



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Application #

AP 16-588

Date:

7/5/16

Total Fees:

3,358.84

Received by:

Wendy LAD

APPLICANT/OWNER:

Project Address: 411 Cedar St., Pacific Grove 93950 APN: 006-452-012Project Description: remodel ground level & second story

Applicant (architect)

Name: John MoorePhone: 831-642-9732Email: John@mooredesigns.comMailing Address: 225 Cannery Row, Suite I
Monterey, CA 93940

Owner

Name: Danew CampbellPhone: 831-383-9828Email: Danew.Campbell@yahoo.comMailing Address: 411 Cedar St.
Pacific Grove, CA 93950

Permit Request:

- | | | | |
|--|---|--|---|
| <input type="checkbox"/> CRD: Counter Determination | <input type="checkbox"/> AUP: Administrative UP | <input type="checkbox"/> IHS: Initial Historic Screening | <input type="checkbox"/> AVAR: Administrative VAR |
| <input checked="" type="checkbox"/> AP: Architectural Permit | <input type="checkbox"/> UP-A: UP Amendment | <input type="checkbox"/> HPP: Historic Preservation | <input type="checkbox"/> VAR-A: VAR Amendment |
| <input type="checkbox"/> AAP: Administrative AP | <input type="checkbox"/> AUP-A: AUP Amendment | <input type="checkbox"/> HD: Historic Determination | <input type="checkbox"/> AVAR-A: AVAR Amendment |
| <input type="checkbox"/> ADC: AP Design Change | <input type="checkbox"/> SU: Second Unit | <input type="checkbox"/> TPD: Tree Permit W/ Dev't | <input type="checkbox"/> MMP: Mitigation Monitoring |
| <input type="checkbox"/> SP: Sign Permit | <input type="checkbox"/> LLA: Lot Line Adjustment | <input type="checkbox"/> PUU: Undocumented Unit | <input type="checkbox"/> Stormwater Permit |
| <input type="checkbox"/> UP: Use Permit | <input type="checkbox"/> LM: Lot Merger | <input type="checkbox"/> VAR: Variance | <input type="checkbox"/> Other: |

CEQA Determination:

- ☒ Exempt
- ☐ Initial Study & Mitigated Negative Declaration
- ☐ Environmental Impact Report

Review Authority:

- ☐ Staff ☐ HRC
- ☐ ZA ☐ PC
- ☐ SPRC ☐ CC
- ☒ ARB ☐ _____

Active Permits:

- ☐ Active Planning Permit
- ☐ Active Building Permit
- ☐ Active Code Violation
- Permit #: _____

Overlay Zones:

- ☐ Butterfly Zone
- ☐ Coastal Zone
- ☒ Area of Special Biological Significance (ASBS)
- ☐ Environmentally Sensitive Habitat Area (ESHA)

PLANNING STAFF USE ONLY:

Property Information

Lot: 95.11 Block: 88 Tract: PG Addition

ZC: R-1 GP: MED. 17.4 OVIAC Lot Size: 3410 SF

☐ Historic Resources Inventory☐ Archaeologically Sensitive Area

Staff Use Only:

RECEIVED

JUL - 5 2016

CITY OF PACIFIC GROVE

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

Applicant Signature: same

Date: _____

Owner Signature (Required): Danew CampbellDate: 7/5/2016

PROJECT DATA SHEET

Project Address: 411 CEDAR ST.Submittal Date: 6/2/16Applicant(s): MOORE DESIGNPermit Type(s) & No(s): AP 16-588

