



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Members of the Architectural Review Board

FROM: Wendy Lao, Assistant Planner

MEETING DATE: February 14, 2017

SUBJECT: Architectural Permit (AP), Historic Preservation Permit (HPP), and Tree Permit with Development (TPD) #17-049 to allow an existing 1.5 story 925 square feet residence to demolish 85 square feet of existing living space and 41 square feet of wooden deck, and to add 718 square feet first story and 108 square feet upper story to the rear of the residence, for a total of a 1,751 gross square feet 1.5 story single family residence with an existing 571 square feet detached garage/play area. Pruning of a 36” diameter oak tree’s crown and root system for less than 25% of its overall area may be allowed. The Historic Preservation Permit would allow relief for the front yard and rear yard setbacks.

ADDRESS: 610 19th Street (APN 006-554-004)

**ZONING/
LAND USE:** R-1/Medium Density to 17.4 DU/ac

APPLICANT: Rick Steres, architect, on behalf of Mario & Michaila Bertolucci, owners

CEQA: Categorical Exemption, Section 15301, Class 1; and Section 15331, Class 31

RECOMMENDATION

Receive report, hold public hearing, and approve AP, HPP, and TPD #17-049 based on the findings and subject to the staff-recommended conditions. Consider and discuss lowering the addition’s gable roof by 2’ from its highest peak.

BACKGROUND

On January 17, 2017, Rick Steres, architect, applied for an Architectural Permit, Historic Preservation Permit, and Tree Permit with Development #17-049 for a property located at 610 19th Street in Pacific Grove. The permit would allow an existing one-and-one-half story 925 square residence to demolish 85 square feet of existing living space and 41 square feet of wooden deck, and to add 718 square feet first story and 108 square feet upper story to the rear of the residence. This would create a total of a 1,751 gross square feet one-and-one-half story single family residence with an existing 571 square feet detached garage/play area.

The Historic Preservation Permit would allow relief for the existing legal non-conforming front yard and rear yard setbacks.

The Tree Permit with Development would allow pruning of a 36" diameter oak tree's crown and root system for less than 25% of its overall area.

DISCUSSION

Zoning Code

The proposed development is in conformance with all requirements of the R-1 zone, including but not limited to site coverage and height requirements, with the exceptions of the front yard and rear yard setback for the historic residence which are considered legal non-conforming

The proposed project will have a building coverage of 38.07%, which is within the allowable maximum building coverage of 40%, pursuant to P.G.M.C. §23.16.040. The proposed project will have a site coverage of 45.04%, which is within the allowable maximum site coverage of 60%. The proposed project will have a gross floor area 2,088 square feet, which is within the allowable maximum gross floor area of 2,614 square feet.

The proposed addition will have a building height of 18'-9", which is under the allowable maximum height limit of 25'.

Building Height

The property is surrounded by single-story residences in its immediate vicinity. Staff recommends the consideration of lowering the addition's gable roof by 2' from its highest peak. It appears that this portion of the addition is intended for a single floor of living space to have a high, vaulted ceiling of 18'-9" height, rather than gross floor area for example. Staff recommends reducing the amount of air space.

Historic Review:

The subject property most closely resembles that of a Vernacular Saltbox Style residence constructed circa 1911. The structure has undergone alterations since its original construction, including enclosing the open front porch in 1948 and replacing all windows with in-kind in 2016. The subject residence is currently on the City of Pacific Grove's Historic Resources Inventory (HRI) and is considered to be locally significant. The period of historic significance for this property is from 1903-1926, the "Pacific Grove Comes of Age" period. The style of the new construction as proposed is similar to and subtly differentiated from that of the historic house, making it visually clear between historic and new construction. The proposed new work will be differentiated from the old by varying the dimension of the horizontal wood siding.

A Phase 2 Historic Report was completed by Kent L. Seavey on December 12, 2016. The report concluded that the proposed addition will be consistent with the Secretary of the Interior's Standards for Rehabilitation. While there will be some loss of historic material, the remaining character-defining features of the historic resources will not be obscured, damaged or destroyed. The proposed alterations to the property retain character-defining features of the historic resource, allowing the property to maintain its local historic significance. Because the proposed alterations to the building meet the *Standards*, the alterations are considered as mitigated to a

level of less than a significant impact on the historic resource and do not constitute a substantial adverse change to the historic resource.

Architecture Review Guidelines:

The project proposal appears to adhere to the following Architectural Review Guidelines:

Guideline #6: Try to place new windows where they will respect privacy between properties.

On the new upper story, the project proposes to have a frosted window at a high placement of 5'10" above the floor, which helps to provide privacy for the neighbors.

Guideline #28: An addition should complement and balance the overall form, mass, and composition of the existing building.

The project proposes to keep the front of the historic house as is, and expand in the rear of the property, keeping with the Secretary of Interior's standards. While the mass appears the same from the front of the property, the house appears massive from the side elevations. Staff recommends considering lowering the addition's gable roof by 2' from its highest peak.

Architecture Review Guidelines for Historic Buildings:

Guideline #2: Effects of additions on historic scale and character: additions to historic buildings should be designed to preserve, as much as possible, the scale and overall character of the original structure.

The project proposes to place the new addition on the rear elevation so that the new work does not result in a radical change to the form and character of the historic building. However, the proposal could be more consistent with the scale and overall character of the house, and staff recommends considering lowering the addition's gable roof by 2' from its highest peak.

Guideline #3: Preservation of character-defining features.

While there will be some loss of historic materials, the new addition is designed so that the remaining character-defining features of the historic building are not radically change or destroyed. The Phase 2 Historic Report determined that the proposed addition is consistent with the Secretary of Interior's standards – please see attachment for more information.

Guideline #4: Compatibility of new work with old.

The style of the new construction as proposed is similar to and subtly differentiated from that of the historic house, making it visually clear between historic and new construction. The proposed new work will be differentiated from the old by varying the dimension of the horizontal wood siding.

Trees and Landscaping

A Tree Report was completed by Frank Ono, ISA Certified Arborist #536, on January 3, 2017. The Tree Report determined that the proposed project does not seek to remove a 36" diameter oak tree, and that pruning of the tree's crown and root system for less than 25% of its overall area may be allowed. The arborist determined that the subject oak tree is expected to survive if properly protected and monitored. The City arborist concurred with the report.

The project proposal appears to adhere to the following Architectural Review Guidelines regarding trees:

Guideline #8: Landscaping can be used to provide privacy screens.

Staff recommends that hedges or similar landscaping shall be planted on the northern side of the property to buffer views between the addition's new lower level windows and the adjacent neighbor's windows.

Guideline #21: The design and siting of a dwelling should take into consideration all existing trees in order to avoid unneeded cutting and trimming.

The project proposes to maintain the 36" oak tree, and build the addition around it.

Guideline #22: Protect root systems of significant trees.

The project proposes to use permeable pavers for its patio at least 3' around the tree, which allows for tree root expansion. Furthermore, the conditions of approval include tree protection measures from construction impacts.

Condition of Approval: Privacy Screen

To respect the privacy of neighbors, staff recommends that hedges or similar landscaping shall be planted on the northern side of the property to buffer views between the addition's new lower level windows and the adjacent neighbor's windows. On the upper story, the project proposes to have a new frosted window at a high placement of 5'10" above the floor, which helps to protect privacy for the neighbors.

Environmental Determination:

The project qualifies for a Class 1 and Class 3 exemption from CEQA requirements, pursuant to Section 15301(e)(1) – Existing Facilities and Section 15331 – Historical Resource Restoration/Rehabilitation. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact. The proposed alterations do not constitute a substantial adverse change to the historic resource, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

ATTACHMENTS

- A. Permit Application
- B. Project Data Sheet
- C. Draft Permit
- D. CEQA Documentation
- E. Phase 2 Historic Report
- F. Arborist Report
- G. Water Credit Form
- H. Public Comments
- I. Project Plans

RESPECTFULLY SUBMITTED:

Wendy Lao

Wendy Lao, Assistant Planner



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Application # APHPP 17-049

Date: 1/17/17

Total Fees: 4355.72

Received by: WL

APPLICANT/OWNER:	Project Address: <u>610 19th Street</u>		APN: _____
	Project Description: <u>805 sq ft Addition to historic 1 1/2 story house, demolish 85 sq ft living area & 4 ft deck, remodel 343 sq ft living area</u>		
	Applicant		Owner
	Name: <u>Rick Steres</u>		Name: <u>Mario & Michaila Bertolucci</u>
Phone: <u>646-1131</u>		Phone: <u>236-2961</u>	
Email: <u>ricksteres@hotmail.com</u>		Email: <u>m.bertolucci@hotmail.com</u>	
Mailing Address: <u>227 Grand Ave, Suite 6</u>		Mailing Address: <u>610 19th St.</u>	
<u>Pacific Grove CA 93950</u>		<u>Pacific Grove CA 93950</u>	

Permit Request:

<input type="checkbox"/> CRD: Counter Determination	<input type="checkbox"/> AUP: Administrative UP	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> AVAR: Administrative VAR
<input checked="" type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> UP-A: UP Amendment	<input checked="" type="checkbox"/> HPP: Historic Preservation	<input type="checkbox"/> VAR-A: VAR Amendment
<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> AUP-A: AUP Amendment	<input type="checkbox"/> A: Appeal	<input type="checkbox"/> AVAR-A: AVAR Amendment
<input type="checkbox"/> ADC: Admin Design Change	<input type="checkbox"/> SU: Second Unit	<input type="checkbox"/> TPD: Tree Permit W/ Dev't	<input type="checkbox"/> MMP: Mitigation Monitoring
<input type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> PUU: Undocumented Unit	<input type="checkbox"/> Stormwater Permit
<input type="checkbox"/> UP: Use Permit	<input type="checkbox"/> LM: Lot Merger	<input type="checkbox"/> VAR: Variance	<input type="checkbox"/> Other:

CEQA Determination:	Review Authority:	Active Permits:	Overlay Zones:
<input type="checkbox"/> Exempt	<input type="checkbox"/> Staff	<input type="checkbox"/> Active Planning Permit	<input type="checkbox"/> Butterfly Zone
<input type="checkbox"/> Initial Study & Mitigated Negative Declaration	<input type="checkbox"/> ZA	<input type="checkbox"/> Active Building Permit	<input type="checkbox"/> Coastal Zone
<input type="checkbox"/> Environmental Impact Report	<input type="checkbox"/> SPRC	<input type="checkbox"/> Active Code Violation	<input type="checkbox"/> Area of Special Biological Significance (ASBS)
	<input type="checkbox"/> ARB	Permit #: _____	<input type="checkbox"/> Environmentally Sensitive Habitat Area (ESHA)

Property Information

Lot: 12 Block: 173 Tract: 5th Add.

ZC: R-1 GP: _____ Lot Size: 5,200 sq ft

Historic Resources Inventory Archaeologically Sensitive Area

Staff Use Only:

RECEIVED

JAN 17 2017

CITY OF PACIFIC GROVE

PAID
 4,355.72/49
 1-17-17

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

Applicant Signature: [Signature]

Date: 12-16-2016

Owner Signature (Required): _____

Date: 1/17/2017

PROJECT DATA SHEET

Project Address: 610 19th StreetSubmittal Date: 1-16-2017Applicant(s): Rick Steres

Permit Type(s) & No(s): _____

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-1			
Building Site Area	.	5,200 sq.ft		
Density (multi-family projects only)				
Building Coverage	40%	24.3%	38.07%	
Site Coverage	60%	40.98%	45.04%	
Gross Floor Area	2,614	1262	2088	
Square Footage not counted towards Gross Floor Area		234	234	6'-5" CLG. HT.
Impervious Surface Area Created and/or Replaced		869	362	
Exterior Lateral Wall Length to be demolished in feet & % of total*	_____	119.5 L.F.	45.75' 38.3%	
Exterior Lateral Wall Length to be built	_____	_____	115 L.F.	
Building Height	25'	18'-6"	18'-6"	
Number of stories	2	2	2	
Front Setback	15'	10'-8.5"	10'-8.5"	
North _____ Side Setback (specify side)	4'	4'	4'	
South _____ Side Setback (specify side)	4'	4'	4'	
Rear Setback	10'	7'-4"	7'-4"	
Garage Door Setback	20'	5'	5'	
Covered Parking Spaces	1	2	2	
Uncovered Parking Spaces	1	0	0	
Parking Space Size (Interior measurement)	9' x 20'	10.75'x20.5'	10.75'x20.5'	
Number of Driveways	1	1	1	
Driveway Width(s)	24'	16'	16'	
Back-up Distance				
Eave Projection (Into Setback)	3' maximum	12"	12"	
Distances Between Eaves & Property Lines	3' minimum	36"	36"	
Open Porch/Deck Projections	3'	4'	4'	
Architectural Feature Projections		0	0	
Number & Category of Accessory Buildings	CAT. 1	1	1	
Accessory Building Setbacks	5'	7'-4" REAR	7'-4" REAR	
Distance between Buildings	3.5'	44'-6"	15'-10"	
Accessory Building Heights	15'	12'-4"	12'-4"	
Fence Heights	6'	6'	6'	

*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.



CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.cityofpacificgrove.org/cedd

**ARCHITECTURAL PERMIT
&
HISTORIC PRESERVATION PERMIT
&
TREE PERMIT WITH DEVELOPMENT
#17-049**

FOR AN EXISTING 1.5 STORY 925 SQUARE FEET RESIDENCE LOCATED AT 610 19TH STREET TO DEMOLISH 85 SQUARE FEET OF EXISTING LIVING SPACE AND 41 SQUARE FEET OF WOODEN DECK, AND TO ADD 718 SQUARE FEET FIRST STORY AND 108 SQUARE FEET UPPER STORY TO THE REAR OF THE RESIDENCE, FOR A TOTAL OF A 1,751 GROSS SQUARE FEET 1.5 STORY SINGLE FAMILY RESIDENCE WITH AN EXISTING 571 SQUARE FEET DETACHED GARAGE/PLAY AREA. PRUNING OF A 36" DIAMETER OAK TREE'S CROWN AND ROOT SYSTEM FOR LESS THAN 25% OF ITS OVERALL AREA MAY BE ALLOWED.

FACTS

1. The subject site is located at 610 19th Street, Pacific Grove, 93950 APN 006-554-004
2. The subject site has a designation of Medium Density to 17.4 DU/ac on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-1 zoning district.
4. The subject site is an interior through lot of 5,200 square feet.
5. The subject site is developed with a 1.5 story single family dwelling of 925 square feet, and a detached garage/play area of 571 square feet.
6. The subject property was built in 1911 and is listed in the City's Historic Resources Inventory.
7. A Phase II Historic Report was completed on December 12, 2016.
8. A Tree Report was completed on January 3, 2017.
9. The subject site is located in the City's Area of Special Biological Significance Watershed.
10. This project has been determined to be CEQA Exempt under CEQA Guidelines Section 15301, Class 1; and Section 15331, Class 31

FINDINGS

1. The proposed development will meet the development regulations set forth in the R-1 zoning district including site coverage and height requirements, with the exceptions of the front yard and rear yard setback for the historic residence which are considered legal non-conforming, and;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines No. 6, 8, 21, 28, and Architecture Review Guidelines for Historic Buildings No. 2, 3, and 4.
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. The Board has been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences, and;
5. The exterior alteration of any structure on the historic resources inventory is consistent with the Secretary of the Interior's Standards for Rehabilitation of Historic Buildings, and;

6. The exterior alteration of any structure on the historic resources inventory complies with Appendices I through IV of the Pacific Grove Architecture Review Guidelines, and;
7. A Phase II Historic Report determined that the proposed project will be consistent with the Secretary of the Interior's Standards for Rehabilitation, and;
8. The Tree Report determined that the proposed project does not seek to remove a 36" diameter oak tree, and that pruning of the tree's crown and root system for less than 25% of its overall area may be allowed, and that the subject oak tree is expected to survive if properly protected and monitored, and;
9. The proposed project will meet the requirements of the Monterey Peninsula Water Management District, as the water credit will be reduced from 13.6 to 13.1, and;
10. The proposed action is consistent with the purposes of historic preservation as set forth in P.G.M.C. 23.76.010 including Section (d) to "preserve buildings significantly identified with people or events of historical and cultural importance to Pacific Grove's past," and in the historic preservation element of the general plan.

PERMIT

Architectural Permit (AP), Historic Preservation Permit (HPP), and Tree Permit with Development (TPD) #17-049 to allow: an existing 1.5 story 925 square feet residence located at 610 19th street to demolish 85 square feet of existing living space and 41 square feet of wooden deck, and to add 718 square feet first story and 108 square feet upper story to the rear of the residence, for a total of a 1,751 gross square feet 1.5 story single family residence with an existing 571 square feet detached garage/play area. Pruning of a 36" diameter oak tree's crown and root system for less than 25% of its overall area may be allowed.

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approved plans for "Bertolucci Residence" submitted on January 30, 2017, on file with the Community Development Department and to the Building Code, with the exception of any subsequently approved changes.
6. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone

of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.

- a. No more than 25% of the overall area of the 36" diameter oak tree's crown and root system may be pruned without the City Arborist approval.
- b. The tree protection efforts and best management practices (BMPs) as recommended by the arborist report from Frank Ono on January 3, 2017 shall be required.

7. **Tree Protection Standards Prior to Commencement of Construction Activities:**

- a. Trees located adjacent to construction areas shall be protected from damage by construction equipment by the use of temporary fencing and through wrapping of trunks with protective materials.
- b. Fencing shall consist of chain link, snowdrift, plastic mesh, hay bales, or field fence. Existing fencing may also be used.
- c. Fencing must not be attached to the tree. It shall be free standing or self-supporting so as not to damage trees. Fencing shall be rigidly supported and shall stand a minimum of height of four feet above grade.
- d. Soil compaction, parking of vehicles or heavy equipment, stockpiling of construction materials, and/or dumping of materials should not be allowed adjacent to trees on the property especially within fenced areas.

8. **Tree Protection Standards During Grading and Excavation Activities:**

- a. All trenching, grading or any other digging or soil removal that is expected to encounter tree roots will be monitored by a qualified arborist or forester to ensure against drilling or cutting into through major roots.
- b. The project arborist should be on site during excavation activities to direct any minor field adjustment that may be needed.
- c. Trenching for the retaining wall and driveway located adjacent to any tree should be done by hand where practical and any roots greater than 3-inches diameter should be bridged or pruned appropriately.
- d. Trenching for the retaining wall and driveway located adjacent to any tree should be done by hand where practical and any roots greater than 3-inches diameter should be bridged or pruned appropriately.
- e. Any roots that must be cut should be cut by manually digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root pruning equipment.
- f. Any roots damaged during grading or excavation should be exposed to sound tissue and cut cleanly with a saw.

8. **Tree Protection if Potentially Significant Roots are Discovered:**

- a. The arborist/forester will be authorized to halt excavation until appropriate mitigation measures are formulated and implemented.
- b. If significant roots are identified that must be removed that will destabilize or negatively affects the target trees negatively, the property owner will be notified immediately and a determination for removal will be assessed and made as required by law for treatment of the area that will not risk death decline or instability of the tree consistent with the implementation of appropriate construction design approaches to minimize affects, such as hand digging, bridging or tunneling under roots, etc.

8. **Lighting:** All exterior lighting must conform to Architectural Review Guidelines Nos. 10,11,12

9. **Building Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.

10. **Privacy Screening:** Hedges or similar landscaping shall be planted on the northern side of the property to buffer views between the addition's new lower level windows and the adjacent neighbor's windows.

