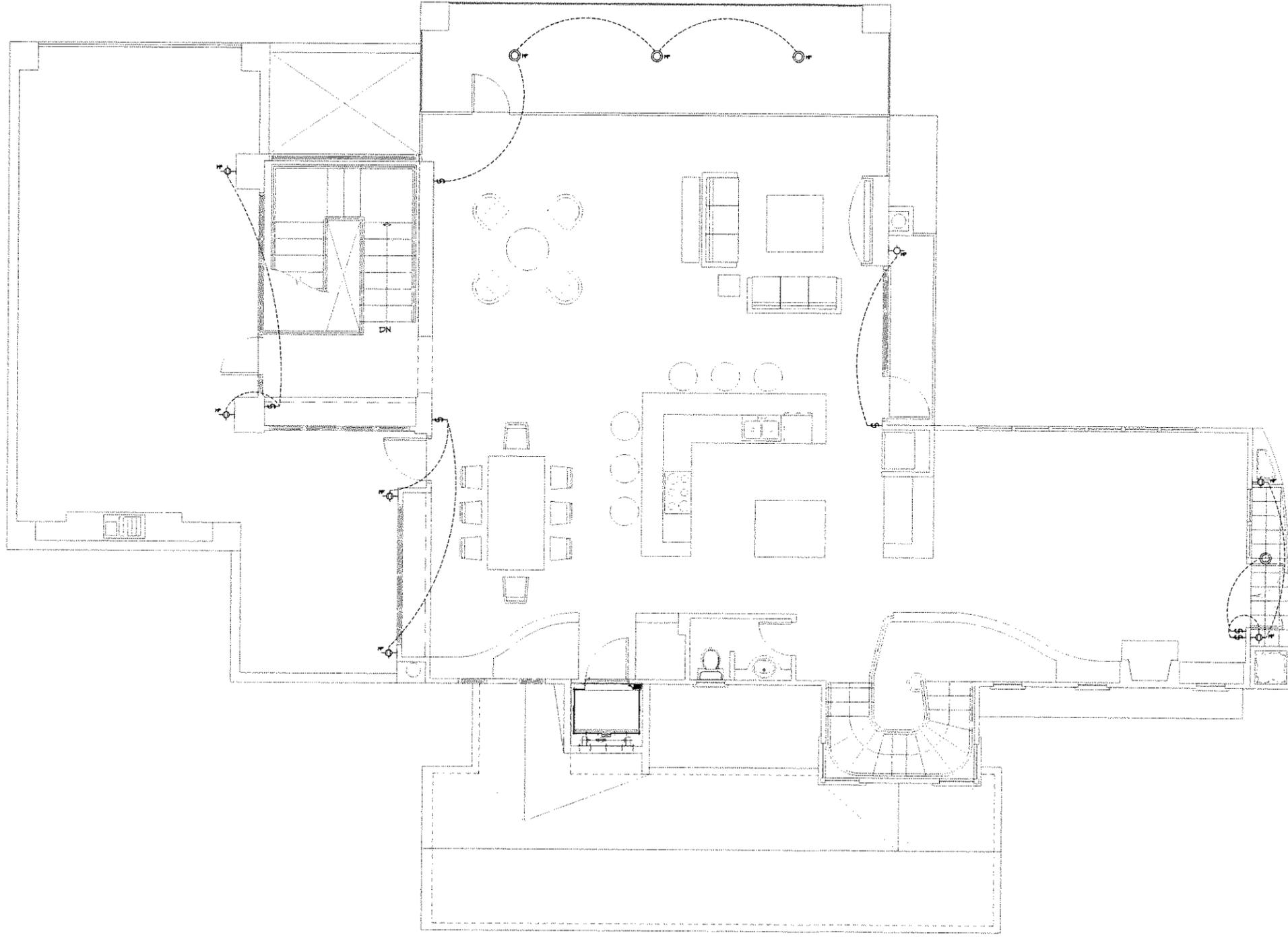
**RECEIVED**

SEP 29 2015

COMMUNITY DEV. DEPT.

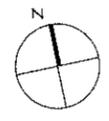
REVISION	No.
9a	

LIGHT FIXTURES	
SW-D	SWITCH WITH DIMMER
SW-D	SWITCH WITH DIMMER (EXTERIOR & FLUORESCENT EXCEPTED)
SW-3	3-WAY SWITCH
SW-O	OCCUPANCY SENSOR
SW-J	JAMB SWITCH
W-M	WALL MOUNT
RC-L	RECESSED CAN LIGHT, MR 16
RC-LW	RECESSED CAN LIGHT WALL WASH, MR 16
RC-CF	RECESSED CAN, COMPACT FLUORESCENT
RC-WP	RECESSED CAN, WATERPROOF
LS	1" LED STRIP LIGHT
P	PENDANT
CM	CEILING MOUNT
W-M-M	WATERPROOF WALL MOUNT w/ MOTION SENSOR
MS	WALL SCONCE
SL	STEP LIGHT / SURFACE MOUNT
RS	RECESSED STEP LIGHT
FLU	FLUOR. UNDER CAB. LIGHT
FT	FLUORESCENT TUBE
FLS	FLUORESCENT STEP LIGHT@BATH ROOM
UL	INCLIGHT UPLIGHT
DTM	DECORATIVE TOP MOUNT
IP	INCANDESCENT WATERPROOF SITE WALL & BENCH LIGHT (SEE EXTERIOR LIGHTING PLAN)
IC	INCANDESCENT WATERPROOF CEILING LIGHT
EF	EXHAUST FAN 5 AC/HR. MIN. U.O.N.
SL	SECURITY LIGHT
GL	GARDEN PATH LIGHT
RL	2" RECESSED LED CEILING LIGHT