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	<u>R1-B</u>			
Building Site Area	<u>3400</u>			
Density (multi-family projects only)	<u>N/A</u>			
Building Coverage	<u>1530</u>	<u>994.6</u>	<u>1168.9</u>	
Site Coverage	<u>2040</u>	<u>994.6</u>	<u>1168.9</u>	
Gross Floor Area	<u>1870</u>	<u>1389</u>	<u>1856</u>	
Square Footage not counted towards Gross Floor Area		<u>323</u>	<u>83</u>	
Impervious Surface Area Created and/or Replaced			<u>114 SF</u>	
Exterior Lateral Wall Length to be demolished in feet & % of total*	<u>1</u>	<u>251</u>	<u>91 ft/36%</u>	
Exterior Lateral Wall Length to be built			<u>170</u>	
Building Height	<u>25'</u>	<u>23'-4"</u>	<u>23'-4"</u>	
Number of stories	<u>2</u>	<u>2</u>	<u>2</u>	
Front Setback	<u>15'</u>	<u>2'-10"(E)</u>	<u>2'-10"(E)</u>	<u>15'-5"@ ADDITION</u>
<u>NORTH</u> Side Setback (specify side)	<u>6'</u>	<u>6'-7 3/4"</u>	<u>6'-7 3/4"</u>	
<u>SOUTH</u> Side Setback (specify side)	<u>6'</u>	<u>9'-9"</u>	<u>NO CHANGE</u>	
Rear Setback	<u>10'</u>	<u>15'-11 1/2"</u>	<u>15'-11 1/2"</u>	
Garage Door Setback	<u>20'</u>	<u>20'-11"</u>	<u>20'-11"</u>	
Covered Parking Spaces	<u>1</u>	<u>2</u>	<u>1</u>	
Uncovered Parking Spaces	<u>1</u>	<u>2</u>	<u>1</u>	
Parking Space Size (Interior measurement)	<u>9' x 20'</u>	<u>(2) 9' x 20'</u>	<u>9' x 20'</u>	
Number of Driveways	<u>1</u>	<u>1</u>	<u>1</u>	
Driveway Width(s)			<u>15'-0"</u>	
Back-up Distance			<u>20'-11"</u>	
Eave Projection (Into Setback)	<u>3' maximum</u>		<u>11" SIDE 13" SIDE</u>	
Distances Between Eaves & Property Lines	<u>3' minimum</u>		<u>5'-1" SIDE</u>	
Open Porch/Deck Projections		<u>Ø</u>	<u>84.7</u>	
Architectural Feature Projections				
Number & Category of Accessory Buildings	<u>Ø</u>	<u>Ø</u>	<u>Ø</u>	
Accessory Building Setbacks	<u>Ø</u>	<u>Ø</u>	<u>Ø</u>	
Distance between Buildings	<u>N/A</u>			
Accessory Building Heights	<u>N/A</u>			
Fence Heights				

*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.



CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

ARCHITECTURAL PERMIT (AP) 16-588

FOR A PROPERTY LOCATED AT 411 CEDAR STREET TO ALLOW THE REMOVAL OF 81 SQUARE FEET OF THE MAIN FLOOR, THE REMOVAL OF 385 SQUARE FEET OF THE GARAGE, AND THE REMOVAL OF 222 SQUARE FEET OF THE SECOND FLOOR, TO BE REBUILT WITH A MAIN FLOOR ADDITION OF 438 SQUARE FEET, A GARAGE OF 207 SQUARE FEET, AND A SECOND FLOOR ADDITION OF 510 SQUARE FEET, FOR A TOTAL OF A TWO-STORY, SINGLE FAMILY RESIDENCE OF 1,856 GROSS SQUARE FEET.

FACTS

1. The subject site is located 411 Cedar Street, Pacific Grove, 93950 (APN 006-452-012).
2. The subject site has a designation of Medium Density 17.4 DU/ac on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-1 zoning district.
4. The project site is located in the Area of Special Biological Significance Watershed.
5. The subject site is 3,400 square feet.
6. The subject site is developed with a two story, single family residence of approximately 1,389 gross square feet.
7. The structure was added to the City's Historic Resources Inventory in 1978.
8. On March 20, 2016, a qualified historian Kent L. Seavey completed a Phase 1 Historic Report and determined the proposed project does not qualify as an individual historic resource under National, State, or City of Pacific Grove register criteria.
9. On June 22, 2016, the Historic Resources Committee completed a Historic Determination No. 16-500 and concluded that the structure shall no longer be considered historic due to significant alterations. The structure has been removed from the City's Historic Resources Inventory.
10. This project has been determined to be CEQA Exempt under CEQA Guidelines Section 15301(e)(1) Existing Facilities.

FINDINGS

1. The proposed development will meet the development regulations set forth in the R-1 zoning district including setbacks and height requirements, and;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines No. 27, 28, and 35, and;
3. The proposed development will meet the parking requirements of 1 covered and 1 uncovered parking spaces for the R-1 zone, and;
4. The proposed development is in conformance with the Monterey Peninsula Water Management District because the water fixture unit count will remain the same at 10.6, and;
5. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;

6. The Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

PERMIT

Architectural Permit (AP) 16-588 to allow:

The removal of 81 square feet of the main floor, the removal of 385 square feet of the garage, and the removal of 222 square feet of the second floor, to be rebuilt with a main floor addition of 438 square feet, a garage of 207 square feet, and a second floor addition of 510 square feet, for a total of a two-story, single family residence of 1,856 gross square feet.