11. **Height:** The final plans shall demonstrate a lower building height for the addition, sby a decrease of two (2) feet.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes Approval of AP, HPP, TPD 17-049 to allow: an existing 1.5 story 925 square feet residence located at 610 19th street to demolish 85 square feet of existing living space and 41 square feet of wooden deck, and to add 718 square feet first story and 108 square feet upper story to the rear of the residence, for a total of a 1,751 gross square feet 1.5 story single family residence with an existing 571 square feet detached garage/play area. Pruning of a 36” diameter oak tree’s crown and root system for less than 25% of its overall area may be allowed.
3. This permit shall become effective upon the expiration of the 13-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 14th day of February, 2017, by the following vote:

AYES:

NOES:

ABSENT:

RECUSE:

APPROVED:

Sarah Boyle, Secretary

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Mario & Michaila Bertolucci, Owners

Date



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T: 831.648.3190 • F: 831.648.3184 • www.ci.pg.ca.us/cdd

NOTICE OF EXEMPTION FROM CEQA

Property Address/Location: 610 19th St, Pacific Grove, CA 93950

Project Description: AP HPP 170049

Description: FOR AN EXISTING 1.5 STORY 925 SQUARE FEET RESIDENCE LOCATED AT 610 19TH STREET TO DEMOLISH 85 SQUARE FEET OF EXISTING LIVING SPACE AND 41 SQUARE FEET OF WOODEN DECK, AND TO ADD 718 SQUARE FEET FIRST STORY AND 108 SQUARE FEET UPPER STORY TO THE REAR OF THE RESIDENCE, FOR A TOTAL OF A 1,751 GROSS SQUARE FEET 1.5 STORY SINGLE FAMILY RESIDENCE WITH AN EXISTING 571 SQUARE FEET DETACHED GARAGE/PLAY AREA. PRUNING OF A 36" DIAMETER OAK TREE'S CROWN AND ROOT SYSTEM FOR LESS THAN 25% OF ITS OVERALL AREA MAY BE ALLOWED.

APN: 006554004000

ZC: R-1

Lot Size: 5,200 sf

Applicant Name: Rick Steres Phone #: 831-648-1131
Mailing Address: 230 Fountain Avenue #6, Pacific Grove, CA 93950
Email Address: ricksteres@hotmail.com

Public Agency Approving Project: City of Pacific Grove, Monterey County, California

Exempt Status (Check One):

- Ministerial (Sec. 21080(b)(1):15268))
- Declared Emergency (Sec. 21080(b)(3): 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption

Type and Section Number: Section 15301, Class 1; and Section 15331, Class 31

- Statutory Exemption

Type and Section Number:

- Other:

Exemption Findings:

The project qualifies for a Class 1 and Class 3 exemption from CEQA requirements, pursuant to Section 15301(e)(1) – Existing Facilities and Section 15331 – Historical Resource Restoration/Rehabilitation. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact. The proposed alterations do not constitute a substantial adverse change to the historic resource, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

Contact: Wendy Lao, Planning Department, City of Pacific Grove

Contact Phone: (831) 648-3183

KENT L. SEAVEY
310 LIGHTHOUSE AVENUE
PACIFIC GROVE, CALIFORNIA 93950
(831) 375-8739

December 12, 2016

Mr. Mario Bertolucci
610 19th Street
Pacific Grove, CA 93950

RECEIVED
JAN 17 2017
CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

Re: Phase II Historic Assessment for 610 19th Street, Pacific Grove, CA
APN. 006-554-004

Dear Mr. Bertolucci:

Introduction:

This Phase II Historic Assessment has been prepared on behalf of Mr. Mario Bertolucci as part of an application for additions and alterations to a listed historic residence. The subject property is located at 610 19th St. (APN #006-554-004), in Pacific Grove (see photos and plans & drawings provided).

Historical Background & Description

The subject property is an altered c.1911 Vernacular Saltbox Style residence. Monterey Co. Assessor's, and Pacific Grove building records indicate that the original open front porch has partially enclosed in 1948 (PGBP# 3105). An interior remodel took place in 1985 (PGBP# 4625) and all windows were replaced, in kind. In 2016 (PGBP# 16-909). The property is listed as # 452 in the Pacific Grove Historic Resource Survey, dated January 1, 2007. It is historic, at the local level of significance, as an example of the Vernacular Saltbox Style of architecture,

The property falls within the theme of Pacific Grove Comes of Age (1903-1926), found in the 2011 Pacific Grove Historic Context Statement. Its period of significance is c.1911 (see Heritage Society of Pacific Grove documentation provided).

The subject property is one-and-one-half story wood framed Vernacular Saltbox Style residence, rectangular in plan, resting on a raised concrete foundation. The exterior wall-cladding is a wide, horizontal rustic wood siding. The steep-pitched side-gabled roof overhangs what was once an open porch with a single angled bay, on the north side the east facing façade. The slightly overhanging eaves have a short return on either side elevation, and closed soffit. All roof surfaces are covered in composition shingles. Fenestration is irregular, with a combination of single and paired 1/1 double-hung wood windows, a small, awning type wood window in the gable apex on the south elevation, and paired 1/1 double-hung wood windows in the apex of the north-facing gable. The two front (east) focal windows exhibit a high muntin that must date from the 1948 bay addition under the overhanging roof on the south side of the façade. As noted above, all windows were repaired/replaced in 1985. A small, gabled bay extends west from the north side of the rear (south) elevation, accessing the rear yard. The slightly recessed principal entry is accessed by a straight run of wooden steps with a turned post rail on its south side (later addition?). The residence is sited on the west side of 19th St. in an informal landscape setting, framed by a white, flat-topped picket fence. It is located in a residential neighborhood of one and two-story homes of varying ages, sizes and styles. The original owner was Emily Mary Wilks, 1911 to 1917, when Joseph Wilks took possession. In 1918 the property came under the control of the Conference Claimant Endowment Board (CCEB). To date no information has been found on the Wilks. John Hill, a local clerk, owned the property from 1930 to 1984 to (see data from the Heritage Society of Pacific Grove, provided).

Evaluation

The owner proposes to extend the rear (west) of the building envelope with some expansion off the west end of the south side-elevation, and provide needed living space in a proposed roof extension to the west. A new chimney is proposed as part of the addition as is a small shed-roofed dormer on the north side of the junction of the new roof with the old (see plans and drawings provided).

Character-defining features of the property include its rectangular plan; Vernacular Saltbox roof form, including the roof returns; angled bay on the façade and 1/1 double-hung wood windows.

The Secretary of the Interior's Standards

The Secretary of the Interiors Standards for the Treatment of Historic Properties Identify four primary treatment approaches to historic buildings. They are Restoration, Preservation, Reconstruction and Rehabilitation. Rehabilitation would be the recommended standard of treatment for the subject property, Rehabilitation is defined as the act or process of making a compatible use for a property through repair, alterations and additions while preserving those portions or features which convey its historical, cultural, or architectural values (see copy of the Rehabilitation Standards provided).

The Secretary's Standards encourages "placing a new addition on a non-character-defining elevation." and locating alterations to historic properties in areas where previous alterations already exist. As stated in the 1992 National Park Service Illustrated Guidelines for Rehabilitating Historic Buildings, "The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility." As noted above, the Standards recommend new additions be placed on secondary elevations, and where alteration has already occurred. In this instance the proposed addition off a secondary elevation.

The proposed new work will be differentiated from the old by varying the dimension of the horizontal wood siding. Fenestration will also be modified by inclusion of several French multi-paned French doors. However, where possible any existing windows will be reused as well. The proposed new chimney will wood boxed, by code. The new work will be compatible with the size, scale, proportions and massing to protect the integrity of the subject property and its environment. If removed in future, the essential form and integrity of the historic residence will be unimpaired (see photos, plans and drawings provided).

Evaluation of Proposed Alterations

For the proposed additions and alterations, the following lists the ten Standards for Rehabilitation, with an evaluation given below each Standard:

1. *property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The proposed additions to the rear of the building envelope will continue to allow the property to retain its historic residential use, satisfying this Standard.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

The proposed new addition does impact the rear and south side-walls of the main building block. However, these are secondary elevations, with the new work well towards the rear on the existing building envelope and the character-defining east-facing façade untouched.

3. *Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The Standard does not apply, as the proposed alterations do not add conjectural features or elements from other historic properties.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

The small 1948 bay addition on the south side of the east facing façade will remain without any alteration.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The proposed alterations remove some historic siding and a window on the south side-elevation, and obscures a portion of the Saltbox roof appearance. However, these elements are clearly present on other building elevations, enabling sufficient examples of historic craftsmanship, including the Saltbox roof profile, to be retained, satisfying this Standard.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

Deteriorated historic windows were replaced, permit approved (PGBP# 16-909). If, during construction, deteriorated original building materials are found, they will be replaced in kind, regarding wood type, texture, size, and construction material. NOTE: Any recently replaced window will be reused, if feasible, in the new construction.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

This Standard does not apply, as chemical and physical treatments to historic fabric are not proposed.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

This Standard does not apply, as archaeological features are not identified at the site.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.*

The proposed addition removes existing siding and windows on the west (rear) and some of the south side-elevation of the original building envelope. The addition will maintain the original roofline, and be in scale and proportion to the main residence. Wood siding of a different width will be employed to differentiate the addition from the historic residence. While the proposed addition removes some fabric that is visible on a secondary elevation, retention of the historic features on the east facing primary façade will maintain the historic integrity of the resource.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The proposed alterations are not individually reversible. However, sufficient historic features will be retained on the Vernacular Saltbox designed residence to maintain the historic integrity of the property.

Conclusion:

The proposed work on the subject property will be executed consistent with the Secretary's Standards for Rehabilitation, with some loss of historic material, so that the remaining character-defining features of the resource will not be obscured, damaged or destroyed. The proposed alterations to the property satisfy the Standards because sufficient spatial relationships and character-defining features of the Vernacular Saltbox design will be retained, allowing the property to maintain its local historic significance. As proposed the new work will not cause a significant change to the listed historic building and will not create a significant adverse effect on the environment

Mitigation:

No mitigation is needed for this project.

Respectfully Submitted,

Kent S. Seaver

610 19th Street-Pacific Grove



1. Looking SW at the north side-elevation, note character-defining Saltbox Roof form, Kent Seavey, December, 2016.



2. Looking NW at the east facing façade & south side-elevation, note the 1948 square bay to left, Kent Seavey, December, 2016.

BLOCK 173 LOT 12

610 19th STREET

5th ADDITION TO RETIREMENT **Item 7c**

<u>DATE</u>	<u>OWNER</u>	<u>Assessment on Imprvmt</u>	<u>Remarks</u>
1911-12	Emily Mary Wilks	\$250	
1913	" " "	\$300	
1914-16	" " "	\$240	
1917	Joseph Wilks	\$240	
1918-26	C C E B (Conference Claimant Endowment Board)	\$240	

OWNER	LOT	ADDRESS & STREET	DEED DATE	REMARKS
ANTHONY FIELDS	1		11-27-14	
HATTIE L. SOURENSEN	1		---	
S.E. GOAR	1		2-19-27	
EMERETT L. ANDERSON	2	605 Congress Ave.	9-21-20	
JANE MESSENGER	2		3-8-24	J. CHIVERS M. b.1872 England
H.D. STUTZMAN	3	607 Congress Ave.	8-9-20	
OLIVER W. & MAE McFALL	3		8-31-22	
	4			
	5			
DANIEL J. & ENDORA C. LEARY	4		12-26-19	
	5			
	6	[EW45ft.]		
LESLIE W. FRITZ	6	[EW45ft.]	10-13-25	
CARL R. & IRMA B. MARCH	6	[W45ft.]	1-18-27	
LESLIE W. FRITZ	7	[EW45ft.] 692 Gibson	10-13-25	
MRS. C.D. JEFFERIES	7	[W45ft.]	7-6-15	
J.M. DENNIS to CARRIE M. SHAFF	7	[W45ft.]	11-1-15	LIFE ESTATE.
CARL R. & IRMA B. MARCH	7	[W45ft.]	1-18-27	
ELGIN C. & MARY B. HURLBERT	8		10-1-23	E.C. HURLBERT b.1869 Nova Scot m.MARY BLAINE d.1946 "P.G. ARGUS" & REAL ESTATE.
ELGIN C. HURLBERT	9	622 19th. St.	2-1-17	
W.H. PARKER	9		11-18-08	
THOMAS H. NICHOLAS	10		2-28-10	
	11	614 19th. St.		
WALTER C. & MAY BROOKS	10		1-27-25	W.C. BROOKS b.1890 Missouri m.MAE --- d.1981 "NOAH'S ARK" 1931-1954.
	11			
EMILY MARY WILKS	12		---	
CONFERENCE CLAIMENTS				
ENDOWMENT BOARD OF CALIF.				
ANNUAL CONFERENCE OF				
METHODIST CHURCH	12	610 19th. St.	9-5-17	
MRS. JOSEPHINE DODGE	13	606 19th. St.	---	
SHERIFF to JULIA E. BRIGGS	13		10-7-16	

July 20, 1994

Pacific Grove Heritage Society
605 Laurel Avenue
Pacific Grove, CA

Gentlemen:

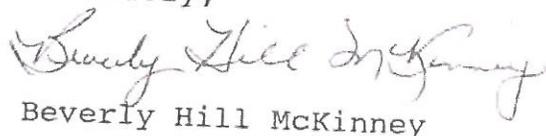
I was recently visiting in Pacific Grove and went by my parent's former home. I noticed a small gold plate by the front door and was informed that this meant the home was listed as a "historical" home. I inquired around Pacific Grove and was informed that your society has a listing of all the historical homes in Pacific Grove. Could you send me a copy of this listing. I have children and would like them to see their grandparents' home listed on such an important document.

I was raised in Pacific Grove, as was my whole family. My family owned the home at 610-19th Street for 50 years and it was wonderful to think that it is so recognized. Thank you for your efforts to recognize these historic places. If there is a cost to this listing, please contact me and I will send whatever fees are required.

I was also interested in a map of Pacific Grove which I would frame. I was informed that this is presently being worked on through the Chamber of Commerce. It would be a real boost to tourism if such a map could be done listing all the historic homes and other places of interest. If a map is ever completed with such things, please let me know and I will forward funds to cover the cost of sending.

Thank you again for your interest in the Pacific Grove area. It is a wonderful place and one well worth your endeavors.

Sincerely,



Beverly Hill McKinney

Address & Phone:

11103 Slater
Fountain Valley, CA 92708
(714) 432-0303

Wed, Feb 18, 2004 8:51 PM

From: John Billstrom <jbillstrom@yahoo.com>
To: Darlene Billstrom <billstrm@pacbell.net>
Date: Tuesday, February 17, 2004 5:49 PM
Subject: Fwd: Historical home information

Darlene, Please pass this on to Betty Aicklin for routine research. John
Note: forwarded message attached.

From: Beverly McKinney <bmckinnehill@yahoo.com>
Date: Tue, 17 Feb 2004 12:26:35 -0800 (PST)
To: jbillstrom@yahoo.com
Subject: Historical home information

I am currently conducting research for an article on my family home in Pacific Grove. It had a historical marker on the front porch and would like some information. The home which was owned by my parents John & Helen Hill from 1930 to 1984 was located at 610 - 19th Street. I would like to know when the home was built and information on the plaque that is on the front of the house. Any information would be appreciated. Thank you. Beverly Hill McKinney, bmckinnehill@yahoo.com

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219 Salinas St., Phone 5625

PACIFIC GROVE CITY

Hodges Chas M (Mildred) ins
Hodges Harold L (Nettie) h209 E
Hodges Melba ofc sec R E Foste
Hodges Ronald (Mary) (Le Mar
Hodgkinson Rulon (Hilda) h515
Hoffman Arth B h804 Junipero
HOFFMAN HAROLD H (Ruth)
Tel 4869

Hoffman Mabel r804 Junipero a
Hoffman Mary (wid M W) h624
Hogg Cecil R (Grace) h306 Fore
Holbrook Ella M h231 Cypress av
Holden Louis E (Mable) mach
Hollman Edith B sten h603 Ju
Hollman June bkpr r603 Juniper
Hollman Muriel clk r603 Juniper
Holman Harriet slswn Holman's
Holman Lillian A (wid R L) h2
Holman Lloyd clk Purity Store
Holman Lyndyl V (Marie) clk
Holman Ritter slsmn Holman's I
HOLMAN WILFRED R (Zena)
h769 Lighthouse Av, Tel 5037

Holman Zena G Mrs sec-treas H
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Tel 3101

Holmbach Chas (Jessie) h714 P
Holmes Sheldon r210 Granite
Holt Frank E (Lula B) formn C
Holt Frank E jr r549 Spruce av
Hommell Rudolph H (Mary) we
Hook Ella J (wid J P) h511 Par
Hopkins Marine Station Dewey a
Houde Geo (Frances) carp h208
Houseman Chas J (Agnes) h901
Hoveland Ralph (Cath) r203 Lig
Howard Ray (Fern) chauf r312
Howe Delbert N Rev (Amelia) h
Howell Albt P (Violenia) h135 I
Howell Genevieve M r245 Ocean
Howell Wm A h245 Ocean View
Howell Wm A jr lawyer r245 Oc
Howes Frank (Blanche) clk Holl
Howes Wilfred B h125 6th
Howland Chas H (Laura E) h1
Howland Glen r228 1st
Hoy Boyd W (Ann) eng r223 Fc
Hoy Mabel (wid W W) h223 Foun
Hoyt Hubbard S (Nellie) h212 J
Hubbard Anita Mrs cannerywkr
Hubbard Edw A (Martha) h223
Hudak Anna Mrs h216 Wood
Hudson Chas B (Grace B) h317
Hufford Chas I (Madge) carp h
Hufford Dana (Elsie) carp h350
Hufford Emerson (Margt) carp 1
Hufford Herbt carp h389 Juniper
Hufford Mary beauty opr r389 Ju
Hultz Homer F (Dorothy) lab h1

340

(1939) R. L. POLK & CO'S

Hazelton Geo T (Verna) h243 Locust
Head Herbt W h408 Forest av
Heath Harold (Elsie H) h181 Ocean View av
Heath J P h310 6th
Heiland Harold (Helen) h502 Cedar
Heilbron Mary L (wid H A) h110 2d
Heisinger Alice Mrs h236 Congress av
Heisinger Pauline Mrs slswn Holman's Dept Store r Carmel
Heisinger Russell clk r236 Congress av
Heitz Jos R (Ruth) greenkpr City Park Dept h831 Cedar
Helland John B (Margt) h801 Junipero av
Helwig Chas L eng Grove Lndy r Lakeside
Hench John M h215 18th
Henderson Ellen (wid John) h841 Spruce av
Henderson Mary Mrs h154 16th
Henderson Raino H (Marjoria) electn Lanlais Elect Co h1058 Surf
Hendricks Clarence (Lela) gdnr h110 18th
Henn Otto E (Lillian E) h148 11th
Henneken Andw K electn Langlais Elect Co
Henneken Andw W electn Holman's Dept Store r Monterey
Hennigan J H h362 Lighthouse av
Hennings Wm J (Lucille) roofing contr 231 18th
Henry Gertrude Mrs h305 12th
Henry Ruby Mrs h107 18th
Heumos Nellie (wid F J) h609 7th
Hewitson Clem M gro 573 Lighthouse av
Hibbard Edw L h834 Cedar
Hickey Thos F (Joan A) clk h149 Monterey av
Hicks Benard A (Mildred) mach h137 18th
Hicks Claude A (Wilma) with PG&ECO h430 Gibson av
Hicks Edw lab C K Bell h391 Asilomar blvd
Hicks Laura (wid C F) h308 Forest av
Hicks Paul L (Evelyn) dentist 582 Lighthouse av h312 Willow
Hicks Ralph H (Ruby) mech h731 Junipero av
Hilland L R h410 Congress av
Higgins Claude C (Christine) h381 Central av
Higgins Frank C (Gladys) asst postmaster PO h617 Cedar
Higuera Jos (Carrie) h146 9th
Higuera Jos jr lab r146 9th
Hilder Helen Mrs h155 Lighthouse av
Hilfiker Godfrey A h311 Lobos av
Hilgers Rudolph J (Eleanor) h188 Laurel
Hill John C (Helen) clk h610 19th
Hill Nelson W (Vernia) h226 19th
Hill Wm R (Lucy) wtchmn Holman's Dept Store h248 Chestnut
Hillman Wilhelmina Mrs h106 19th
Hirschy Eliz (wid Chas) r285 Junipero av
Hirschy Ida I Mrs slswn Holman's Dept Store r Monterey
Hitchcock Thos F (Amy B) h419 9th
Hittell Amy B (wid C J) h240 Asilomar blvd
Hoag Eug A (Alice) h921 Fountain av
Hobart Fred E (Bertha P) r511 13th
Hobart Josiah lab h511 13th
Hobart Lila A r511 13th
Hodgen Jacob M (Almira) h503 6th
Hodges Betty clk Grove Pharmacy r209 Eardley av



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11 1914

60'

50'

20'

20'

396

(220)

602

606

610

622

19TH

GIBSON

601

650

630

(219)



397

15

1914

60'

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N O



702

701

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427

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E X P O S.