- TITLE 24 LIGHTING REQUIREMENTS:**
- KITCHENS: AT LEAST 50% OF INSTALLED WATTAGE MUST BE HIGH EFFICACY INCLUDING NOOK AREA.
  - BATHROOMS: SHALL HAVE AT LEAST ONE HIGH EFFICACY LIGHT AND ANY NON-HIGH EFFICACY LIGHTING SHALL BE CONTROLLED BY VACANCY SENSORS.
  - GARAGES, LAUNDRY ROOMS, UTILITY ROOMS, HALLWAYS, STAIRS, CLOSETS (GREATER THAN TO 50 SF) SHALL HAVE HIGH EFFICACY LIGHTING CONTROLLED BY VACANCY SENSORS.
  - LIGHTING IN ALL OTHER ROOMS SHALL BE HIGH EFFICACY LUMINARIES OR ARE CONTROLLED BY A DIMMER SWITCH OR ARE CONTROLLED BY AN OCCUPANCY SENSOR THAT DOES NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS ON OPTION.
  - EXTERIOR LIGHTING: HIGH EFFICACY OR MOTION SENSOR/PHOTO SENSOR.
  - ALL FIXTURES INSTALLED IN WET LOCATIONS SHALL BE MARKED, "SUITABLE FOR WET LOCATIONS." ALL FIXTURES INSTALLED IN DAMP LOCATIONS SHALL BE MARKED, "SUITABLE FOR WET OR DAMP LOCATIONS." (PER 2004 CEC, Article 410-4)

- EXTERIOR LIGHTING SPECIFICATIONS:**
- WALL MOUNTED LIGHTS: TEKA CLASSIC WALL MOUNT (CWM), COMPACT FLUORESCENT, 25 WATTS OR LESS. (EQUIVALENT TO INCANDESCENT LAMPS OF 375 LUMENS OR LESS PER FIXTURE.)
  - RECESSED CAN LIGHTS: SQUARE VERSA STAR LED, 25 WATTS OR LESS (EQUIVALENT TO INCANDESCENT LAMPS OF 375 LUMENS OR LESS PER FIXTURE.)
  - MINIATURE BEACON PATHLIGHT: 20 WATT LOW VOLTAGE XELOSEN, 210 LUMENS. (EQUIVALENT TO INCANDESCENT LAMPS OF 225 LUMENS OR LESS PER FIXTURE.) FIXTURES TO BE 18" ABOVE GRADE, MAXIMUM.
  - WALL LIGHT / STEP LIGHT: PO-RD WALL LIGHT, HALOGEN LAMP, 10 WATTS, 20 LUMENS PER WATT. (EQUIVALENT TO INCANDESCENT LAMPS OF 225 LUMENS OR LESS PER FIXTURE.) FIXTURES TO BE 18" ABOVE GRADE, MAXIMUM.



**SECOND FLOOR OUTDOOR LIGHTING PLAN**

SCALE: 1/8" = 1'-0"

GENERAL NOTE

ARCHITECT  
**ERIC MILLER ARCHITECTS, INC.**  
211 HOFFMAN AVENUE MONTEREY, CA 93940  
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

SECOND FLR. ELECTRICAL

JOB NAME:  
**West Residence**  
1249 Ocean View Boulevard  
Pacific Grove, CA 93950  
A.P.N. 006-011-012