Per Pacific Grove Municipal Code Section 23.70.060(c)(1) with the following conditions:

CONDITIONS OF APPROVAL

1. **Permit Expiration:** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance:** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions:** These terms and conditions shall run with the land, and it is the intention of the CEDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building:** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approved plans for “Campbell Addition & Remodel” dated July 29, 2016, on file with the Community and Economic Development Department and to the Building Code, with the exception of any subsequently approved changes.
6. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
7. **Stormwater Treatment Measure:** The stormwater treatment measures shall be maintained by the property owner in perpetuity and City of Pacific Grove staff shall be allowed access to inspect all stormwater treatment measures on an annual basis.
8. **Exterior Lighting:** All exterior lighting must conform to Architectural Review Guidelines No. 10, 11, and 12.
9. **Conditions of Approval in Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes approval of Architectural Permit (AP) 16-588 to allow the removal of 81 square feet of the main floor, the removal of 385 square feet of the garage, and the removal of 222 square feet of the second floor, to be rebuilt with a main floor addition of 438 square feet, a garage of 207 square feet, and a second floor addition of 510 square feet, for a total of a two-story, single family residence of 1,856 gross square feet.
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

PASSED AND ADOPTED at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 9th day of August, 2016, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

Rick Steres, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Damon Campbell, owner

Date

MONTEREY PENINSULA WATER MANAGEMENT DISTRICT
RESIDENTIAL WATER RELEASE FORM AND WATER PERMIT APPLICATION Item 7a

NOTE: When approved and signed by the jurisdictions, this form must be submitted with final and complete Construction Plans to:

Monterey Peninsula Water Management District Permit Office
5 Harris Court, Bldg. G ♦ Monterey, CA 93940 ♦ (831) 658-5601 ♦ www.mpwmd.net ♦ Fax (831) 644-9558
Completing the Water Release Form & Water Permit Application does not guarantee issuance of a Water Permit.

ALL SPACES BELOW MUST BE COMPLETED OR THE APPLICATION MAY NOT BE PROCESSED. (Please print firmly)

1. OWNERSHIP INFORMATION:

Name: DAMON & GINA CAMPBELL
Daytime telephone: 831-383-9878
Mailing Address: 411 CEDAR ST.
PACIFIC GROVE 93950

2. AGENT/REPRESENTATIVE INFORMATION:

Name: MOORE DESIGN
Daytime telephone: 642-9732
Mailing Address: 225 CANNERY ROW
SUITE I MONTEREY

3. PROPERTY INFORMATION:

What year was the house constructed? 1910 Existing Square-footage _____ Proposed Square-footage _____
Address: 411 CEDAR ST. Assessor Parcel Number 006-452-012
Is a water meter needed? (Circle one) YES ☐ NO ☒ If yes, how many meters are requested? _____
Water company serving parcel: CAL-AM Account Number: _____

NOTE: Separate water meters are required for each User. Residential uses require separate meters for all auxiliary housing that includes a kitchen.

4. PROJECT DESCRIPTION (Be thorough and detailed):

ADD NEW MASTER BEDROOM & BATH,
REMODEL KITCHEN & POWDER ROOM

5. INSTRUCTIONS: Table #1 should list the fixtures on the property as they exist before the project. Table #2 should reflect all fixtures on the property after the project is completed. Only one Master Bathroom can be designated per dwelling unit.

Table No. 1 Existing Property Fixture Count
(All fixtures before project)