702

701

1-

Item 7c

PARK

13

JUNIPERO AV

2" W.P.

2" W.P.

18TH



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19

2" W.P.

14

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20

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396

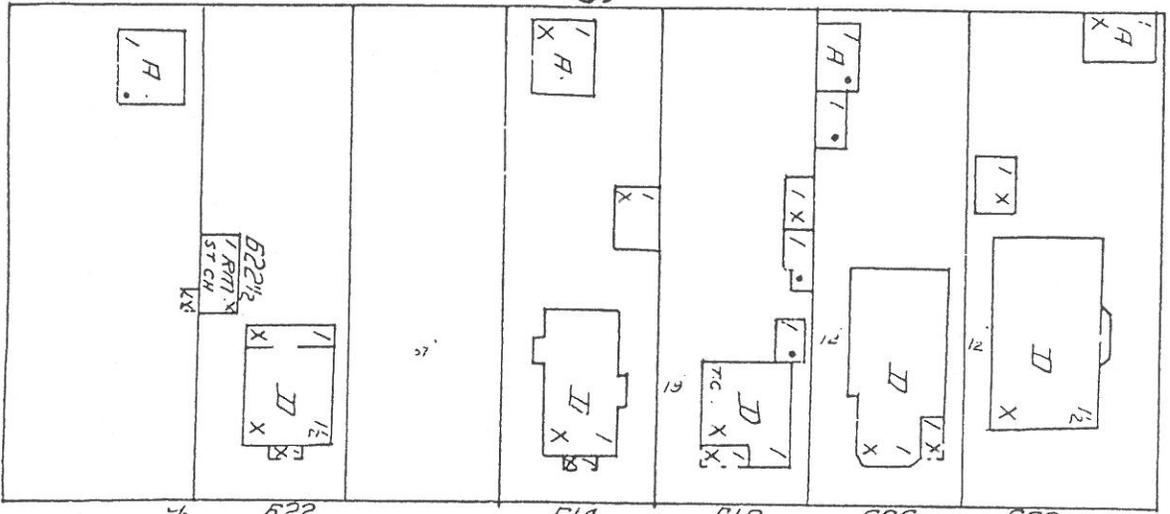
397

19th

618

610

600



SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Bertolucci
Tree Assessment
610 19th Street
Pacific Grove, CA

RECEIVED

JAN 17 2017

CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

Prepared for:

Mr. and Mrs. Mario Bertolucci

Prepared by:

Frank Ono
Urban Forester
Member Society of American Foresters #48004
ISA Certified Arborist #536
1213 Miles Avenue
Pacific Grove, CA 93950

January 3, 2017

Owner:

Mario & Michaila Bertolucci
610 19th Street
Pacific Grove, CA 93950

Architect:

Rick Steres
230 Fountain Avenue, Suite 6
Pacific Grove, CA 93950

Forester and Arborist

Frank Ono, Member SAF #48004, ISA Certified Arborist #536
F.O. Consulting
1213 Miles Ave
Pacific Grove, CA 93950

SUMMARY

Development is proposed for this site known requiring excavation near an oak tree on site. The project proposes to add a single floor addition to an existing single-family dwelling. There is an existing 36" diameter Coast live oak (#499) on the property considered to be in fair or better condition both structurally and in health. Soil excavation and hardscape removal will be performed near the tree to facilitate construction of the addition. At this time it appears the project does not require removal of the tree. A tree assessment/arborist report has been prepared that identifies and addresses the affects that the project will have to the existing tree as well as lists recommendations to sustain the tree during the project.

INTRODUCTION

This tree assessment/arborist report is prepared for Mario & Michaila Bertolucci, the owners of the property located at 610 19th Street, Pacific Grove CA by Frank Ono, Urban Forester and Certified Arborist (member Society of American Foresters #48004 and International Society of Arboriculture Certified Arborist #536) due to the proposed construction. The City of Pacific Grove Zoning Ordinances and Municipal Codes identify native Coast live oak trees as a species requiring protection and special consideration for management.

ASSIGNMENT/SCOPE OF PROJECT

To ensure protection of the tree resources on site, the property owners, Mario & Michaila Bertolucci, have requested an assessment of a tree in proximity to proposed development areas. The findings of the report are to be documented in an arborist report to work in conjunction with other conditions for approval of the building permit application. To accomplish this assignment, the following tasks have been completed;

- Evaluate health, structure and preservation suitability of the tree located within or adjacent (15 feet or less) to proposed development of trees greater than or equal to six diameter inches at 24 inches above grade.
- Review proposed building site plans as provided by Rick Steres Architect.
- Make recommendations for alternative methods and preconstruction treatments to facilitate tree retention.
- Create preservation specifications, as it relates to a Tree Location/Preservation Map.
- Determine the quantity of trees affected by construction as defined by the City of Pacific Grove Codes; as well as mitigation requirements for those to be affected.
- Document findings in the form of a report as required by the City of Pacific Grove Planning Department.

LIMITATIONS

This assignment is limited to the review of plans submitted to me dated November 18, 2016 by Mario & Michaila Bertolucci to assess affects from potential construction to trees within or adjacent to construction activities. The assessment has been made of these plans specifically and no other plans were reviewed. Only minor grading and erosion details are discussed in this report as it relates to tree health. It is not the intent of this report to be a monetary valuation of the trees or provide risk assessment for any tree on this parcel, as any tree can fail at any time. No clinical diagnosis was performed on any pest or pathogen that may or may not be present. In addition to an inspection of the property, F.O. Consulting relied on information provided in the preparation of this report (such as, surveys, property boundaries, and property ownership) and must reasonably rely on the accuracy of the information provided. F.O. Consulting shall not be responsible for another's means, methods, techniques, schedules, sequence or' procedures, or for contractor safety or any other related programs; or for another's failure to complete the work in accordance with the plans and specifications.

PURPOSE AND GOAL

This Tree Assessment/Arborist report is prepared for this parcel due to proposed construction activities located at 610 19th Street, Pacific Grove CA. The purpose of the assessment is to determine trees affected by the proposed project. Oak trees are considered protected trees as defined by the City of Pacific Grove Zoning Ordinances.

The goal of this report is to protect and maintain the Pacific Grove Urban forested resources through the adherence of development standards, which allow the protection, and maintenance of its forest resources. Furthermore it is the intended goal of this report to aid in planning to offset any potential effects of proposed development on the property while encouraging forest stability and sustainability, perpetuating the forested character of the property and the immediate vicinity.

SITE DESCRIPTION

- 1) Assessor's Parcel Number: 006-554-004-000.
- 2) Location: 610 19th Street, Pacific Grove CA.
- 3) Parcel size: 0.119 acres.
- 4) Existing Land Use: The parcel is zoned for single family residential use.
- 5) Slope: The parcel is mildly sloped ranging from 4% to 6%.
- 6) Soils: The parcel is located on soils classified by the Monterey County Soils report as Narlon fine sandy loam soils. This is a gently sloping and moderately sloping soil on dissected marine terraces. It has the profile described as representative of the series. The clay subsoil is at a depth of 15 to 20 inches. Slopes are mostly 3 to 6 percent. Runoff is slow to medium, and temporary shallow ponds form in swales in wet winters. The erosion hazard is moderate. The seedling mortality is low, and the wind throw hazard severe. The equipment limitation is moderate or severe.
- 7) Urban Forest Vegetation Condition and Health: The site is developed and surrounding forest canopy is fragmented (many of the historic pines which once were part of the landscape have been removed leaving only remnant oak understory). The vegetation on site is composed primarily of a few ornamental plants and grasses. The existing Oak on this property has no understory and is surrounded by existing turf.

BACKGROUND

All meetings and field reviews were focused on the area immediately surrounding the proposed development where there is an existing oak. The oak tree is immediately adjacent the proposed development area; it was measured, inspected, flagged and recorded. The assessment concluded with an opinion of whether the tree should be removed, or preserved, based on the extent and effect of construction activity to the short and long-term health of the tree. The study of the individual oak tree determined treatments necessary to complete the project and meet the goals of the landowner, which is to preserve the existing oak tree to the greatest extent feasible, maintaining the view shed and general aesthetic quality of the area while complying with City of Pacific Grove Municipal Codes.

OBSERVATIONS/DISCUSSION

The following list includes observations made while on site, and summarizes details discussed during this stage of the planning process.

- The site is developed with an existing structure and hardscaped area near the 36” diameter oak desired to remain.
- The oak appears to be in fair to good condition with no apparent signs of significant disease or insects. It apparently has had previous excavation around its dripline both to install turf and for a concrete walkway which extends from the house to the ally and parking area at the rear of the property.
- The project proposes to build near tree the oak where excavation may encroach into portions of the trees critical root zone. Excavation will be at a distance of over 10 feet from the base of the tree.
- Upon close inspection it appears construction is at a distance that encroachment, would be minimal and due to the soil type, not many roots will be encountered. The tree is expected to satisfactorily survive construction provided work near the tree is monitored and the tree protected from construction impacts.

CONCLUSION/PROJECT ASSESSMENT

This proposal to build an addition to a single-family residence is planned to maintain the existing urban forested environment, allowing the urban-forest to continue to exist and regenerate over time. No tree removal for this site is proposed or expected due to construction. The subject oak tree is expected to survive if properly protected and monitored.

Short and Long Term Affects

Site disturbance will occur during building construction. Short term site affects are confined to the construction envelope and immediate surroundings a portion of the trees crown may need to be trimmed and its root systems reduced. The pruning of tree crowns and root system will be far less than 25% of its overall area (pruning and reduction of root area over 30% may have a short term effects on those trees treated, including a reduction of growth and potential limb dieback). The site is already a developed residential site, therefore no significant long term affects to the urban forest ecosystem or the individual tree is anticipated.

RECOMMENDATIONS

Tree Protection

Prior to the commencement of construction activities:

- Trees located adjacent to construction areas shall be protected from damage by construction equipment by the use of temporary fencing and through wrapping of trunks with protective materials.
- Fencing shall consist of chain link, snowdrift, plastic mesh, hay bales, or field fence. Existing fencing may also be used.
- Fencing must not be attached to the tree. It shall be free standing or self-supporting so as not to damage trees. Fencing shall be rigidly supported and shall stand a minimum of height of four feet above grade.
- Soil compaction, parking of vehicles or heavy equipment, stockpiling of construction materials, and/or dumping of materials should not be allowed adjacent to trees on the property especially within fenced areas.
- Fenced areas and the trunk protection materials must remain in place during the entire construction period.

During grading and excavation activities:

- All trenching, grading or any other digging or soil removal that is expected to encounter tree roots will be monitored by a qualified arborist or forester to ensure against drilling or cutting into or through major roots.
- The project arborist should be on site during excavation activities to direct any minor field adjustments that may be needed.
- Trenching for the retaining wall and driveway located adjacent to any tree should be done by hand where practical and any roots greater than 3-inches diameter should be bridged or pruned appropriately.
- Any roots that must be cut should be cut by manually digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root pruning equipment.
- Any roots damaged during grading or excavation should be exposed to sound tissue and cut cleanly with a saw.

If at any time potentially significant roots are discovered:

- The arborist/forester will be authorized to halt excavation until appropriate mitigation measures are formulated and implemented.
- If significant roots are identified that must be removed that will destabilize or negatively affects the target trees negatively, the property owner will be notified immediately and a determination for removal will be assessed and made as required by law for treatment of the area that will not risk death decline or instability of the tree consistent with the implementation of appropriate construction design approaches to minimize affects, such as hand digging, bridging or tunneling under roots, etc..

Best Management Practices to Observe (BMP)

The following best management practices must be adhered to:

- A) Tree service contractors will verify animal or bird nesting prior to tree work. If nesting activity of migratory birds are found, work must stop and a wildlife biologist consulted before commencing work (the typical bird nesting season ranges from February 22 to August 1).
- B) Do not deposit any fill around trees, which may compact soils and alter water and air relationships. Avoid depositing fill, parking equipment, or staging construction materials near existing trees. Covering and compacting soil around trees can alter water and air relationships with the roots. Fill placed within the drip line may encourage the development of oak rot fungus (*Armillaria mellea*). As necessary, trees may be protected by boards, fencing or other materials to delineate protection zones.
- C) Pruning shall be conducted so as not to unnecessarily injure the tree. General-Principals of pruning include placing cuts immediately beyond the branch collar, making clean cuts by scoring the underside of the branch first, and for live oak, avoiding the period from February through May.
- D) Native live trees are not adapted to summer watering and may develop crown or root rot as a result. Do not regularly irrigate within the drip line of oaks. Native, locally adapted, drought resistant species are the most compatible with this goal.
- E) Root cutting should occur outside of the springtime. Late June and July would likely be the best. Pruning of the live crown should not occur February through May.
- F) Tree material greater than 3 inches in diameter remaining on site more than one month that is not cut and split into firewood must be covered with thick clear plastic that is dug in securely around the pile to discourage infestation and dispersion of bark beetles.
- G) A mulch layer up to approximately 4 inches deep should be applied to the ground under selected trees following construction. Only 1 to 2 inches of mulch should be applied within 1 to 2 feet of the trunk, and under no circumstances should any soil or mulch be placed against the root crown (base) of trees. The best source of mulch would be from chipped material generated on site.
- H) If trees along near the development are visibly declining in vigor, a Professional Forester or Certified Arborist should be contacted to inspect the site to recommend a course of action.

Report Prepared By:

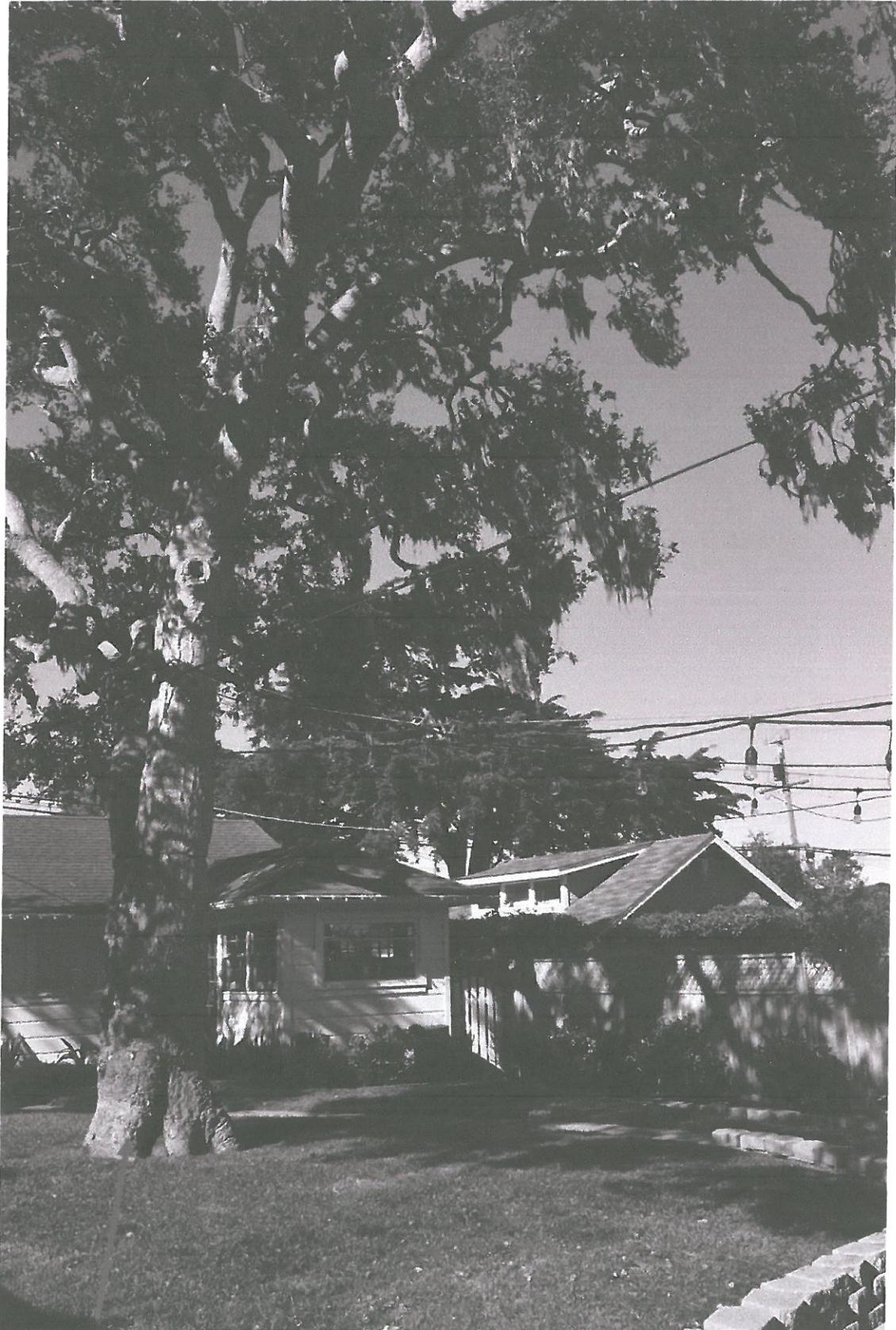


Frank Ono, SAF Forester #48004 and ISA Certified Arborist #536

March 10, 2016

Date

PHOTOGRAPHS

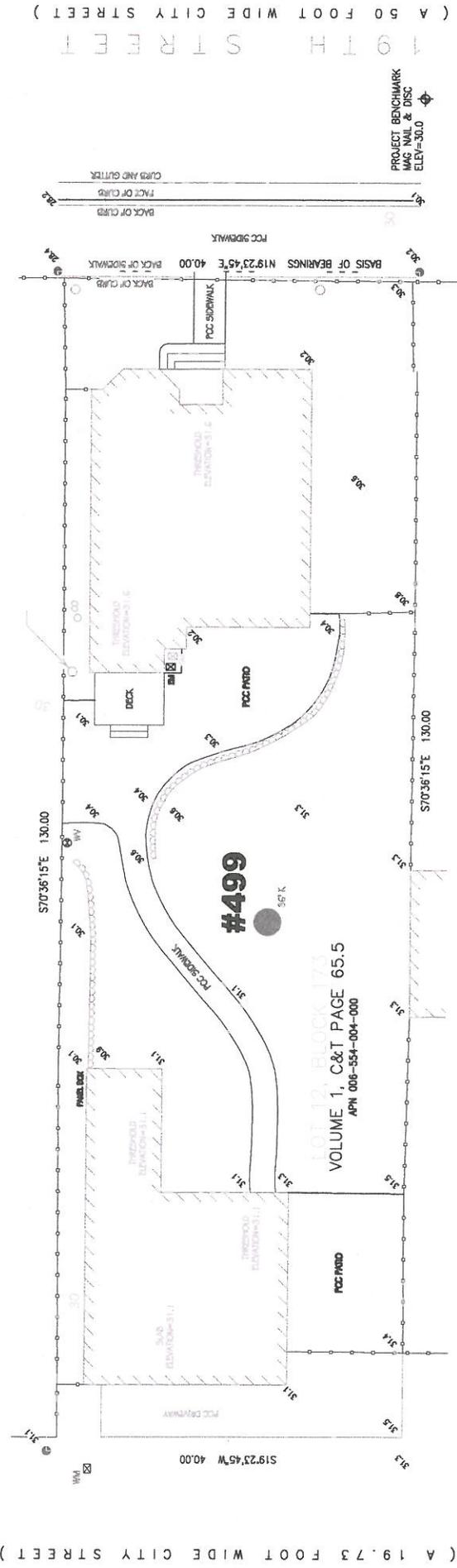


Tree #499

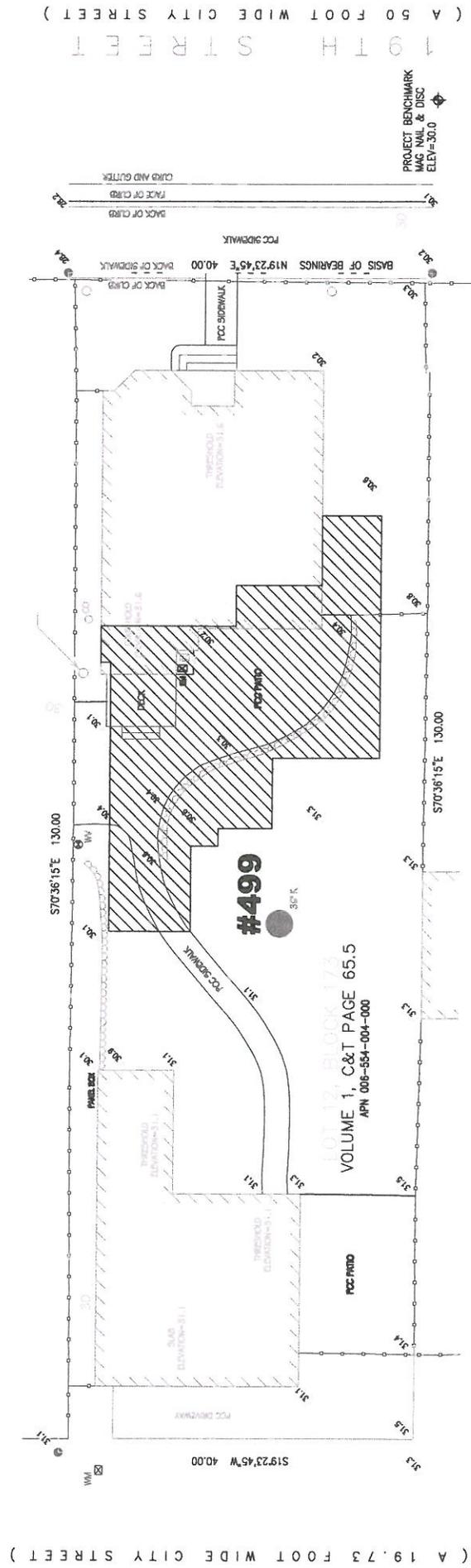
Existing grade is already lowered and will be encroached further, however there will be ample roots remaining to support the tree



NOTE:
THE PROPERTY LINES AND LOCATION OF EXISTING FENCE LINES, EXISTING BUILDING LINES AND WERE BASED ON INFORMATION SUPPLIED BY



Existing Site Plan



Proposed Site Plan

(A 19.73 FOOT WIDE CITY STREET)

(A 19.73 FOOT WIDE CITY STREET)

(A 50 FOOT WIDE CITY STREET)

(A 50 FOOT WIDE CITY STREET)

**MONTEREY PENINSULA WATER MANAGEMENT DISTRICT Item 7c
RESIDENTIAL WATER RELEASE FORM AND WATER PERMIT APPLICATION**

NOTE: When approved and signed by the jurisdictions, this form must be submitted with final and complete Construction Plans to:

Monterey Peninsula Water Management District Permit Office
5 Harris Court, Bldg. G ♦ Monterey, CA 93940 ♦ (831) 658-5601 ♦ www.mpwmd.net ♦ Fax (831) 644-9558
Completing the Water Release Form & Water Permit Application does not guarantee issuance of a Water Permit.

ALL SPACES BELOW MUST BE COMPLETED OR THE APPLICATION MAY NOT BE PROCESSED. (Please print firmly)

1. OWNERSHIP INFORMATION:

Name: Marie & Michela Bertolucci

Daytime telephone: 236-2961

Mailing Address: 610 19th Street
Pacific Grove CA 93950

2. AGENT/REPRESENTATIVE INFORMATION:

Name: Rich Steres

Daytime telephone: 646-1131

Mailing Address: 227 Grand Ave. Suite 6
Pacific Grove CA 93950

3. PROPERTY INFORMATION:

What year was the house constructed? ~~1751~~ ¹⁹¹¹ Existing Square-footage 691 Proposed Square-footage 1751

Address: 610 19th St. Pacific Grove Assessor Parcel Number 004-554-004

Is a water meter needed? (Circle one) YES NO If yes, how many meters are requested? _____

Water company serving parcel: CAL-AM Account Number: _____

NOTE: Separate water meters are required for each User. Residential uses require separate meters for all auxiliary housing that includes a kitchen.

4. PROJECT DESCRIPTION (Be thorough and detailed): Addition / remodel S.F.D. including
and 98 bathroom

5. INSTRUCTIONS: Table #1 should list the fixtures on the property as they exist before the project. Table #2 should reflect all fixtures on the property after the project is completed. Only one Master Bathroom can be designated per dwelling unit.

Table No. 1 Existing Property Fixture Count
(All fixtures before project)

Type of Fixture	Fixture	Value	Count
Washbasin	<u>2</u>	x 1.0 =	<u>2</u>
Two Washbasins in the Master Bathroom		x 1.0 =	
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)	<u>2</u>	x 1.8 =	<u>3.6</u>
Toilet, High Efficiency (HET)		x 1.3 =	
Toilet, Ultra High Efficiency (UHET)		x 0.8 =	
Urinal, High Efficiency (HEU) (0.5 gallon-per-flush)		x 0.5 =	
Zero Water Consumption Urinal*		x 0.0 =	
Masterbath (one per Dwelling): Tub & Separate Shower		x 3.0 =	
Large Bathtub (may have Showerhead above)	<u>2</u>	x 3.0 =	
Standard Bathtub or Shower Stall (one showerhead)		x 2.0 =	<u>4</u>
Shower, each additional fixture (heads, body spray)		x 2.0 =	
Shower system, Rain Bars or Custom Shower (specs)		x 2.0 =	
Kitchen Sink (with optional Dishwasher)	<u>1</u>	x 2.0 =	<u>2</u>
Kitchen Sink with High Efficiency Dishwasher		x 1.5 =	
Dishwasher, each additional (with optional sink)		x 2.0 =	
Dishwasher, High Efficiency (with opt. sink)		x 1.5 =	
Laundry Sink/Utility Sink (one per Site)		x 2.0 =	
Clothes Washer	<u>1</u>	x 2.0 =	<u>2</u>
Clothes Washer, (HEW) 5.0 water factor or less		x 1.0 =	
Bidet		x 2.0 =	
Bar Sink		x 1.0 =	
Entertainment Sink		x 1.0 =	
Vegetable Sink		x 1.0 =	
Swimming Pool (each 100 sq-ft of pool surface)		x 1.0 =	
Other		x =	
Other		x =	
Other		x =	
Other		x =	

Table No. 2 Post Project Fixture Count
(All fixtures after project)

Type of Fixture	Fixture	Value	Count
Washbasin	<u>1</u>	x 1.0 =	<u>1</u>
Two Washbasins in the Master Bathroom		x 1.0 =	<u>1</u>
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)	<u>1</u>	x 1.8 =	<u>1.8</u>
Toilet, High Efficiency (HET)		x 1.3 =	<u>1.3</u>
Toilet, Ultra High Efficiency (UHET)		x 0.8 =	
Urinal, High Efficiency (HEU) (0.5 gallon-per-flush)		x 0.5 =	
Zero Water Consumption Urinal*		x 0.0 =	
Masterbath (one per Dwelling): Tub & Separate Shower		x 3.0 =	
Large Bathtub (may have Showerhead above)		x 3.0 =	
Standard Bathtub or Shower Stall (one showerhead)	<u>1</u>	x 2.0 =	<u>2</u>
Shower, each additional fixture (heads, body spray)	<u>1</u>	x 2.0 =	<u>2</u>
Shower system, Rain Bars or Custom Shower (specs)		x 2.0 =	
Kitchen Sink (optional dishwasher)	<u>1</u>	x 2.0 =	<u>2</u>
Kitchen Sink with High Efficiency Dishwasher		x 1.5 =	
Dishwasher, each additional (optional sink)		x 2.0 =	
Dishwasher, High Efficiency (with opt. sink)		x 1.5 =	
Laundry Sink/Utility Sink (one per Site)		x 2.0 =	
Clothes Washer	<u>2</u>	x 2.0 =	<u>2</u>
Clothes Washer, (HEW) 5.0 water factor or less		x 1.0 =	
Bidet		x 2.0 =	
Bar Sink		x 1.0 =	
Entertainment Sink		x 1.0 =	
Vegetable Sink		x 1.0 =	
Instant-Access-Hot-Water System (fixture credit)		x <0.5> =	
New Connection - Refer to District Rule 24-A5 "Exterior Residential Water Demand Calculations"		x =	
Subtotal proposed fixtures		=	
Swimming Pool (each 100 sq-ft of pool surface)		x 1.0 =	

• Use this fixture count if a previous Permit was issued under Ordinance 80 to utilize the Master Bathroom Credit. (Tub may be large.) See District staff for more information.

EXISTING FIXTURE UNIT COUNT TOTAL = 13.4

PROPOSED FIXTURE UNIT COUNT TOTAL = 13.1

DEED RESTRICTION REQUIRED FOR ALL WATER PERMITS - PERMIT PROCESS MAY TAKE UP TO THREE WEEKS

In completing the Water Release Form, the undersigned acknowledges that any discrepancy or mistake may cause rejection or delay in processing of the application. Additionally, the undersigned is responsible for accurately accounting for all water fixtures. If the fixture unit count changes without notification to the District, or if a difference in fixtures is documented upon official inspection, Water Permits for the property may be canceled. In addition, water fixtures installed without a Water Permit may be cause for interruption of the water service to the Site, additional fees and penalties, the imposition of a lien on the property, and deduction of water from the local Jurisdiction's Allocation. The property owner/Applicant is required to notify the District and provide Construction Plans as appropriate for each change in the Project made prior to use or occupancy that may affect the Project's Capacity to use water.

6. I certify, under penalty of perjury, that the information provided on this Water Release Form & Water Permit Application is to my knowledge correct, and the information accurately reflects water use presently planned for this property.

Signature of Owner/Agent: Richard B. Steres Date: 12-16-2014 Location Where Signed: _____
Print Name: _____ File or Plan Check Number: _____

AUTHORIZATION FOR WATER PERMIT - JURISDICTION USE ONLY

_____ AF Paralta Allocation _____ AF Public Credits _____ AF Second Bathroom Protocol
_____ AF Pre-Paralta Credits _____ WDS (Private Well) _____ Water Entitlement _____ No water needed

Notes: _____ Authorized by: _____ Date: _____

This form expires one year from date of authorization for this project by the jurisdiction.

White copy-MPWMD

Yellow copy-applicant

Pink copy-jurisdiction



**PUBLIC COMMENT FROM DAVID & TINA DEYERLE, 610 19TH ST.**

Wendy Lao <wlao@cityofpacificgrove.org>

610 19th St Permit

Tina Deyerle <tinadeyerle@icloud.com>
To: wlao@cityofpacificgrove.org

Fri, Jan 20, 2017 at 8:10 PM

Ms. Lao:

We are neighbors of the property located at 610 19th St in Pacific Grove. We are very concerned about the impact on our property utilizing the current plans that have been submitted.

It would be more than doubling the size of the current historic property and would greatly infringe on our privacy. We would like to formally make objection and look forward to the opportunity for our voice to be heard.

If you could please inform us of the necessary steps for this process, it would be greatly appreciated.

Sincerely,

David Deyerle
606 19th St
Pacific Grove, CA

**PUBLIC COMMENT FROM DAVID & TINA DEYERLE, 610 19TH ST.**

Wendy Lao <wlao@cityofpacificgrove.org>

610 19th St Permit

Tina Deyerle <tinadeyerle@icloud.com>
To: Wendy Lao <wlao@cityofpacificgrove.org>

Mon, Jan 23, 2017 at 2:40 PM

Wendy,

Since you have acknowledged that email comments will be taken into consideration, we would like to add that we are not opposed to an addition so much as we object to the second story addition, as it looks directly into the main living area of our home and backyard. It will block the light from the sun that we currently enjoy and rely on for light as well as our garden. We will no longer enjoy any privacy in our outdoor area as well as almost the entire indoor area. The second story that is currently on the home was never intended to be a bedroom and bath. I'm sure it is not a legal living area. When we did our remodel roughly ten years ago, we were careful to keep in compliance with the rules for an historic home, including wood windows, as we were told we had to do. We feel strongly that the addition that is currently planned will greatly decrease the value of our home that we have owned since 1980.

We certainly don't want to create acrimony within our neighborhood, but we feel strongly that this will have an impact on our quiet enjoyment of life that we have earned. If you could please guide us on the next steps in this process and where in the process, if need be, we should seek legal counsel.

Thank you in the advance.

Tina Deyerle
[Quoted text hidden]



PUBLIC COMMENT FROM DAVID & TINA DEYERLE, 610 19TH ST.

Wendy Lao <wlao@cityofpacificgrove.org>

610 19th St

1 message

David <pgdaviddeyerle1@sbcglobal.net>
To: Wendy Lao <wlao@cityofpacificgrove.org>

Wed, Jan 25, 2017 at 8:51 AM

Wendy

We also wish to voice our concern that the architect for this project is a member of the ARB and any conflict of interest that may arise therefrom.

Thank you
David Deyerle

Sent from my iPad

**PUBLIC COMMENT FROM DAVID & TINA DEYERLE, 610 19TH ST.**

Wendy Lao <wlao@cityofpacificgrove.org>

610 19th St

TINA DEYERLE <tinadeyerle@sbcglobal.net>
Reply-To: TINA DEYERLE <tinadeyerle@hotmail.com>
To: "wlao@cityofpacificgrove.org" <wlao@cityofpacificgrove.org>

Thu, Feb 2, 2017 at 8:13 AM

On Wednesday, February 1, 2017 3:36 PM, TINA DEYERLE <tinadeyerle@sbcglobal.net> wrote:

To whom it may concern:

We would like to voice our concern over the proposed addition at 610 19th Street. We have enjoyed our residence since 1980. It's a small roughly 1200 sf home. With the proposed addition it completely blocks the light coming into the south side of our home, where we spend most of our time; let alone the fact we will be looking at a wall where we have enjoyed a view of trees and sky. Our privacy will be absolutely invaded. They will have windows roughly 13 feet from our hot tub and a deck even closer. Our privacy in the backyard patio will be nonexistent. Because of the total invasion of our privacy, we feel that our home value will be decreased.

This is not a personal issue, as we think the neighbors are lovely people. And we are not opposed to an addition. It is just the magnitude of the addition and the total invasion of our privacy that we object to.

If at all possible we would like to encourage the ARB to visit our home to see the actual concerns we have. I am attaching photos, but they do not do justice to our concerns.

- 1) photo from our dining table - JPEG 2032
- 2) photo from our kitchen window - JPEG 2035
- 3) photo from our hot tub - JPEG 2037
- 4) photo from our patio - JPEG 2038

Thank you for your consideration.

David and Tina Deyerle
606 19th St
(831)595-5168 cell
(831)375-1690 home

4 attachments

IMG_2032.JPG
5101K



IMG_2035.JPG
5242K

PUBLIC COMMENT FROM DAVID & TINA DEYERLE, 610 19TH ST.



IMG_2037.JPG
6330K



IMG_2038.JPG
7296K

**PUBLIC COMMENT FROM DAVID & TINA DEYERLE, 610 19TH ST.**

Wendy Lao <wlao@cityofpacificgrove.org>

610 19th St

1 message

TINA DEYERLE <tinadeyerle@sbcglobal.net>

Thu, Feb 2, 2017 at 7:59 AM

Reply-To: TINA DEYERLE <tinadeyerle@hotmail.com>

To: "wlao@cityofpacificgrove.org" <wlao@cityofpacificgrove.org>, "ricksteres@hotmail.com" <ricksteres@hotmail.com>, Deyerle David <pgdaviddeyerle1@sbcglobal.net>

To Whom it May Concern:

We have no objection to a reasonable addition. In looking further at the proposed structure, we could see that the addition would be acceptable if the roof line was lowered to the same level as the proposed "laundry room" level throughout and then removing the additional "laundry room" that is 11 feet from our hot tub with a window overlooking.

Thank you for your consideration.

David and Tina Deyerle

**PUBLIC COMMENT FROM DAVID & TINA DEYERLE, 610 19TH ST.**

Wendy Lao <wlao@cityofpacificgrove.org>

610 19th St

1 message

TINA DEYERLE <tinadeyerle@sbcglobal.net>
Reply-To: TINA DEYERLE <tinadeyerle@hotmail.com>
To: "wlao@cityofpacificgrove.org" <wlao@cityofpacificgrove.org>

Fri, Feb 3, 2017 at 4:58 PM

To Whom it May Concern:

The more we think about this project the more concerned we become. Because of the blocking of sun created by the expansive nature of this project, we are concerned that our home will be victim to mold. We have a handicapped daughter that is asthmatic and will most definitely be affected by that if it were to occur.

Thank you for your consideration.

David and Tina Deyerle

**PUBLIC COMMENT FROM JAMES THORSEN, 614 19TH ST**

Wendy Lao <wlao@cityofpacificgrove.org>

610 19th Street addition

James Thorsen <jthorsen61@gmail.com>
To: wlao@cityofpacificgrove.org

Tue, Feb 7, 2017 at 11:16 AM

Hello Ms Lao,

I own the property at 614 19th Street, next door to the South of the Bertolucci's property at 610 19th St.

I would like to note my opposition to the addition they would like to construct. It is massive and would have negative consequences to both their neighbors. Not only is it massive, but it is needlessly massive in that the large unfinished attic enclosed in that huge roof is empty and serves only to block the light of their neighbor to the North and to loom menacingly over my property to the South.

I have talked to Mario, the applicant, and he sent me a long explanation and justification for the addition as planned. I am not persuaded. I have attached my reply to him for you to include in my letter of opposition.

Please note that none of the changes that I propose in my letter to Mario would reduce the square footage he is requesting.