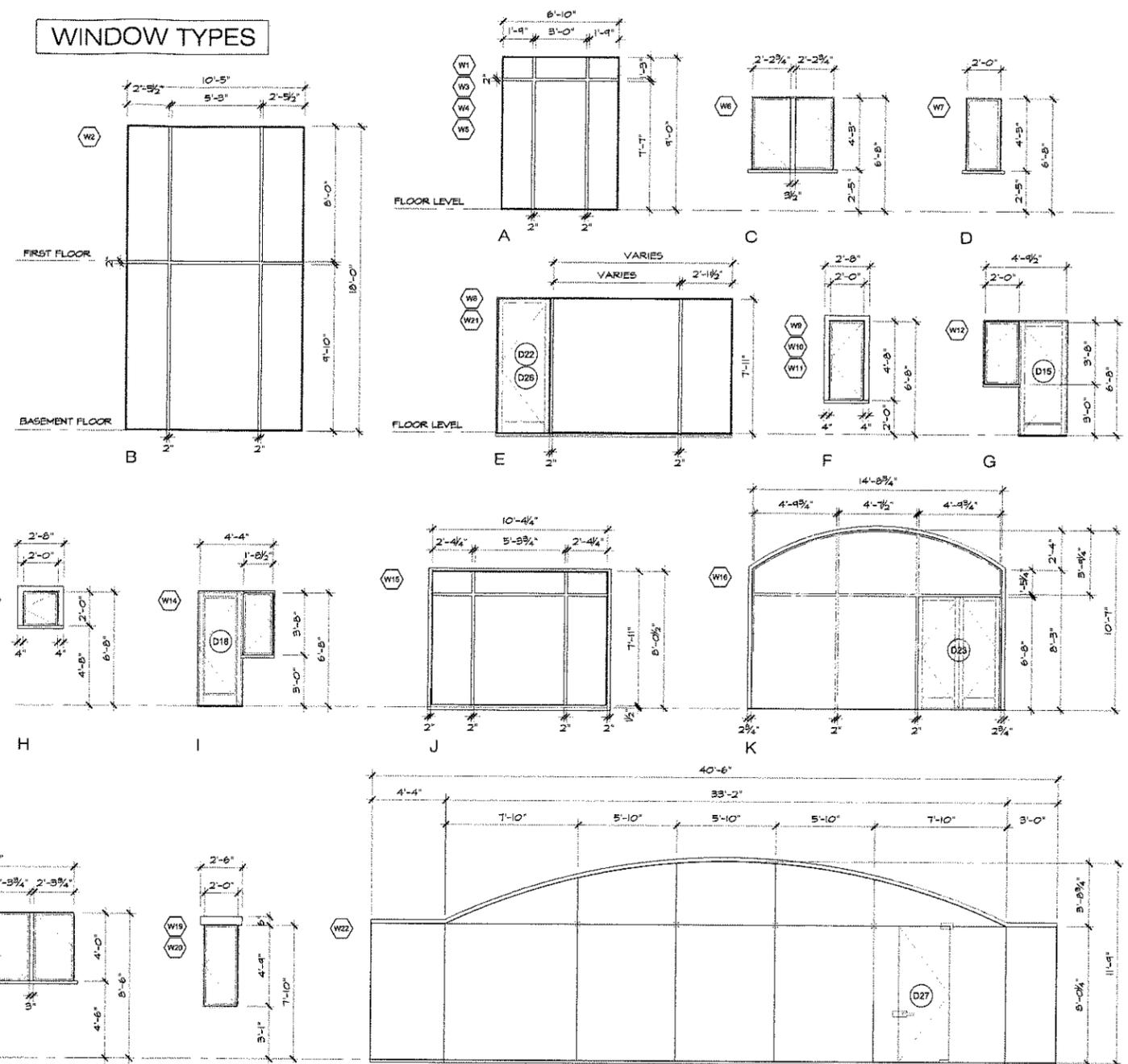
DATE: 7/25/15  
SCALE: AS NOTED  
DRAWN: HRM/GJH  
JOB NUMBER: 15.10

**EL-2**  
SHEET OF

DATE: 7/25/15 10:00 AM PROJECT: 15.10 WEST RESIDENCE ARCHITECT: ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE: (831) 372-0410 FAX: (831) 372-7840 WWW: WWW.ERICMILLERARCHITECTS.COM

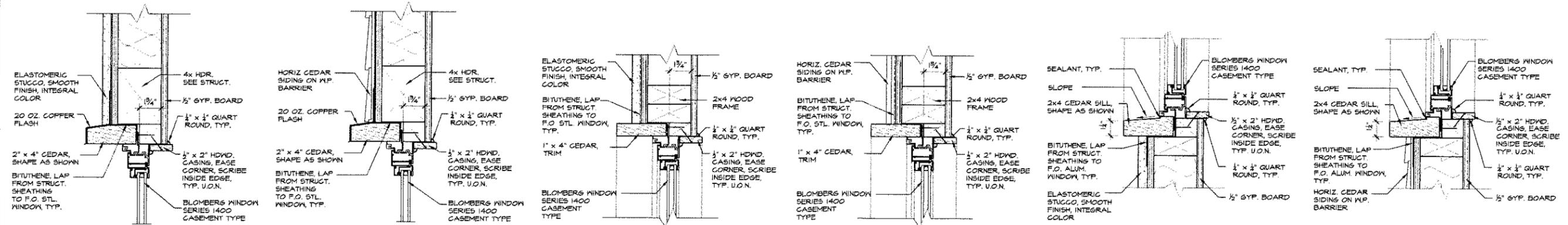
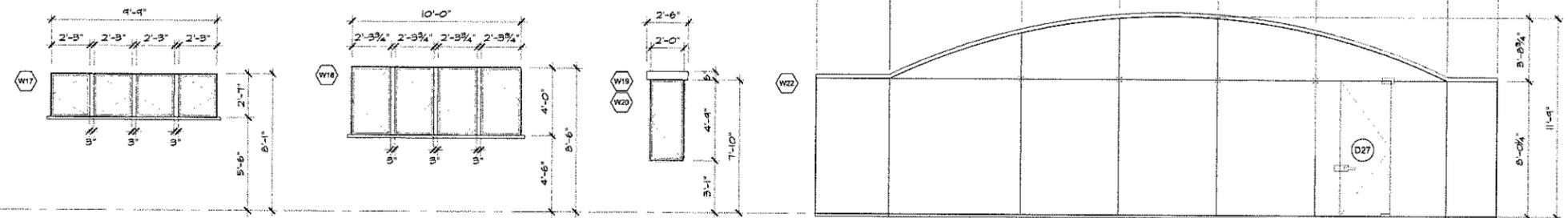
WINDOW SCHEDULE									
WIDW NO.	TYPE	SIZE W X H	LOCATION ROOM NAME	ROOM NO.	GLAZING	FRAME MATL.	SILL HEIGHT ABOVE FF	HEAD HEIGHT ABOVE FIN. FLR.	REMARKS
W1	A	6'-10" X 9'-0"	STAIR #2	000	DOUBLE	STEEL	0'-0"	9'-0"	FIXED WINDOW
W2	B	10'-5" X 18'-0"	STAIR #2	000	DOUBLE	STEEL	0'-0"	18'-0"	FIXED WINDOW
W3	A	6'-10" X 9'-0"	STAIR #2	000	DOUBLE	STEEL	0'-0"	9'-0"	FIXED WINDOW
W4	A	6'-10" X 9'-0"	BEDROOM #5	000	DOUBLE	STEEL	0'-0"	9'-0"	FIXED WINDOW
W5	A	6'-10" X 9'-0"	BEDROOM #6	000	DOUBLE	STEEL	0'-0"	9'-0"	FIXED WINDOW
W6	C	2 PR. 2'-2 3/4" X 4'-3"	HALL #2	100	DOUBLE	STEEL	2'-5"	6'-8"	CASEMENT WINDOW
W7	D	2'-0" X 4'-3"	HALL #2	100	DOUBLE	STEEL	2'-5"	6'-8"	CASEMENT WINDOW
W8	E	10'-6 3/4" X 7'-11"	MASTER BEDROOM	100	DOUBLE	STEEL	0'-0"	7'-11"	FIXED WINDOW
W9	F	2'-0" X 4'-8"	MASTER BEDROOM	100	DOUBLE	STEEL	2'-0"	6'-8"	CASEMENT WINDOW
W10	F	2'-0" X 4'-8"	MASTER BEDROOM	100	DOUBLE	STEEL	2'-0"	6'-8"	CASEMENT WINDOW
W11	F	2'-0" X 4'-8"	MASTER CLOSET	100	DOUBLE	STEEL	2'-0"	6'-8"	CASEMENT WINDOW
W12	G	2'-0" X 3'-8"	MASTER BATH	100	DOUBLE	STEEL	3'-0"	6'-8"	CASEMENT WINDOW
W13	H	2'-0" X 2'-0"	MASTER BATH	100	DOUBLE	STEEL	4'-8"	6'-8"	CASEMENT WINDOW
W14	I	1'-8 1/2" X 4'-8"	BEDROOM #2	100	DOUBLE	STEEL	3'-0"	6'-8"	CASEMENT WINDOW
W15	J	10'-4 1/4" X 7'-11"	STAIR #2	200	DOUBLE	STEEL	0'-1/2"	8'-11/2"	FIXED WINDOW
W16	K	14'-8 3/4" X 10'-2 3/4"	STAIR #2	200	DOUBLE	STEEL	0'-0"	10'-8 3/4"	FIXED WINDOW
W17	L	4 PR. 2'-3" X 2'-7"	BAR	200	DOUBLE	STEEL	5'-6"	8'-1"	CASEMENT WINDOW
W18	M	4 PR. 2'-3 3/4" X 4'-0"	DINING ROOM	200	DOUBLE	STEEL	4'-6"	8'-6"	CASEMENT WINDOW
W19	N	2'-0" X 4'-8"	DINING ROOM	200	DOUBLE	STEEL	3'-1"	7'-10"	CASEMENT WINDOW
W20	N	2'-0" X 4'-8"	DINING ROOM	200	DOUBLE	STEEL	3'-1"	7'-10"	CASEMENT WINDOW
W21	O	7'-3" X 7'-11"	GREAT ROOM	200	SINGLE	-	0'-0"	7'-11"	FIXED WINDOW
W22	P	40'-6" X 11'-9"	GREAT ROOM	200	DOUBLE	STEEL	0'-0"	11'-9"	FIXED WINDOW WALL

### WINDOW TYPES



### WINDOW NOTES

- ALL WINDOWS SHALL COMPLY WITH THE FOLLOWING UNLESS OTHERWISE NOTED U.O.N.
- EGRESSES WINDOWS SHALL HAVE SILL HEIGHT NOT MORE THAN 44" A.F.F., 5,7 5F.
  - PAIN GRADE MAHOGANY WOOD WINDOWS UNLESS OTHERWISE NOTED.
  - ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH CBC, SECTION 2406.1. ALL INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS PER CBC, SECTION 2406.4 SHALL PASS THE REQUIREMENTS OF UBC STANDARD 24-1, PART 1.
  - ALL SLOPED GLAZING SHALL COMPLY WITH CBC, SECTION 2409 FOR INSTALLATION AND MATERIAL.
  - SEE WINDOW TYPES. THIS PAGE FOR OPERABLE PORTIONS OF WINDOWS AND TO VERIFY NATURAL VENTILATION PER CBC 1203.3 AND EGRESSES PER CBC 310.4.
  - ALL WINDOW GLAZING SHALL BE LOW-E.