James Thorsen

 **619 reply to Mario.pdf**
25K

PUBLIC COMMENT FROM JAMES THORSEN, 614 19TH ST

Dear Mario,

Thank you for sending the renderings of your blueprints and your thoughts on your proposed addition. As you know, I learned of this project late in the process when my tenants at 614 called me up and asked if I had seen the netting. I met with Bill and he explained his concerns, and they are substantially the same as mine, which is that the house is needlessly massive and intrusive. Soon after that, I was telephoned by your other neighbor who has similar concerns plus the additional one of losing most of his sunshine except during the height of the summer.

No one is denying your need for more space in which to raise your family, and I am confident that as reasonable people we can all work together to come up with something that not only accommodates your wishes but also ameliorates the impact on both your neighbors.

The neighbors on both sides are apprehensive about the height and mass of the addition and for good reason. From either side of your property their privacy would be severely compromised by the new looming presence. Would you have any objections to trying to ease these concerns?

Start with small things: the original house has a crawl space of approximately 12 to 16 inches (sheet A4). Why not put the addition on a slab on grade? This would lower everything by about a foot, pulling the windows lower to the fence height and provide more privacy to both neighbors.

Then move on to bigger things: the ridge of the addition's roof extends the same height as the ridge of the existing house. A small part of that ridge serves the upstairs addition (the "expanded attic" Sheet A2) but then it extends the remaining length of the addition, about 34 ½ feet (sheet A1) and encloses nothing but a huge unfinished attic. Why not lower that 34 ½ foot portion of roof to reduce the visual impact on both sides and to let in more light for your northern neighbor? In addition, the Proposed South elevation (sheet A4) shows a new dormer in the middle of that side that pokes needlessly up and looms over Bill and Kristen's kitchen and laundry room. According to your plan there is nothing inside that dormer on the second floor, so why not get rid of it? You will lose nothing and, coupled with the lowering of the addition to grade and the lowering of the addition's roofline with concomitant reduction in the roof pitch will effectively pull the visual impact of the new roof away from them.

These are just a couple of things that jumped out at me from a quick read of your architect's plans. I'm sure that there are more tweaks that would benefit everyone and not take away from the square footage you need for your family.

Sincerely,

James Thorsen

TRACY AND RAYN TRAVAILLE, 609 19TH ST

On Fri, Feb 3, 2017 at 7:28 AM, Tracy Travaille <tracytravaille@gmail.com> wrote:

Hi Laurel,

Please find the attached support letter for my friend, Michaila, on her remodel project. My grandma lives right across the street from their house, so I'm extremely familiar with the neighborhood and their proposed project as a whole. My grandma was going to write a letter, but at nearly 89, her memory is slipping and it was a bit of a challenge to explain it all to her. ☺ I was also a bit worried about the neighbors who are contesting it confronting her (she has Addison's as well so the stress of that would be horrible for her health.)

So, I'm writing one as someone who has gone through the process, and actively works with buyers in our sweet town.

Hope you are doing well!

~Tracy

Tracy Travaille
Licensed Broker, CalBRE 01710051
Travaille Transactions Inc.
[831.521.6999](tel:831.521.6999) p
[888.678.9838](tel:888.678.9838) f

505 Lighthouse Ave, Suite 204, Pacific Grove
www.travailletransactions.com

TRACY AND RAYN TRAVAILLE, 609 19TH ST

To: Architectural Review Board, City of Pacific Grove
From: Ryan and Tracy Travaille
RE: Renovation on 610 19th, Pacific Grove
Date: January 31, 2017

Hi Laurel and ARB Panel!

Please include this letter in the ARB package showing our support for the projected remodel of the Bertolucci residence located on 19th Street. Having gone through this process ourselves, Ryan and I are keenly aware of the ins and outs of renovating within the city. We've seen firsthand how wonderful the Planning Department and ARB were to work with and how the involvement of neighbors can easily sway an otherwise simple project.

Having known Michaila for quite some time, with our children attending the Rec Center Preschool together several years ago, we have been discussing our remodel experience with them at length as they navigate this process. As we reviewed the plans and asked questions, we were informed that they are asking for no variances to the existing city guidelines as set forth by the Planning Department. In addition, when they were made aware of their neighbors concerns, they conceded on a window placement to a height of 5' 10" and made it frosted glass so as to appease their neighbors and alleviate any potential "privacy" issues.

As you know, we have very strong feelings on the abilities of neighbors to involve themselves in the planning process of any home, particularly when all of the existing guidelines are met and no special circumstances are being asked. After reviewing Michaila's plans, the home remodel is tasteful, not a "McMansion" and fits into the city in a way that will look like it has always been there. Additionally, their addition is simply being done to allow their young family the room it needs to grow.

No homeowner should be allowed an entitlement of privacy when a proposed building plan is within the city's guidelines. This is the reason the city has guidelines in the first place. Privacy is a two way street and the next door neighbors should be encouraged to plant shrubs, trees, screens, etc as a way of maximizing their comfort levels in the same way that our neighbor was advised to.

You can see from the story boards that they installed that the remodel is no larger than the massive oak tree in their backyard, so will not affect the neighbor's current sunshine. (The same point was successfully argued in our ARB meeting against our neighbor's complaints as well.) Additionally, they are not modifying the front of the house and are preserving the historical characteristics of the current property. Looking at their street, there are several two story homes; the Bertolucci's aren't building a two story but simply increasing the existing one story home.

TRACY AND RAYN TRAVAILLE, 609 19TH ST



We need to make more young families feel confident and comfortable in renovating their homes in our quaint town, as opposed to making the process challenging, stressful and difficult. The negative relations this creates amongst neighbors is unfortunate and, as in our situation, inhibits a lifelong feeling of hostility towards each other.

With warm regards,

Tracy and Ryan Travaille
tracytravaille@gmail.com

rtravaille@gmail.com

LINDA PAGNELLA, 615 19TH ST

January 31, 2017

City of Pacific Grove
300 Forest Avenue
Pacific Grove, CA 93950

Dear ARB & Planning Commission,

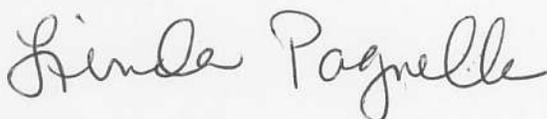
I am writing to support our neighbors, Mario & Michaila Berttolucci and their pending building project.

The Berttoluccis are a beautiful family that have been living in a very small house for some time now. They have done a wonderful job with the plans and I think their addition will enhance the neighborhood and the city. They are not "building-out" their lot. They are being very careful not to harm the large beautiful Oak Tree in the back yard.

We need families like this in Pacific Grove. While some feel it a right to have a quiet neighborhood, I miss the sound of young happy voices on my block. Please support this family in their effort to stay and make Pacific Grove their forever home.

Thank you for your attention.

Sincerely,

A handwritten signature in cursive script that reads "Linda Pagnella". The ink is dark and the signature is fluid and legible.

Linda Pagnella
615 19th Street
Pacific Grove
831-595-0352

JULIE AND STEVE MCCULLOUGH, 863 LIGHTHOUSE AVE

To: Architectural Review Board, City of Pacific Grove
From: Steve and Julie McCullough
RE: Renovation on 610 19th, Pacific Grove
Date: February 3, 2017

We are writing in support of the renovation of 610 19th St .

We are quite close to the Bertolucci family as our children attend the same elementary school and we participate in other daily non-school activities. They are very involved in the local schools and community as well as acting as sports coaches for our children.

The Bertoluccis are not newcomers to Pacific Grove as Mario grew up in the area. They are not city folk trying to change their historic home to something inappropriate for Pacific Grove or create something distasteful to the neighborhood. They love their home and their neighborhood but just need to make the house more useable for their basic family needs. As we know, many homes are very small in Pacific Grove but the Bertoluccis would like to create a more functional home by creating small, separate bedrooms for their daughters, a place to do laundry in their home, and to shower without having to duck.

The Bertoluccis have gone out of their way to include their neighbors in their planning ideas and have already made concessions to the remodel to try to please the requests of neighbors' privacy, ie, increasing the height of the location of the windows that face the neighbors as well as making the glass opaque for complete privacy.

The remodel the Bertoluccis have planned is more cost effective than moving to a larger home. We would be deeply saddened to lose this family from our Pacific Grove community if they were unable to add the space needed for their family and have to find a home outside of PG that they could afford.

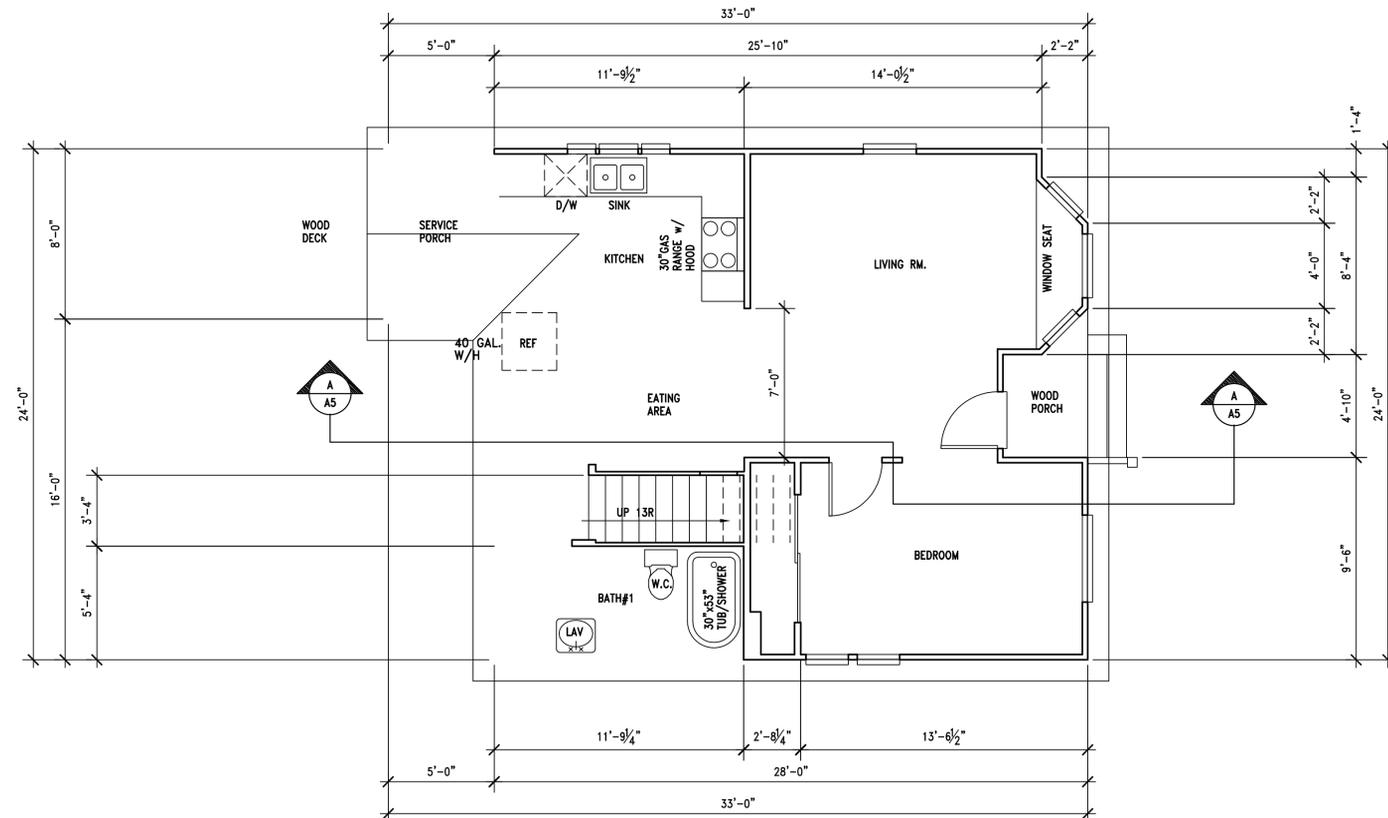
One never knows who would replace this family and what their future plans could be to this well loved historic home.

Thank you,

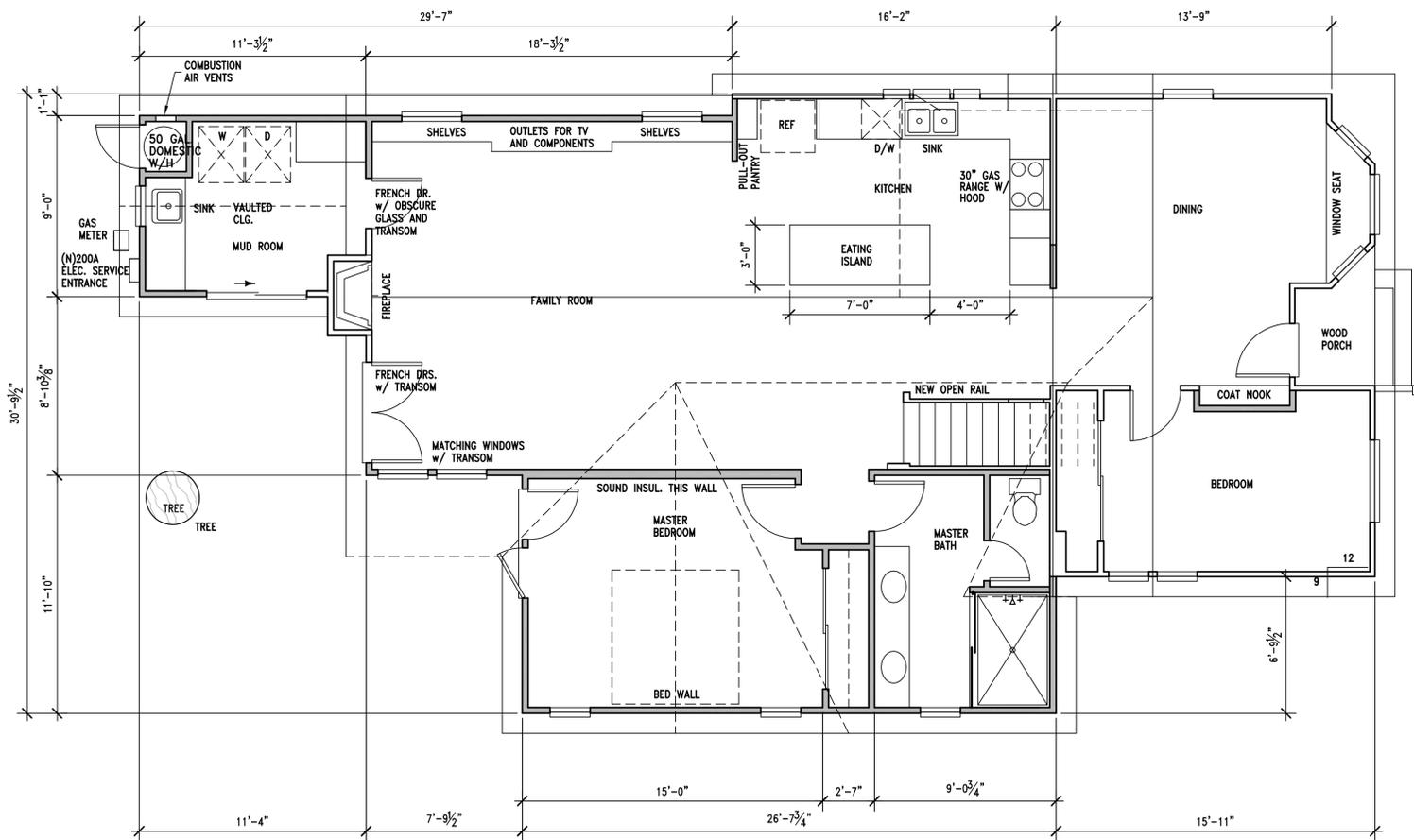
Julie and Steve McCullough

pacgrovecottage@aol.com

831-333-0336



Existing 1st Floor Plan



Proposed 1st Floor Plan



NOTES:

TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FT. FROM PROPERTY LINES AND ALL OPENINGS INTO THE BUILDING (DRYER VENTS, BATH AND UTILITY FANS MUST BE 3 FT. FROM DOORS, WINDOWS, OPERABLE SKYLIGHTS AND ATTIC VENTS).

EMERGENCY EGRESS WINDOWS:

MINIMUM NET CLEAR OPENABLE DIMENSION OF 24" IN HEIGHT.
MINIMUM NET CLEAR OPENABLE DIMENSION OF 20" IN WIDTH.
MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ.FT.
MAXIMUM SILL HEIGHT OF 44" ABOVE FLOOR.

ALL GLAZING SHALL HAVE A TEMPORARY LABEL THAT SHALL NOT BE REMOVED. LABEL SHALL SHOW SHGC, U-FACTOR, AIR LEAKAGE, AND VISIBLE TRANSMITTANCE.

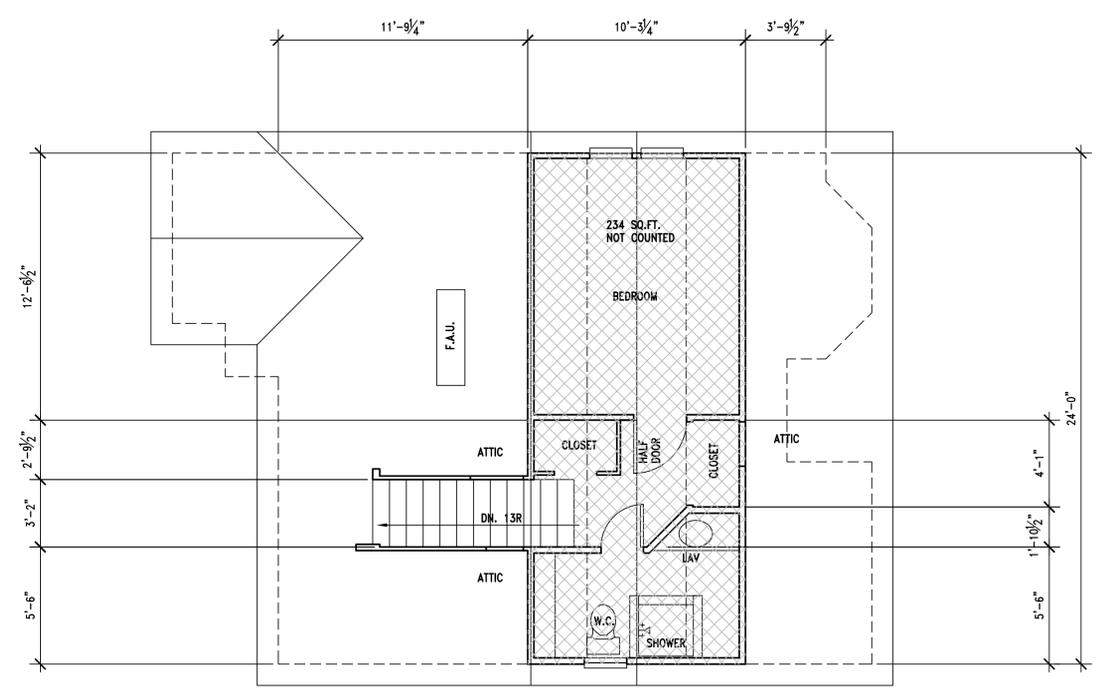
REVISIONS	BY

Rick Steres Architect
 Phone & Fax: 831-646-1131
 230 Founthin Avenue Suite 6, Pacific Grove, CA, 93950
 Email: ricksteres@hotmail.com
 Web Site: ricksteresarchitect.com

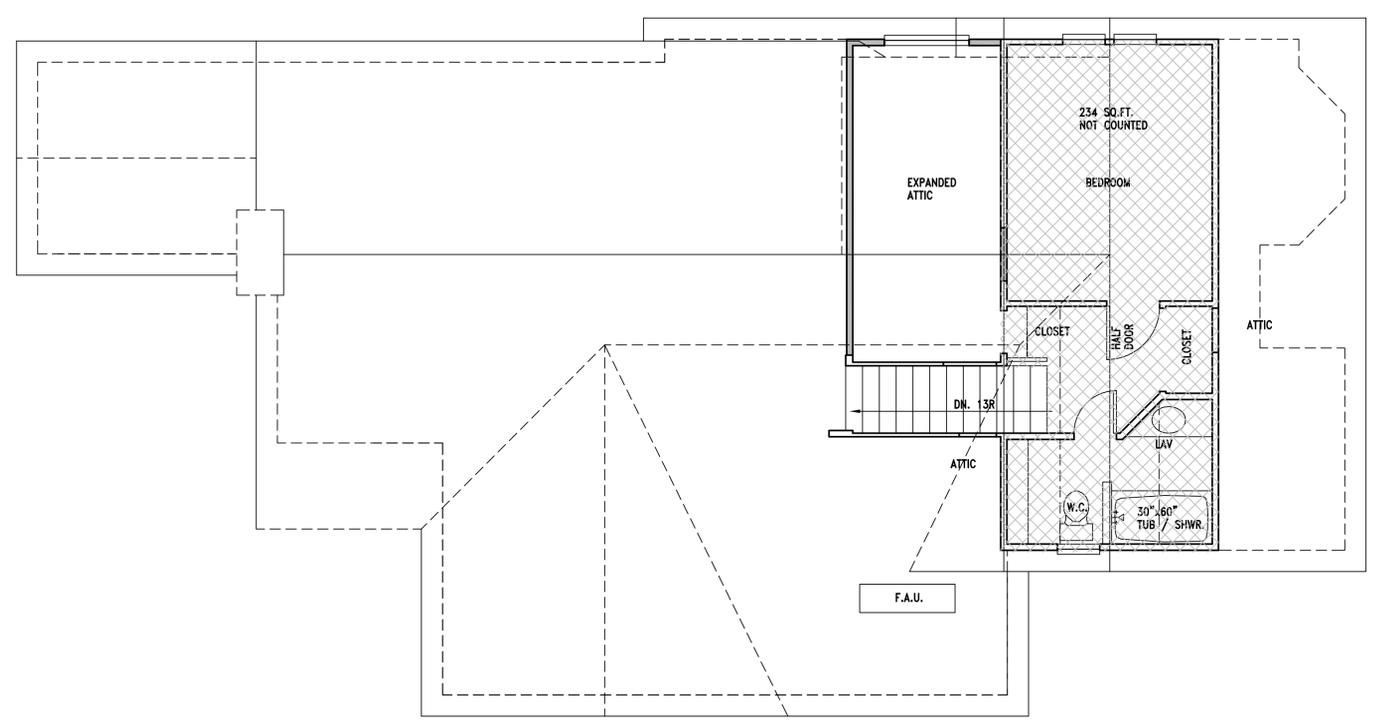
ARCHITECT VINNORITY
 C 14191
 RICHARD B. STERES
 APR. 20. 2019
 STATE OF CALIFORNIA

First Floor Plan
 ADDITION AND REMODEL
Bertolucci Residence
 610 19TH STREET
 PACIFIC GROVE CA 93950

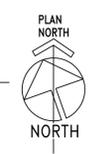
DATE	AUGUST 2016
SCALE	1/4"=1'-0"
JOB NUMBER	1601
SHEET	A1
OF 18 SHEETS	



Existing 2nd Floor Plan



Proposed 2nd Floor Plan



NOTES:

TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FT. FROM PROPERTY LINES AND ALL OPENINGS INTO THE BUILDING (DRYER VENTS, BATH AND UTILITY FANS MUST BE 3 FT. FROM DOORS, WINDOWS, OPERABLE SKYLIGHTS AND ATTIC VENTS).

EMERGENCY EGRESS WINDOWS:

MINIMUM NET CLEAR OPENABLE DIMENSION OF 24" IN HEIGHT.
 MINIMUM NET CLEAR OPENABLE DIMENSION OF 20" IN WIDTH.
 MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ.FT.
 MAXIMUM SILL HEIGHT OF 44" ABOVE FLOOR.

ALL GLAZING SHALL HAVE A TEMPORARY LABEL THAT SHALL NOT BE REMOVED. LABEL SHALL SHOW SHGC, U-FACTOR, AIR LEAKAGE, AND VISIBLE TRANSMITTANCE.

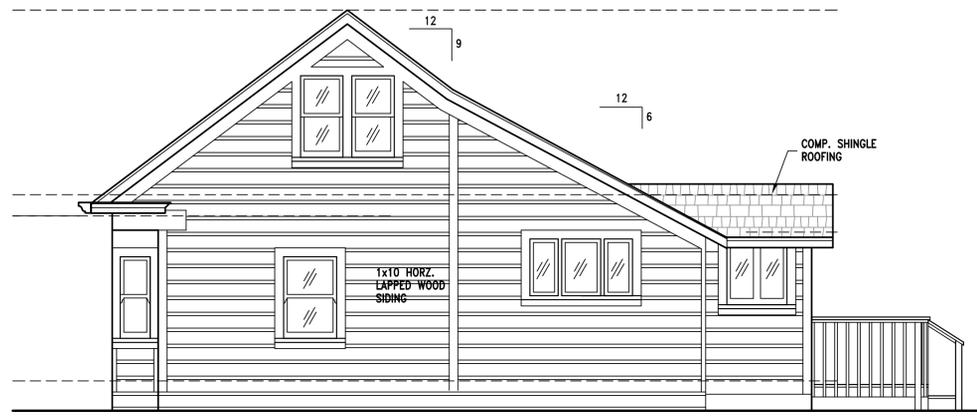
REVISIONS	BY

Rick Steres Architect
 Phone & Fax: 831-646-1131
 230 Founthin Avenue Suite 6, Pacific Grove, CA, 93950
 Email: ricksteres@hotmail.com
 Web Site: ricksteresarchitect.com

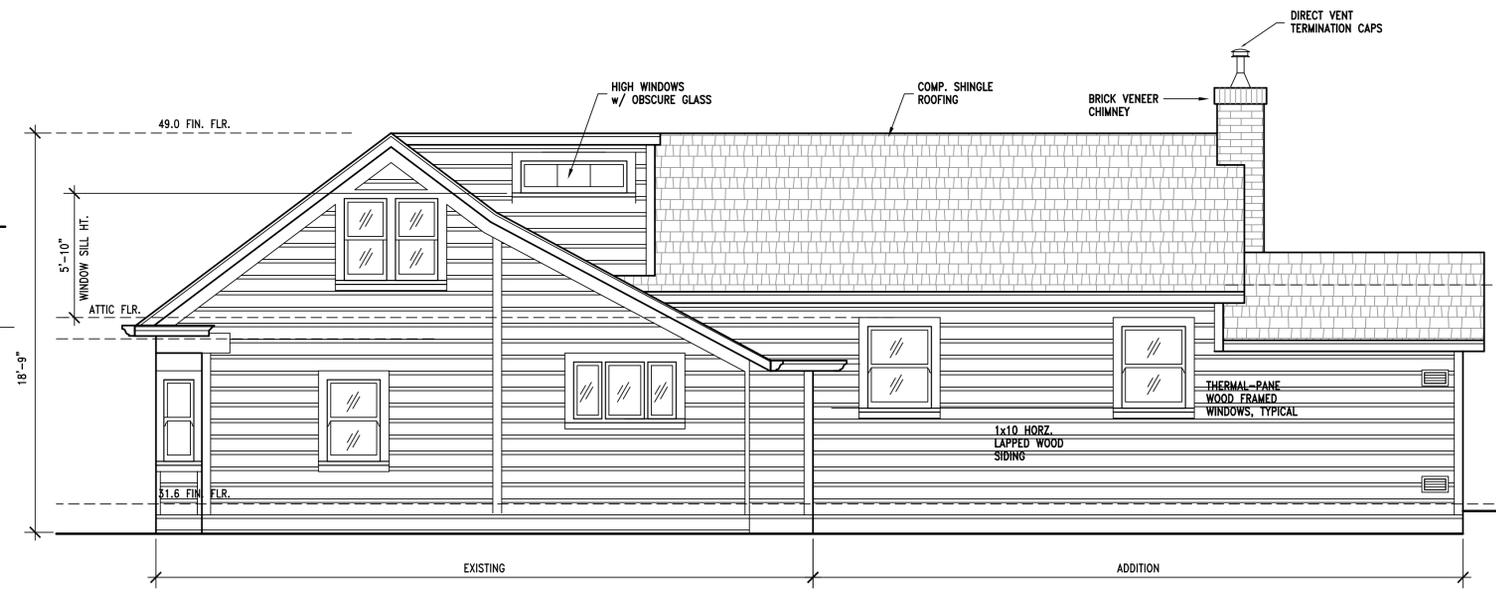
ARCHITECT VINMONTA
 C 14191
 RICHARD B. STERES
 APR. 20. 2019
 STATE OF CALIFORNIA

Second Floor Plan
 ADDITION AND REMODEL
Bertolucci Residence
 610 19TH STREET PACIFIC GROVE CA 93950

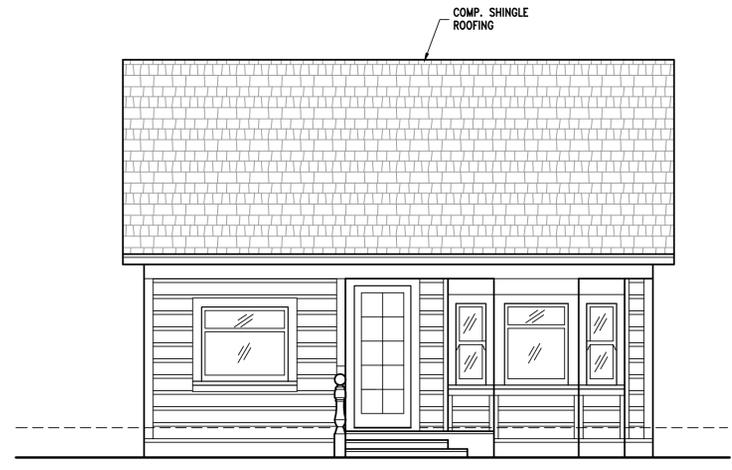
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SCALE	1/4"=1'-0"
JOB NUMBER	1601
SHEET	A2
OF 28 SHEETS	



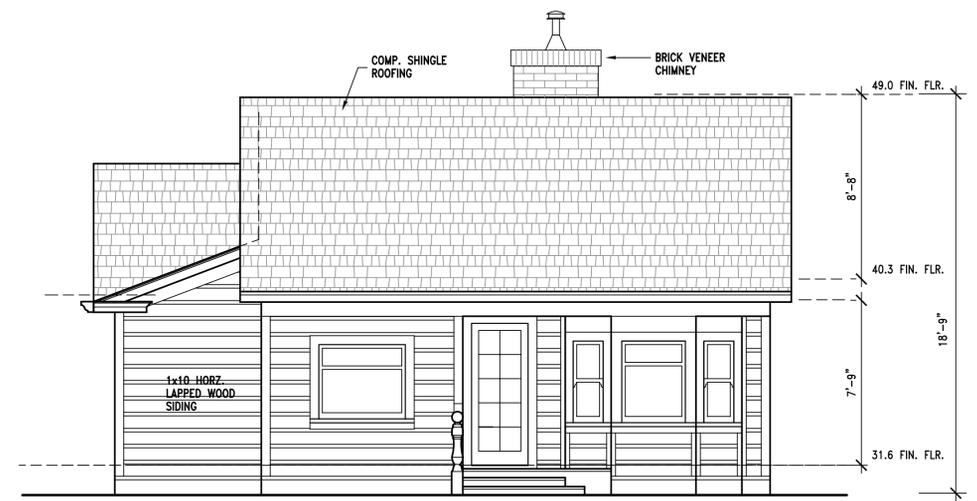
Existing North (right side)



Proposed North (right side)



Existing East (front)



Proposed East (front)

REVISIONS	BY
01/30/2017	

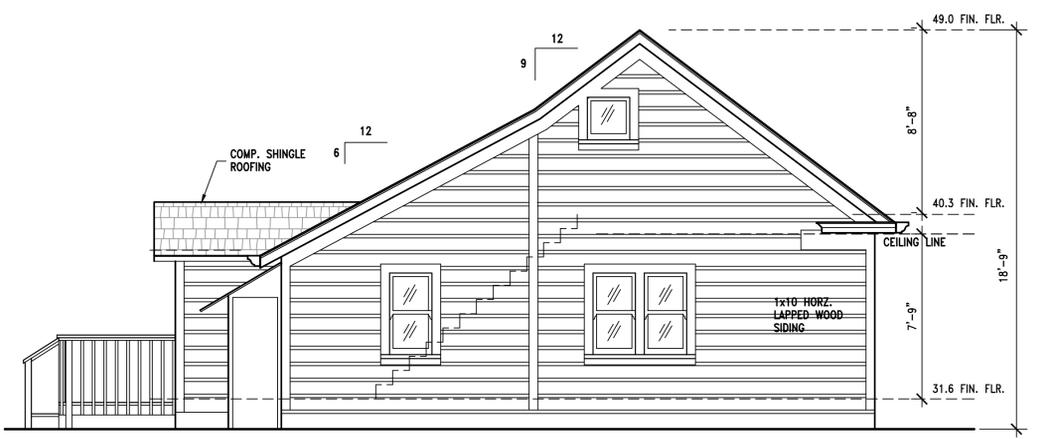
Rick Steres Architect
 Phone & Fax: 831-646-1131
 230 Fountain Avenue Suite 6, Pacific Grove, CA 93950
 Email: ricksteres@hotmail.com
 Web Site: ricksteresarchitect.com

ARCHITECT VINCENTIA
 C 14191
 RICHARD B. STERES
 APR 30, 2019
 STATE OF CALIFORNIA

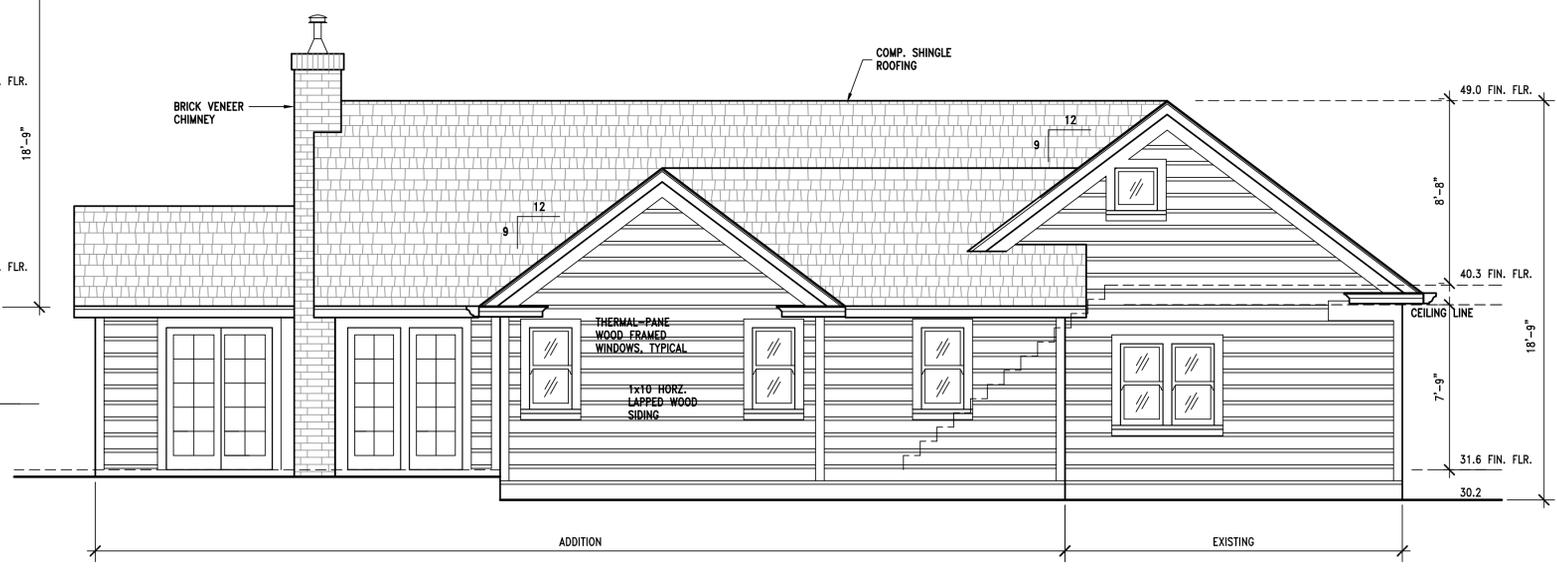
North & East Elevations
 ADDITION AND REMODEL
Bertolucci Residence
 610 19TH STREET PACIFIC GROVE CA 93950

DATE	NOVEMBER 18, 2016
SCALE	1/4"=1'-0"
JOB NUMBER	1601
SHEET	A3
OF 28 SHEETS	

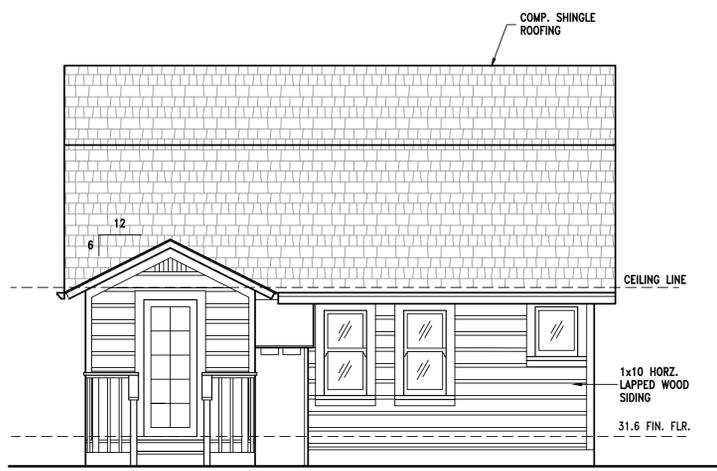
REVISIONS	BY



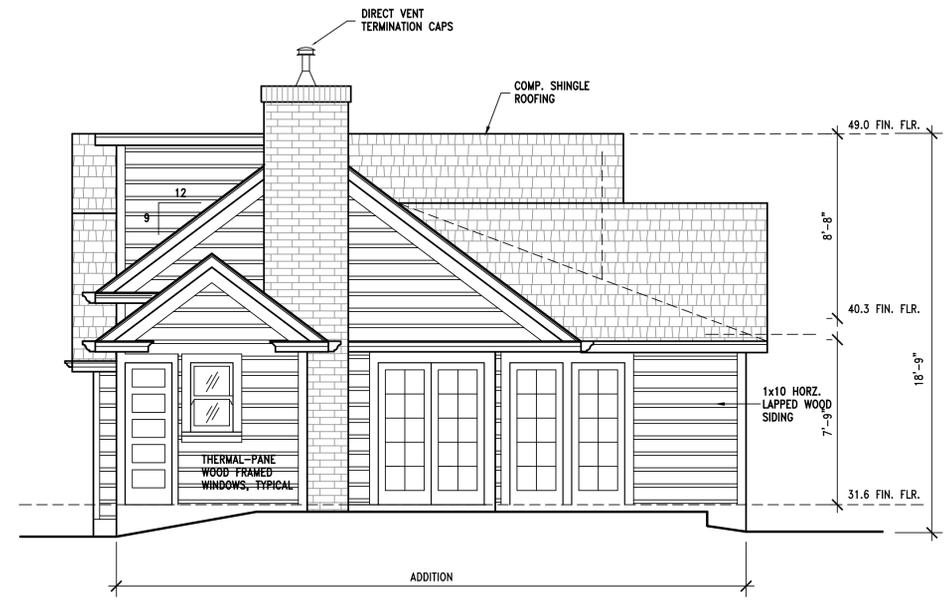
Existing South (left side)