**1 WINDOW HEAD @ STUCCO DETAIL** SCALE: 3" = 1'-0"  
**2 WINDOW HEAD @ SIDING DETAIL** SCALE: 3" = 1'-0"  
**3 WINDOW JAMB @ STUCCO DETAIL** SCALE: 3" = 1'-0"  
**4 WINDOW JAMB @ SIDING DETAIL** SCALE: 3" = 1'-0"  
**3 WINDOW SILL @ STUCCO DETAIL** SCALE: 3" = 1'-0"  
**4 WINDOW JAMB @ SIDING DETAIL** SCALE: 3" = 1'-0"

REVISION	No.
9a	

CONSULTANT:

ARCHITECT

**ERIC MILLER ARCHITECTS, INC.**  
 211 HOFFMAN AVENUE  
 MONTEREY, CA 93940  
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

WINDOW SCHEDULE

JOB NAME: **West Residence**  
 1249 Ocean View Boulevard  
 Pacific Grove, CA 93950  
 A.P.N. 006-011-012

DATE: 7/23/15  
 SCALE: AS NOTED  
 DRAWN: BW  
 JOB NUMBER: 15.10

**A-4.2**  
 SHEET OF



Michelle Comeau  
Landscape Design

&  
Installation

P.O. Box 0327  
Carmel, Ca. 95021  
P: 831-620-0111  
F: 831-620-0105

www.michellecomeau.com

The Iest Residence  
1249 Ocean View Boulevard  
Pacific Grove, Ca. 93950  
A.F.N. 006-011-012

Landscape Plan Prepared For:

Sheet Title:  
Planting Plan

Date: 7.21.15

Scale: 1/8" = 1'-0"

Drawn By: GM

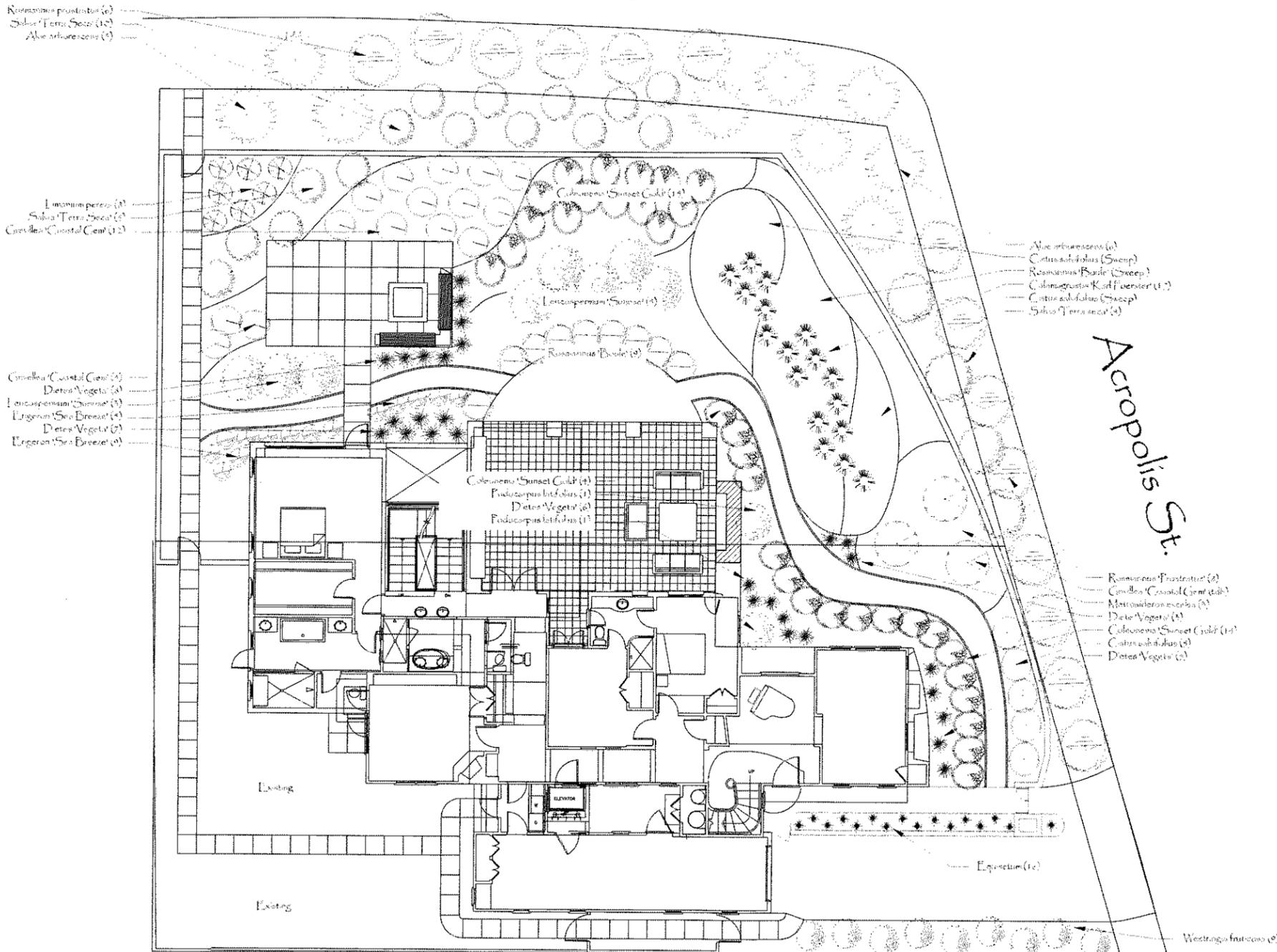
Revised:

Sheet: L-1

of: 3

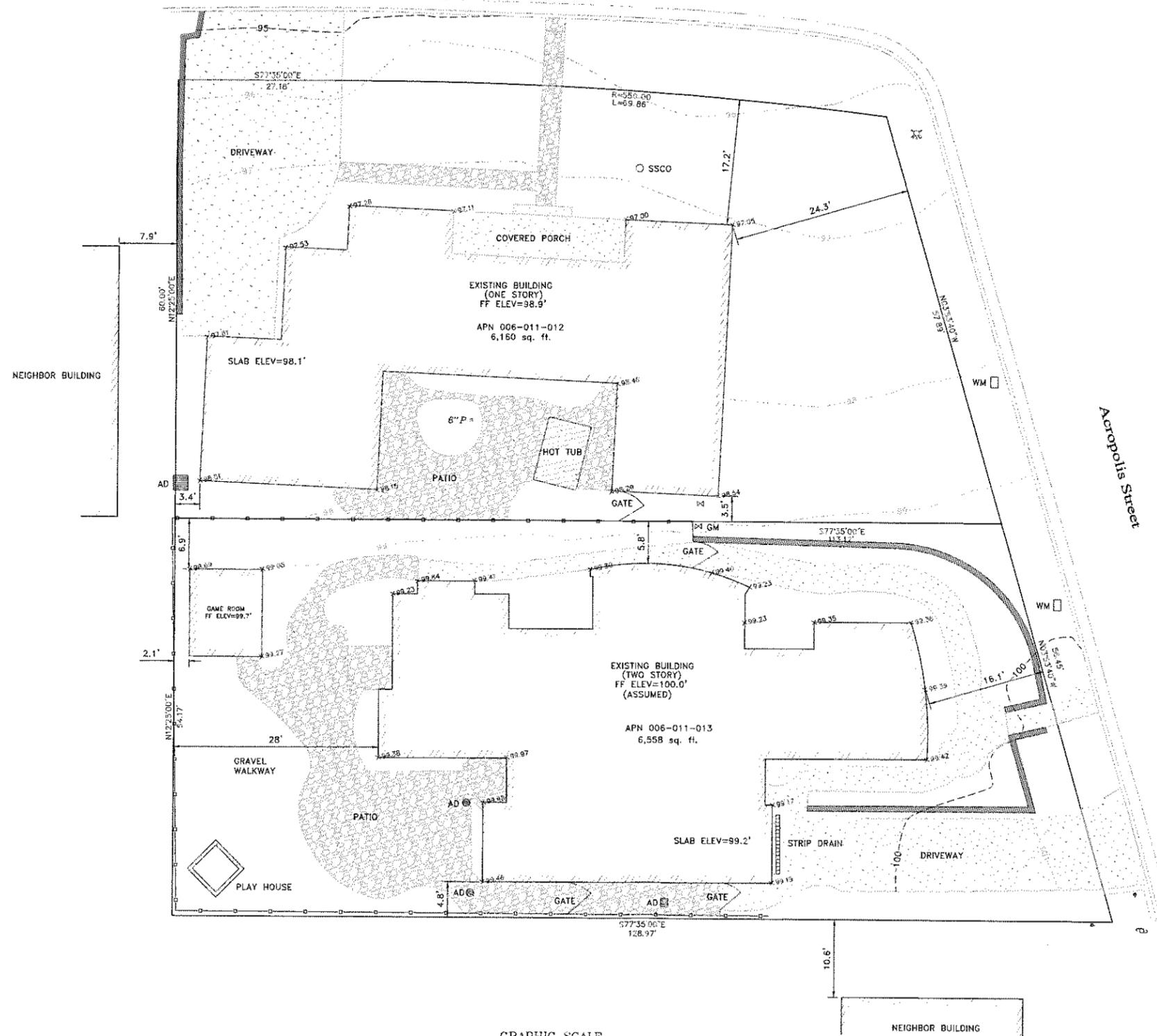
Ocean View Blvd.