Proposed South (left side)



Existing West (rear)



Proposed West (rear)

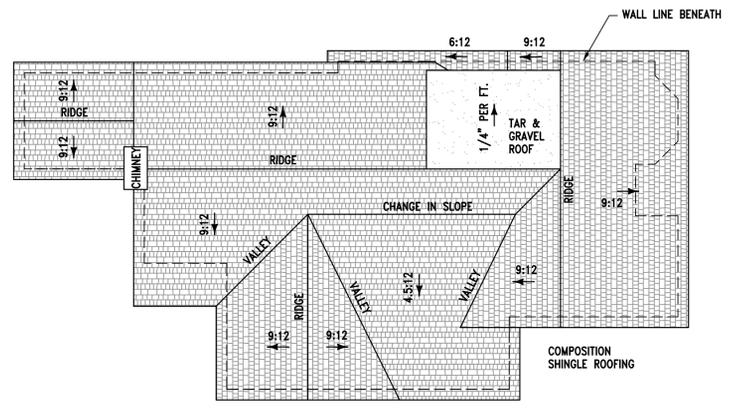
Rick Steres Architect
 Phone & Fax: 831-646-1131
 230 Fountain Avenue Suite 6, Pacific Grove, CA 93950
 Email: ricksteres@hotmail.com
 Web Site: ricksteresarchitect.com



South & West Elevations
 ADDITION AND REMODEL
Bertolucci Residence
 610 19TH STREET PACIFIC GROVE CA 93950

DATE: NOVEMBER 18, 2016
 SCALE: 1/4"=1'-0"
 JOB NUMBER: 1601
 SHEET

A4
 OF 28 SHEETS



Proposed Roof Plan

1/8"=1'-0"



Window Schedule

WINDOW NUMBER	WINDOW TYPE	NOMINAL SIZE (WIDTH x HT.)	FRAME TYPE	DIVIDED LIGHTS	HEAD	JAMB	JAMB	SILL	REMARKS	GLASS
1	A	30" x 60"	CLAD WOOD	2W 4H	1 A	1 A	1 A	1 A	CSMT.	TEMPERED LOW "E"
2										
3										
4										
5										
6										
7										
8										
9										
10										
11										
12										
13										
14										
15										

Window Types

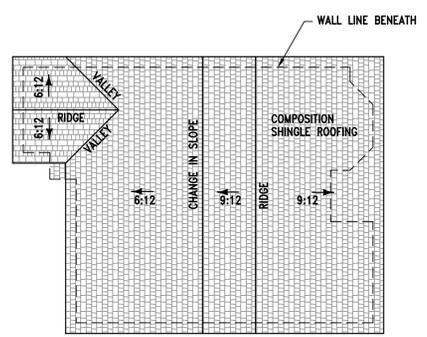
A B C D E F

Door Schedule

DOOR NUMBER	DOOR TYPE	OPENING SIZE (WIDTH x HT.)	THICKNESS	UNDERCUT	FRAME TYPE	FIRE RATING	HARDWARE GROUP	HEAD	JAMB	JAMB	THRESHOLD	REMARKS
1	A	36" x 80"	1-3/4"		WD.			1 A	1 A	1 A	1 A	
2												
3												
4												
5												
6												
7												
8												
9												
10												
11												
12												
13												
14												
15												

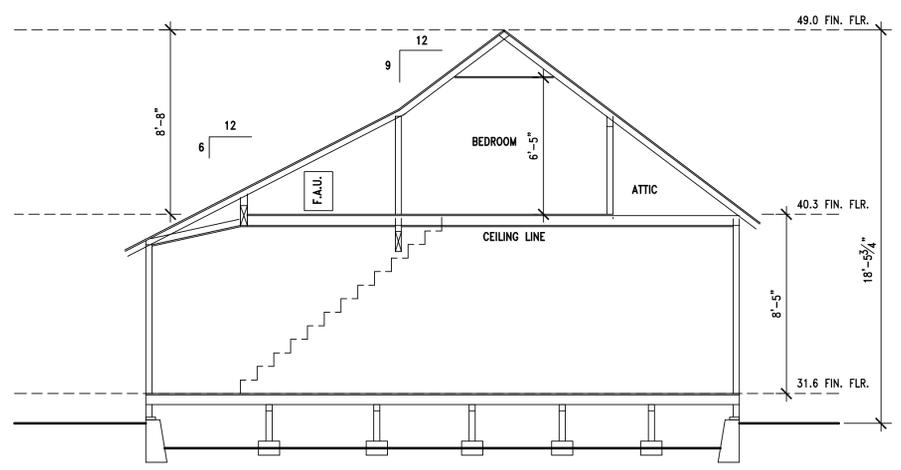
Door Types

A B C D E



Existing Roof Plan

1/8"=1'-0"



A Building Section

1/4"=1'-0"

REVISIONS	BY

Rick Steres Architect
 Phone & Fax: 831-646-1131
 230 Fountain Avenue Suite 6, Pacific Grove, CA, 93950
 Email: ricksteres@hotmail.com
 Web Site: ricksteresarchitect.com

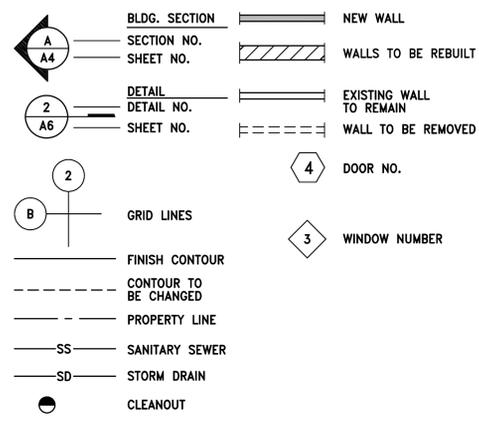
Schedules, Bldg. Sections, Roof & Clg. Plans
Bertolucci Residence
 ADDITION AND REMODEL
 610 19TH STREET PACIFIC GROVE CA 93950

DATE	NOVEMBER 18, 2016
SCALE	
JOB NUMBER	1601
SHEET	A5
OF 28 SHEETS	

Abbreviations

▲	AND	JAN.	JANITOR
∠	ANGLE	J.H.	JOIST HANGER
⊙	AT	KIT.	KITCHEN
A.B.	ANCHOR BOLT	LAM.	LAMINATE
A.C.	ASPHALT CONCRETE	LAV.	LAVATORY
AC.	ACRE	LT.	LIGHT
ACOUS	ACOUSTICAL	M.B.	MACHINE BOLT
A/C	AIR CONDITIONING	MAX.	MAXIMUM
ADJ.	ADJUSTABLE	MIN.	MINIMUM
AGG.	AGGREGATE	MECH.	MECHANICAL
ALUM.	ALUMINUM	MFL.	METAL MANUFACTURER
ALT.	ALTERNATE	M.H.	MAN HOLE
ANOD.	ANODIZED	MISC.	MISCELLANEOUS
APPROX.	APPROXIMATELY	MATR.	MATERIAL
APT.	APARTMENT	MEMR.	MEMBRANE
ARCH.	ARCHITECT	MEZZ.	MEZZANINE
ASPH.	ASPHALT		
AVE.	AVENUE		
BD.	BOARD		
BLDG.	BUILDING		
BLK.	BLOCK		
BL'G	BLOCKING		
BM.	BEAM		
BOT.	BOTTOM		
BTUH	BRITISH THERMAL UNITS per HOUR		
BTWN.	BETWEEN		
CAB.	CABINET		
C.B.	CATCH BASIN		
CEM.	CEMENT		
CER.	CERAMIC		
CFM	CUBIC FEET per MINUTE		
CL.	CENTER LINE		
CLG.	CEILING		
CLD.	CLOSET		
CLR.	CLEAR		
C.O.	CLEAN OUT		
COL.	COLUMN		
COMP.	COMPOSITION/COMPACT		
CONC.	CONCRETE		
CONN.	CONNECTION		
CONT.	CONTINUOUS		
CONTR.	CONTRACTOR		
CTR.	CENTER		
CTSK.	COUNTER-SINK		
C.W.	COLD WATER		
D	DRYER		
d.	DOUBLE		
DBL.	DOUBLE		
DEG.	DEGREE		
DET.	DETAIL		
DEPT.	DEPARTMENT		
D.F.	DOUGLAS FIR		
DIAG.	DIAGONAL		
DIA.	DIAMETER		
DIM.	DIMENSION		
DISP.	DISPENSER		
DN.	DOWN		
DR.	DOOR		
D.S.	DOWNSPOUT		
DWG.	DRAWING		
D/W	DISHWASHER		
DWR.	DRAWER		
<E>	EXISTING		
EA.	EACH		
E.F.	EXHAUST FAN		
E.J.	EXPANSION JOINT		
ELEV.	ELEVATION		
ELEC.	ELECTRICAL		
E.N.	EDGE NAILING		
ENCL.	ENCLOSURE		
EQ.	EQUAL		
EQUIP.	EQUIPMENT		
EXH.	EXHAUST		
EXP.	EXPANSION		
EXT.	EXTERIOR		
F.D.	FLOOR DRAIN		
F.O.C.	FACE OF CONCRETE		
F.O.M.	FACE OF MASONRY		
F.O.S.	FACE OF STUD		
FIG.	FIGURE		
FIN.	FINISH		
FLR.	FLOOR		
FLUOR.	FLUORESCENT		
FRM.	FRAMING		
FT.	FOOT/FEET		
FTG.	FOOTING		
FURN.	FURNACE/FURNITURE		
GA.	GAUGE		
GALV.	GALVANIZED		
G.C.O.	GRADE CLEAN OUT		
G.I.	GALVANIZED IRON		
GL.	GLASS		
GLB	GLU-LAM BEAM		
GRD.	GRADE		
GRP.	GROUP		
GRP. BD.	GYPSPUM BOARD		
H.B.	HOSE BIB		
H/C	HANDICAPPED		
HC	HOLLOW CORE		
HDR.	HEADER		
HDWD.	HARDWOOD		
HWY.	HARDWARE		
H.M.	HOLLOW METAL		
HORZ.	HORIZONTAL		
HR.	HOUR		
HT.	HEAT		
HTR.	HEATER		
H.V.A.C.	HEATING, VENTILATION & AIR CONDITION		
H.W.	HOT WATER		
I.D.	INSIDE DIAMETER		
INCAND.	INCANDESCENT		
INCL.	INCLUDING		
INSUL.	INSULATION		
INT.	INTERIOR		

Symbols



Directory

OWNERS: MARIO & MICHAELA BERTOLUCCI
610 19TH STREET
PACIFIC GROVE CA 93950
(831) 236-2961

ARCHITECT: RICK STERES
230 FOUNTAIN AVE. SUITE 6
PACIFIC GROVE CA 93950
(831) 646-1131

ENERGY CONSULTANT: DAVID KNIGHT
MONTEREY ENERGY GROUP
26465 Carmel Rancho Blvd. #8
Carmel, CA 93923
(831) 372-8328

LAND SURVEYOR: LUCIDO SURVEYORS
245 FOAM STREET
MONTEREY, CA 93940
(831) 620-9032

SPECIAL INSPECTION: MOORE TWINING ASSOC.
501 ORTIZ AVE.
SAND CITY, CA 93955
(831) 392-1056

HISTORICAL CONSULTANT: KENT SEAVEY
310 LIGHTHOUSE AVENUE
PACIFIC GROVE, CA 93950
(831) 375-8739

URBAN FORESTER: FRANK ONO
1213 MILES AVENUE
PACIFIC GROVE, CA 93950
(831) 373-7086

GEOTECHNICAL ENGINEER:

General Notes

PROJECT SHALL COMPLY WITH THE FOLLOWING REFERENCE CODES:
2016 CALIFORNIA HISTORICAL BUILDING CODE
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE
2016 CALIFORNIA FIRE CODE

WATER AND GAS LINE SIZING DIAGRAMS SHALL BE SUBMITTED TO THE BLDG. DEPT. PRIOR TO ROUGH PLUMBING INSPECTION.

THE SIZE OF EACH SECTION AND EACH OUTLET OF ANY SYSTEM OF GAS PIPING SHALL BE IN ACCORDANCE WITH CPC APPENDIX B CHAPTER 13.

THE SIZE OF EACH WATER METER, POTABLE WATER SUPPLY PIPE, OR OTHER SOURCE OF SUPPLY BRANCHES, RISERS, FIXTURES, CONNECTIONS, OUTLETS OR OTHER USES SHALL BE BASED ON THE TOTAL DEMAND AND SHALL BE IN ACCORDANCE WITH CPC SECT. 610.8.

ALL MANUFACTURERS' INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.

VISUAL INSPECTION OF SOIL CONDITIONS

EXISTING FOUNDATION SYSTEM: THIS IS A 1-STORY HOUSE WITH HABITABLE ATTIC, RAISED FLOOR AND CONC. FOUNDATION BUILT IN 1911, INSPECTED BY ARCHITECT AND FOUND TO BE IN GOOD CONDITION WITH MINIMAL SETTLING.

PROPOSED FOUNDATION: RAISED CONC. FOUNDATION (SIMILAR TO EXISTING) AND USING MINIMUM SOIL BEARING PRESSURE FOR TYPE OF SOIL PER CBC TABLE 1804.2

ARCHITECT SHALL INSPECT FOUNDATION EXCAVATION AND SHALL SUBMIT A LETTER TO THE BUILDING DEPARTMENT CERTIFYING THAT FOOTINGS WILL BEAR ON UNDISTURBED ORIGINAL SOIL.



Vicinity Map

Project Data:

SCOPE OF WORK:

DEMOLISH 85 SQ.FT. EXISTING LIVING AREA AND 41 SQ.FT. WOOD DECK
REMODEL 343 SQ.FT. OF THE EXISTING LIVING AREA
ADD 805 SQ.FT. NEW LIVING AREA

A.P.N.	006-554-004
RECORDED MAP REFERENCE	LOT 12, BLK.173, 5th ADDN.
ZONE	R-1
LOT SIZE	5,200 SQ.FT.
OCCUPANCY TYPE	R-3 / U
CONSTRUCTION TYPE	VB
EXISTING FLOOR AREA:	
FIRST FLOOR	691 S.F.
SECOND FLOOR	234 S.F.
DETACHED GARAGE & PLAY RM.	571 S.F.
NEW FLOOR AREA:	
FIRST FLOOR	718 S.F.
SECOND FLOOR	108 S.F.
TOTAL LIVING AREA:	1,751 S.F.
TOTAL GARAGE & PLAY AREA:	571 S.F.

Sheet Index

SHEET NO.	DESCRIPTION
C0	ARCHITECTURAL
C1	COVER SHEET
C2	SITE PLANS, EXISTING & PROPOSED
C3	EROSION CONTROL PLAN
C4	GRADING SPECIFICATIONS
	SITE STORMWATER BEST MANAGEMENT PRACTICES
A1	1st FLOOR PLANS, EXISTING & PROPOSED
A2	2nd FLOOR PLANS, EXISTING & PROPOSED
A3	EXTERIOR ELEVATIONS N & E
A4	EXTERIOR ELEVATIONS S & W
A5	ROOF PLANS, DOOR & WINDOW SCHED.
A6	BUILDING SECTIONS
A7	ARCHITECTURAL DETAILS
A8	ARCHITECTURAL DETAILS
	STRUCTURAL
S1	STRUCTURAL SPECIFICATIONS
S2	STANDARD STRUCTURAL DETAILS
S3	STANDARD STRUCTURAL DETAILS
S4	FOUNDATION AND FIRST FLOOR FRAMING PLAN
S5	SECOND FLOOR FRAMING PLAN
S6	ROOF FRAMING PLAN
S7	STRUCTURAL FAILS
S8	STRUCTURAL DETAILS
	ELECTRICAL
E1	FIRST FLOOR ELECTRICAL PLAN
E2	SECOND FLOOR ELECTRICAL PLAN
E3	ELECTRICAL NOTES
	SPECIFICATIONS
SP1	SPECIFICATIONS
SP2	SPECIFICATIONS
T1	TITLE 24 ENERGY CONSERVATION DOCUMENTATION
T2	TITLE 24 ENERGY CONSERVATION DOCUMENTATION

PROJECT DATA SHEET

Project Address: 610 19th Street
Applicant(s): Rick Steres

Submittal Date: 1-16-2017
Permit Type(s) & No(s):

Zone District	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Building Site Area		5,200 sq.ft		
Density (multi-family projects only)				
Building Coverage	40%	24.3%	38.07%	
Site Coverage	60%	40.98%	45.04%	
Gross Floor Area	2,614	1262	2088	
Square Footage not counted towards Gross Floor Area		234	234	6'-5" CLG. HT.
Impervious Surface Area Created and/or Replaced		869	362	
Exterior Lateral Wall Length to be demolished in feet & % of total*		119.5 L.F.	45.75' 38.3%	
Exterior Lateral Wall Length to be built			115 L.F.	
Building Height	25'	18'-6"	18'-6"	
Number of stories	2	2	2	
Front Setback	15'	10'-8.5"	10'-8.5"	
North Side Setback (specify side)	4'	4'	4'	
South Side Setback (specify side)	4'	4'	4'	
Rear Setback	10'	7'-4"	7'-4"	
Garage Door Setback	20'	5'	5'	
Covered Parking Spaces	1	2	2	
Uncovered Parking Spaces	1	0	0	
Parking Space Size (Interior measurement)	9' x 20'	10.75'x20.5'	10.75'x20.5'	
Number of Driveways	1	1	1	
Driveway Width(s)	24'	16'	16'	
Back-up Distance				
Eave Projection (Into Setback)	3' maximum	12"	12"	
Distances Between Eaves & Property Lines	3' minimum	36"	36"	
Open Porch/Deck Projections	3'	4'	4'	
Architectural Feature Projections		0	0	
Number & Category of Accessory Buildings	CAT. 1	1	1	
Accessory Building Setbacks	5'	7'-4"REAR	7'-4"REAR	
Distance between Buildings	3.5'	44'-6"	15'-10"	
Accessory Building Heights	15'	12'-4"	12'-4"	
Fence Heights	6'	6'	6'	

Archeological Material

IN THE EVENT THAT UNEXPECTED TRACES OF HISTORIC OR PREHISTORIC MATERIALS OR HUMAN REMAINS, CONCENTRATIONS OF SHELL OR HEAT ALTERED ROCK OR HISTORIC TRASH PITS ARE ENCOUNTERED DURING SITE WORK, A QUALIFIED ARCHAEOLOGIST SHALL BE RETAINED FOR APPROPRIATE ARCHAEOLOGICAL MITIGATION.

STOP WORK IMMEDIATELY WITHIN 50 METERS (165 FT.) OF THE UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA - PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.

THE HEALTH AND SAFETY CODE SEC. 7050.5 REQUIRES THAT NO FURTHER DISTURBANCE OCCURS AND THAT THE COUNTY CORONER VERIFY THAT THE REMAINS ARE NOT SUBJECT TO MEDICAL JURISPRUDENCE. WITHIN 24 HOURS OF NOTIFICATION, THE CORONER CALLS THE NABC IF THE REMAINS ARE KNOWN OR THOUGHT TO BE NATIVE AMERICAN.

Tree Protection

TREES LOCATED CLOSE TO CONSTRUCTION ACTIVITY SHALL BE PROTECTED FROM DAMAGE BY FENCING THE CANOPY DRIFTLINES AND/OR CRITICAL ROOT ZONES (WHICHEVER IS GREATER) BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.

SAID PROTECTION, APPROVED BY CERTIFIED ARBORIST, SHALL BE DEMONSTRATED PRIOR TO ISSUANCE OF BUILDING PERMITS SUBJECT TO THE APPROVAL OF RMA - DIRECTOR OF PLANNING. IF THERE IS ANY POTENTIAL FOR DAMAGE, ALL WORK MUST STOP UNLESS A REPORT WITH MITIGATION MEASURES SHALL BE SUBMITTED BY A CERTIFIED ARBORIST. SHOULD ANY TREES NOT INCLUDED IN THE PERMIT BE HARMED TO AN EXTENT THAT REQUIRES THEIR REMOVAL, THE OWNER/APPLICANT SHALL OBTAIN THE APPROPRIATE PERMITS.

PRIOR TO ISSUANCE OF GRADING OR BUILDING PERMITS, THE OWNER/APPLICANT SHALL SUBIT EVIDENCE OF TREE PROTECTION TO RMA - PLANNING FOR REVIEW AND APPROVAL.

DURING CONSTRUCTION, THE OWNER/APPLICANT/ARBORIST SHALL SUBMIT ONGOING EVIDENCE THAT TREE PROTECTION MEASURES ARE IN PLACE THROUGHOUT GRADING AND CONSTRUCTION PHASES. IF DAMAGE IS POSSIBLE, SUBMIT AN INTERIM REPORT PREPARED BY A CERTIFIED ARBORIST.

PRIOR TO FINAL INSPECTION, THE OWNER/ARBORIST SHALL SUBMIT PHOTOS OF THE TREES ON THE PROPERTY TO RMA-PLANNING AFTER CONSTRUCTION TO DOCUMENT THAT TREE PROTECTION HAS BEEN SUCCESSFUL, OR IF FOLLOW-UP REMEDIATION OR ADDITIONAL PERMITS ARE REQUIRED.

Pollution Control

- A) PAINT, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH V.O.C. LIMITS.
- B) AERSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR R.O.C. AND OTHER TOXIC COMPOUNDS. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLAINT V.O.C. LIMIT FINISH MATERIALS HAVE BEN USED.
- C) CARPET AND CAREY SYSTEMS SHALL BE COMPLIANT WITH V.O.C. LIMITS.
- D) 50% OF THE FLOOR AREA RECEIVING RESILIENT FLOORINGS SHALL COMPLY WITH THE V.O.C. EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
- E) PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDBOARD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

HISTORIC STRUCTURE:

THIS STRUCTURE IS INCLUDED IN THE PACIFIC GROVE HISTORIC INVENTORY. REMOVE ONLY THOSE ITEMS AND PORTIONS OF THE STRUCTURE APPROVED FOR DEMOLITION. REFER ALL QUESTIONS TO THE ARCHITECT.

NO MATERIALS SHALL BE REMOVED THAT HAVE NOT BEEN APPROVED BY THE ARCHITECTURAL REVIEW BOARD.

ALL CHANGES TO THESE PLANS SHALL BE REVIEWED WITH PLANNING AND BUILDING STAFF PRIOR TO IMPLEMENTATION IN THE FIELD.

Hazardous Materials

LEAD-BASED MATERIALS: CONTRACTORS PERFORMING RENOVATION, REPAIR & PAINTING PROJECTS THAT DISTURB LEAD-BASED PAINT IN HOMES BUILT BEFORE 1978 MUST BE CERTIFIED AND MUST FOLLOW SPECIFIC WORK PRACTICES TO PREVENT LEAD CONTAMINATION IN ACCORDANCE WITH THE EPA CODE, FEDERAL REGULATIONS TITLE 40, PART 745 "LEAD-BASED PAINT POISONING PREVENTION IN CERTAIN RESIDENTIAL STRUCTURES".

MATERIALS CONTAINING ASBESTOS:

LOCATIONS WHERE ASBESTOS MIGHT BE FOUND INCLUDE:

- ATTIC AND WALL INSULATION CONTAINING VERMICULITE
- VINYL FLOORING, INCLUDING BACKING AND ADHESIVES
- ROOFING AND SIDING SHINGLES
- TEXTURED PAINT AND PATCHING COMPOUNDS
- WALLS AND FLOORS NEAR WOOD-BURNING STOVES PROTECTED BY ASBESTOS INFUSED PAPER, BOARD OR CEMENT SHEETS.
- INSULATION MATERIAL AROUND WATER HEATERS AND HOT WATER OR STEAM PIPES
- HEAT RESISTANT FABRICS

CONTRACTORS PERFORMING DEMOLITION, REPAIR AND RENOVATION THAT DISTURB MATERIALS THAT MAY CONTAIN ASBESTOS CAN CONTACT THE EPA, DEPT. OF TOXIC SUBSTANCES CONTROL, BERKELEY, CA. 510-540-2122.

WHERE THE PRESENCE OF HAZARDOUS MATERIALS IS SUSPECTED, EMPLOY A PROFESSIONAL TESTING AGENCY SUCH AS STECH CONSULTING, SEAN TILLEMA, 484-B WASHINGTON STREET, MONTEREY, CA. 93940, EMAIL: sean@stechconsulting.com PHONE: 831-883-8415

REVISIONS	BY

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RICHARD B. STERES
APR 25 2019
PACIFIC GROVE
STATE OF CALIFORNIA

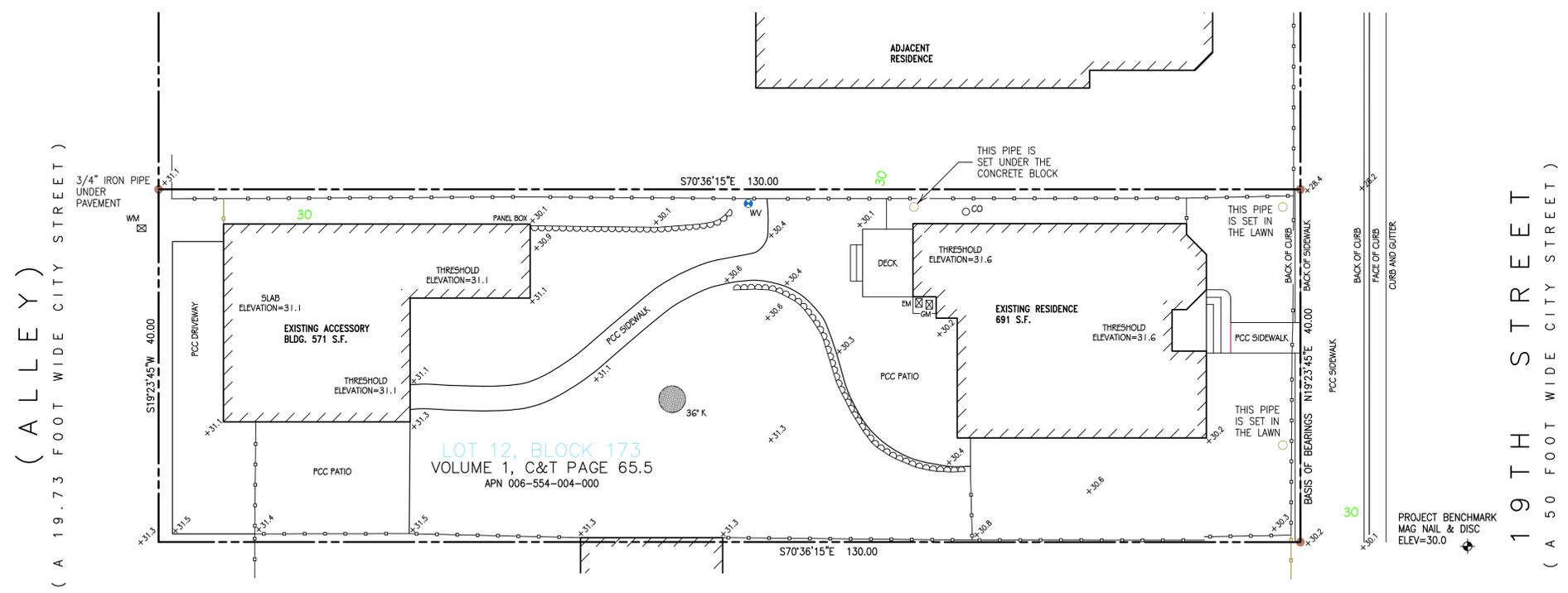
Cover Sheet

ADDITION AND REMODEL

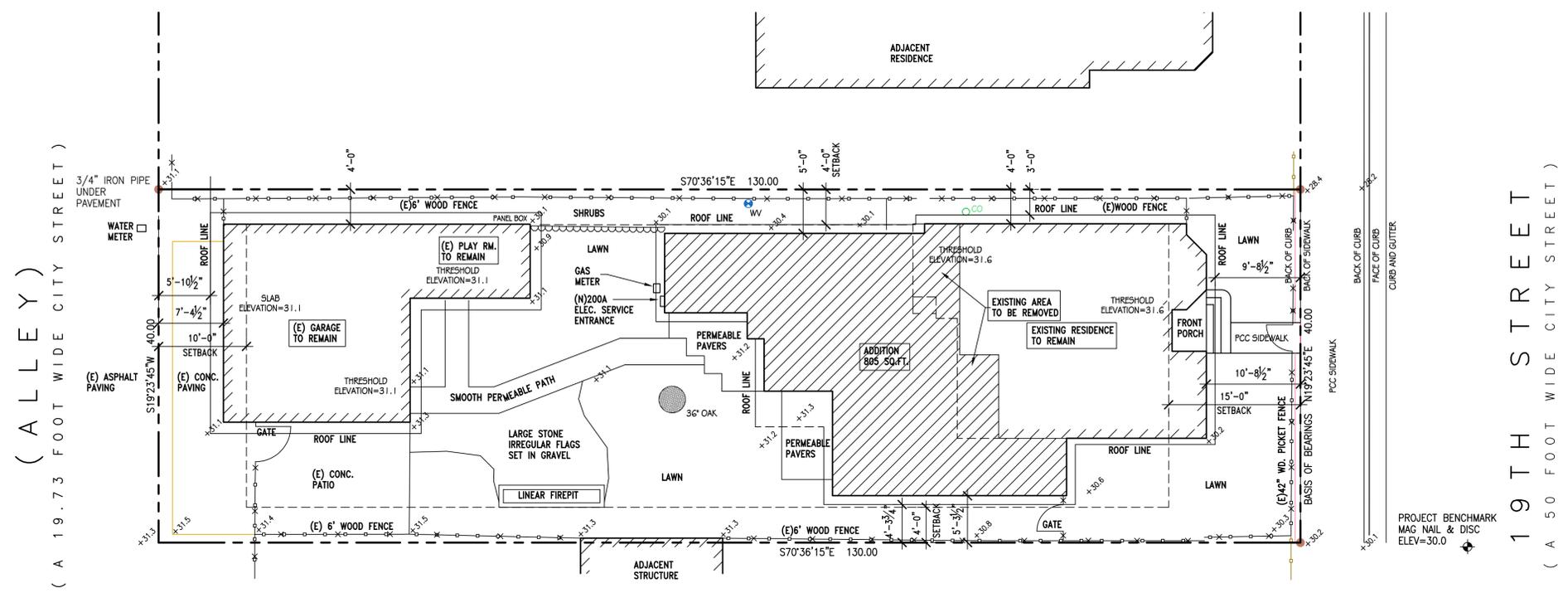
Bertolucci Residence

93950
PACIFIC GROVE CA

DATE	NOVEMBER 18, 2016
SCALE	
JOB NUMBER	1601
SHEET	
	C0
OF 28 SHEETS	



Existing Site Plan



Proposed Site Plan



NOTE:
 A TOPOGRAPHIC SURVEY WAS PROVIDED BY LUCIDO SURVEYORS
 245 FOAM STREET, MONTEREY CA 93940, PHONE 831-620-5032.

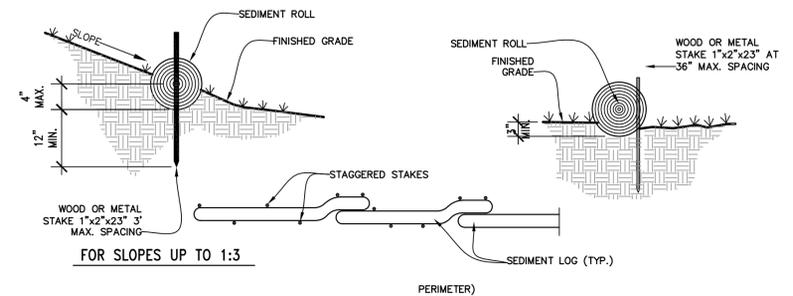
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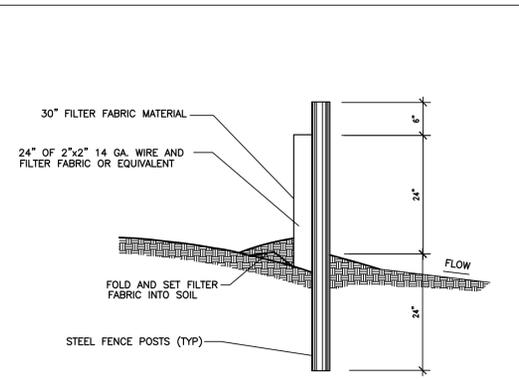
C 14191
 RICHARD B. STERES
 APR. 30. 2019
 LICENSE ARCHITECT STATE OF CALIFORNIA

Site Plan
 ADDITION AND REMODEL
Bertolucci Residence
 610 19TH STREET PACIFIC GROVE CA 93950

DATE	NOVEMBER 18, 2016
SCALE	1/8"=1'-0"
JOB NUMBER	1601
SHEET	C1
OF 28 SHEETS	



1 SEDIMENT LOG (TO BE USED ON SLOPES AT PROPERTY PERIMETER)
1"=1'-0"



2 SILT FENCE

EROSION CONTROL NOTES

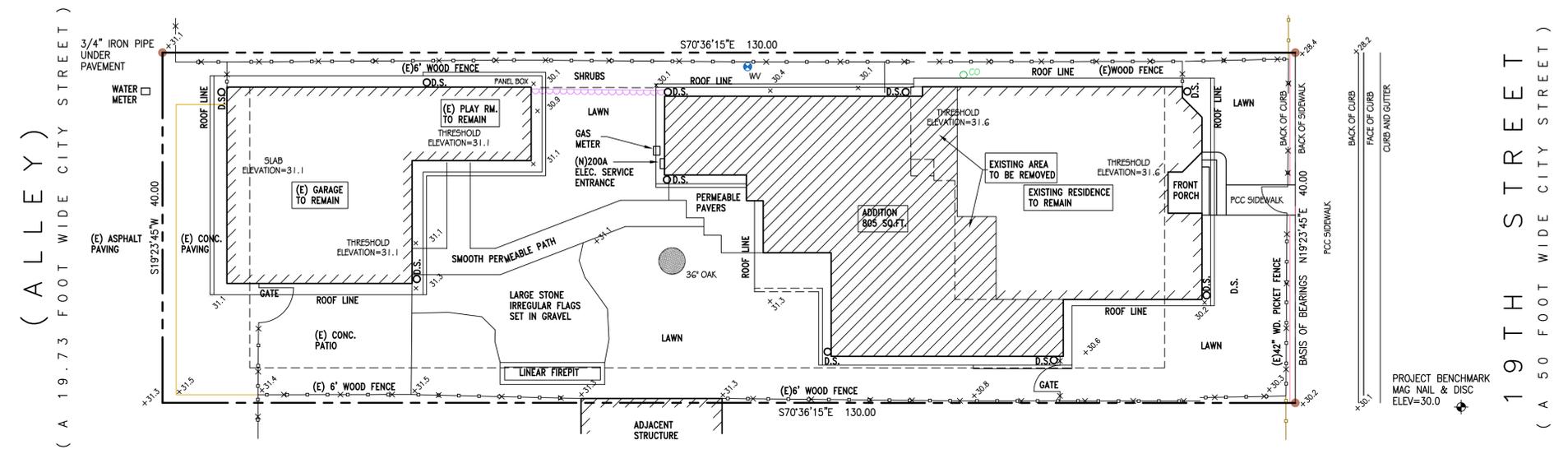
EROSION CONTROL NOTES:

All disturbed slopes shall be hydroseeded to control erosion during the rain season. Provide plastic mesh with interwoven straw, firmly staked, or other approved temporary erosion controls at all disturbed areas where slopes are greater than 1:4. All downspouts that do not discharge directly into a drain line or onto pavement shall spill onto 12"x16" splash blocks.

The Building Official may require watering of planted areas to assure growth.

Where it is determined by the Building Official that cut slopes are not subject to erosion due to the erosion-resistant character of the materials, such protection may be omitted.

Silt Fences, sediment logs, riprap, straw bales, erosion control netting and/or other devices and methods shall be employed to control erosion.



Site Plan



Grading & Drainage Notes

ALL FILL SHALL COMPACTED TO 90% RELATIVE COMPACTION.

DRAINAGE AWAY FROM BUILDING PAD: PROVIDE 5% SLOPE AWAY FROM BUILDING STRUCTURES FOR A DISTANCE OF 10 FT. MINIMUM.

A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORTS SHALL BE SUBMITTED TO THE COUNTY GRADING INSPECTOR PRIOR TO SCHEDULING ANY INSPECTIONS.

THE GEOTECHNICAL ENGINEER SHALL INSPECT ALL EXCAVATIONS AND SUBMIT WRITTEN APPROVAL TO BUILDING INSPECTOR BEFORE A FOUNDATION INSPECTION IS CALLED FOR AND BEFORE PLACEMENT OF CONCRETE.

A GEOTECHNICAL REPORT WAS PREPARED BY SOILS SURVEYS, INC., DATED FEBRUARY 2, 2012, JOB #5861-11.0/12, ADDRESS: 103 CHURCH STREET SALINAS CA. 93901, PHONE: 831-757-2172.

A GEOTECHNICAL REPORT WAS PREPARED BY GRICE ENGINEERING, INC. DATED FEBRUARY 2, 2012, JOB #5861-11.0/12, ADDRESS: 561A BRUNKEN AVE. SALINAS CA. 93901, PHONE: 831-375-1198.

RELOCATION OR ADJUSTMENT OF DRAIN LINES MAY BE REQUIRED IF CONFLICT OCCURS WITH UTILITY LINES OR TREE ROOTS.

ALL SITE DRAINAGE LINES SHALL BE SMOOTH PVC SDR-35, SLOPE 2% MINIMUM. PERFORATED PIPE SHALL BE INSTALLED WITH PERFORATIONS DOWN.

ALL DOWNSPOUTS THAT DO NOT DISCHARGE DIRECTLY INTO A DRAINLINE OR ONTO PAVEMENT SHALL SPILL ONTO 12"x16" SPLASH BLOCKS.

EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY BETWEEN OCTOBER 15 AND APRIL 15.

REVISIONS	BY

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APR. 20. 2019
STATE OF CALIFORNIA

Site Plan & Temporary Erosion Control
ADDITION AND REMODEL
Bertolucci Residence
610 19TH STREET PACIFIC GROVE CA 93950

DATE	NOVEMBER 18, 2016
SCALE	1/8"=1'-0"
JOB NUMBER	1601
SHEET	C2
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