Acropolis St.

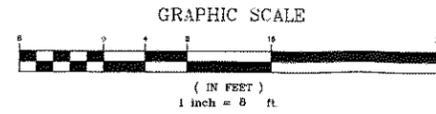


I, Michelle Comeau, certify that this landscape and irrigation plan complies with all County Landscape Requirements including the use of native, drought tolerant, non-invasive species, limited turf and the use of low flow water conserving irrigation fixtures.  
*Michelle Comeau*  
Michelle Comeau

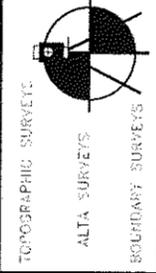
Ocean View Blvd.



**EXISTING**



Baseline Consulting  
13720 Monte Bello Pkwy  
Castroville, California 95012  
831-632-0956



DRAWN BY:	MS
APPROVED BY:	LEW
REVISION:	
SCALE:	1/8" = 1'
DATE:	03-03-2018

**SITE PLAN**  
APN 006-011-012 & 013  
1249 Ocean View Blvd. & 14 Acropolis St., Pacific Grove, Ca  
prepared for:  
Richard & Geirilyn Iest

**MONTEREY PENINSULA WATER MANAGEMENT DISTRICT  
RESIDENTIAL WATER RELEASE FORM AND WATER PERMIT APPLICATION**

**NOTE: When approved and signed by the jurisdictions, this form must be submitted with final and complete Construction Plans to:**  
 Monterey Peninsula Water Management District Permit Office  
 5 Harris Court, Bldg. G ♦ Monterey, CA 93940 ♦ (831) 658-5601 ♦ www.mpwmd.net ♦ Fax (831) 644-9558  
 Completing the Water Release Form & Water Permit Application does not guarantee issuance of a Water Permit.

**ALL SPACES BELOW MUST BE COMPLETED OR THE APPLICATION MAY NOT BE PROCESSED. (Please print family)**

**1. OWNERSHIP INFORMATION:**

Name: RICHARD & GENEVIEVE TRUST

Daytime telephone: \_\_\_\_\_

Mailing Address: 14576 AVENUE 14

MADERA, CA 93637-8922

**3. PROPERTY INFORMATION:**

What year was the house constructed? 2003 Existing Square-footage 3158 sf Proposed Square-footage 4,309 SF

Address: 14 ACROPOLIS, PACIFIC GROVE, CA Assessor Parcel Number 006-011-013

Is a water meter needed? (Circle one) YES  NO  If yes, how many meters are requested? \_\_\_\_\_

Water company serving parcel: CAL SAN WATER Account Number: \_\_\_\_\_

**2. AGENT/REPRESENTATIVE INFORMATION:**

Name: CRELA HESTIMOTO/ BEIC MUIRE/ AGENCY

Daytime telephone: 831-372-0410

Mailing Address: 211 HOFFMAN AVE.

MONTEREY, CA 93940

**4. PROJECT DESCRIPTION** (Be thorough and detailed). ADDITIONAL OF 3 BEDROOMS & 3 BATHS TO EXISTING 3 BEDROOM, 2 BATH, 1 1/2 BATH SINGLE FAMILY RESIDENCE.

**5. INSTRUCTIONS: Table #1 should list the fixtures on the property as they exist before the project. Table #2 should reflect all fixtures on the property after the project is completed. Only one Master Bathroom can be designated per dwelling unit.**

**Table No. 1 Existing Property Fixture Count**  
(All fixtures before project)

Type of Fixture	Fixture	Value	Count
Washbasin	2	x 1.0 =	3.0
Two Washbasins in the Master Bathroom	2	x 1.0 =	2.0
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)	1	x 1.8 =	1.8
Toilet, High Efficiency (HET)	1	x 1.3 =	1.3
Toilet, Ultra High Efficiency (UHET)		x 0.8 =	0.8
Urinal, High Efficiency (HEU) (0.5 gallon-per-flush)		x 0.5 =	0.5
Zero Water Consumption Urinal*		x 0.0 =	0.0
Masterbath (one per Dwelling), Tub & Separate Shower	1	x 3.0 =	3.0
Large Bathub (may have Showerhead above)		x 3.0 =	3.0
Standard Bathub or Shower Stall (one showerhead)		x 2.0 =	2.0
Shower, each additional fixture (heads, body spray)		x 2.0 =	2.0
Shower system, Rain Bars or Custom Shower (spears)		x 2.0 =	2.0
Kitchen Sink with High Efficiency Dishwasher		x 1.5 =	1.5
Dishwasher, each additional (with optional sink)		x 2.0 =	2.0
Dishwasher, High Efficiency (with opt. sink)		x 1.5 =	1.5
Laundry Sink/Utility Sink (one per Site)		x 2.0 =	2.0
Clothes Washer		x 2.0 =	2.0
Clothes Washer, (HEW) 5.0 water factor or less	1	x 1.0 =	1.0
Bidet		x 2.0 =	2.0
Bar Sink		x 1.0 =	1.0
Entertainment Sink		x 1.0 =	1.0
Vegetable Sink		x 1.0 =	1.0
Swimming Pool (each 100 sq-ft of pool surface)		x 1.0 =	1.0
Other <u>From 1440 OCEAN</u>		x 1.0 =	1.0
Other <u>From NEW BWD.</u>	13.6	x 1.0 =	13.6
Other		x _____ =	_____
Other		x _____ =	_____

\* Use this fixture count if a previous Permit was issued under Ordinance 80 to utilize the Master Bathroom Credit. (Tub may be large.) See District staff for more information.

EXISTING FIXTURE UNIT COUNT TOTAL = 29.0

**Table No. 2 Post Project Fixture Count**  
(All fixtures after project)

Type of Fixture	Fixture	Value	Count
Washbasin	6	x 1.0 =	6.0
Two Washbasins in the Master Bathroom	1	x 1.0 =	1.0
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)	1	x 1.8 =	1.8
Toilet, High Efficiency (HET)	5	x 1.3 =	6.5
Toilet, Ultra High Efficiency (UHET)		x 0.8 =	0.8
Urinal, High Efficiency (HEU) (0.5 gallon-per-flush)		x 0.5 =	0.5
Zero Water Consumption Urinal*		x 0.0 =	0.0
Masterbath (one per Dwelling), Tub & Separate Shower	1	x 3.0 =	3.0
Large Bathub (may have Showerhead above)		x 3.0 =	3.0
Standard Bathub or Shower Stall (one showerhead)	4	x 2.0 =	8.0
Shower, each additional fixture (heads, body spray)		x 2.0 =	2.0
Shower system, Rain Bars or Custom Shower (spears)		x 2.0 =	2.0
Kitchen Sink with High Efficiency Dishwasher		x 1.5 =	1.5
Dishwasher, each additional (optional sink)		x 2.0 =	2.0
Dishwasher, High Efficiency (with opt. sink)		x 1.5 =	1.5
Laundry Sink/Utility Sink (one per Site)		x 2.0 =	2.0
Clothes Washer		x 2.0 =	2.0
Clothes Washer, (HEW) 5.0 water factor or less	1	x 1.0 =	1.0
Bidet		x 2.0 =	2.0
Bar Sink		x 1.0 =	1.0
Entertainment Sink		x 1.0 =	1.0
Vegetable Sink		x 1.0 =	1.0
Instant-Access-Hot-Water System (fixture credit)		x <0.5> =	_____
New Connection - Refer to District Rule 24-A5		_____ =	_____
Exterior Residential Water Demand Calculations*		x _____ =	_____
Subtotal proposed fixtures		x _____ =	_____
Swimming Pool (each 100 sq-ft of pool surface)		x 1.0 =	_____

PROPOSED FIXTURE UNIT COUNT TOTAL = 28.8

**DEED RESTRICTION REQUIRED FOR ALL WATER PERMITS - PERMIT PROCESS MAY TAKE UP TO THREE WEEKS**

In completing the Water Release Form, the undersigned acknowledges that any discrepancy or mistake may cause rejection or delay in processing of the application. Additionally, the undersigned is responsible for accurately accounting for all water fixtures. If the fixture unit count changes without notification to the District, or if a difference in fixtures is documented upon official inspection, Water Permits for the property may be canceled. In addition, water fixtures installed without a Water Permit may be cause for interruption of the water service to the Site, additional fees and penalties, the imposition of a lien on the property, and deduction of water from the local Jurisdiction's Allocation. The property owner/Applicant is required to notify the District and provide Construction Plans as appropriate for each change in the Project made prior to use or occupancy that may affect the Project's Capacity to use water.

**6. I certify, under penalty of perjury, that the information provided on this Water Release Form & Water Permit Application is to my knowledge correct, and the information accurately reflects water use presently planned for this property.**

Signature of Owner/Agent CRELA HESTIMOTO/Architect

Date 7/23/15

Location Where Signed MONTEREY, CA

Print Name CRELA J. HESTIMOTO

File or Plan Check Number \_\_\_\_\_

**AUTHORIZATION FOR WATER PERMIT - JURISDICTION USE ONLY**

AF Paratka Allocation \_\_\_\_\_ AF Public Credits \_\_\_\_\_ AF Second Bathroom Protocol \_\_\_\_\_  
 AF Pre-Paratka Credits \_\_\_\_\_ WDS (Private Well) \_\_\_\_\_ Water Entitlement \_\_\_\_\_ No water needed \_\_\_\_\_

Notes: \_\_\_\_\_ Authorized by: \_\_\_\_\_ Date: \_\_\_\_\_

**This form expires one year from date of authorization for this project by the jurisdiction.**

White copy-MPWMD

Yellow copy-applicant

Pink copy-jurisdiction