Type of Fixture	Fixture	Value	Count
Washbasin	<u>1</u>	x 1.0 =	<u>1</u>
Two Washbasins in the Master Bathroom*		x 1.0 =	
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)	<u>2</u>	x 1.8 =	<u>3.6</u>
Toilet, High Efficiency (HET)*		x 1.3 =	
Toilet, Ultra High Efficiency (UHET)*		x 0.8 =	
Urinal, High Efficiency (HEU) (0.5 gallon-per-flush)		x 0.5 =	
Zero Water Consumption Urinal*		x 0.0 =	
Masterbath (one per Dwelling): Tub & Separate Shower*		x 3.0 =	
Large Bathtub (may have Showerhead above)		x 3.0 =	
Standard Bathtub or Shower Stall (one showerhead)	<u>1</u>	x 2.0 =	<u>2</u>
Shower, each additional fixture (heads, body spray)		x 2.0 =	
Shower system, Rain Bars or Custom Shower (specs)		x 2.0 =	
Kitchen Sink (with optional Dishwasher)	<u>1</u>	x 2.0 =	<u>2</u>
Kitchen Sink with High Efficiency Dishwasher*		x 1.5 =	
Dishwasher, each additional (with optional sink)		x 2.0 =	
Dishwasher, High Efficiency (with opt. sink)*		x 1.5 =	
Laundry Sink/Utility Sink (one per Site)		x 2.0 =	
Clothes Washer	<u>1</u>	x 2.0 =	<u>2</u>
Clothes Washer, (HEW) 5.0 water factor or less*		x 1.0 =	
Bidet		x 2.0 =	
Bar Sink		x 1.0 =	
Entertainment Sink		x 1.0 =	
Vegetable Sink		x 1.0 =	
Swimming Pool (each 100 sq-ft of pool surface)		x 1.0 =	
Other		x =	
Other		x =	
Other		x =	
Other		x =	

• Use this fixture count if a previous Permit was issued under Ordinance 80 to utilize the Master Bathroom Credit. (Tub may be large.) See District staff for more information.

EXISTING FIXTURE UNIT COUNT TOTAL = 10.6

Table No. 2 Post Project Fixture Count
(All fixtures after project)

Type of Fixture	Fixture	Value	Count
Washbasin	<u>2</u>	x 1.0 =	<u>2</u>
Two Washbasins in the Master Bathroom	<u>1</u>	x 1.0 =	<u>1</u>
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)		x 1.8 =	
Toilet, High Efficiency (HET)*	<u>2</u>	x 1.3 =	<u>2.6</u>
Toilet, Ultra High Efficiency (UHET)*	<u>2</u>	x 0.8 =	<u>1.6</u>
Urinal, High Efficiency (HEU) (0.5 gallon-per-flush)		x 0.5 =	
Zero Water Consumption Urinal*		x 0.0 =	
Masterbath (one per Dwelling): Tub & Separate Shower		x 3.0 =	
Large Bathtub (may have Showerhead above)		x 3.0 =	
Standard Bathtub or Shower Stall (one showerhead)	<u>2</u>	x 2.0 =	<u>4</u>
Shower, each additional fixture (heads, body spray)		x 2.0 =	
Shower system, Rain Bars or Custom Shower (specs)		x 2.0 =	
Kitchen Sink (optional dishwasher)		x 2.0 =	
Kitchen Sink with High Efficiency Dishwasher*	<u>1</u>	x 1.5 =	<u>1.5</u>
Dishwasher, each additional (optional sink)		x 2.0 =	
Dishwasher, High Efficiency (with opt. sink)*		x 1.5 =	
Laundry Sink/Utility Sink (one per Site)		x 2.0 =	
Clothes Washer		x 2.0 =	
Clothes Washer, (HEW) 5.0 water factor or less*	<u>1</u>	x 1.0 =	<u>1</u>
Bidet		x 2.0 =	
Bar Sink		x 1.0 =	
Entertainment Sink		x 1.0 =	
Vegetable Sink		x 1.0 =	
Instant-Access-Hot-Water System (fixture credit)	<u>1</u>	x <0.5> =	<u>-1.5</u>
New Connection – Refer to District Rule 24-A5			
“Exterior Residential Water Demand			
Calculations”			
Subtotal proposed fixtures		x =	
Swimming Pool (each 100 sq-ft of pool surface)		x 1.0 =	

PROPOSED FIXTURE UNIT COUNT TOTAL = 10.6

*DEED RESTRICTION REQUIRED WHEN CREDIT IS APPLIED FOR “HE” APPLIANCES- EXPECT PERMIT PROCESS TO TAKE THREE WEEKS

In completing the Water Release Form, the undersigned acknowledges that any discrepancy or mistake may cause rejection or delay in processing of the application. Additionally, the undersigned is responsible for accurately accounting for all water fixtures. If the fixture unit count changes without notification to the District, or if a difference in fixtures is documented upon official inspection, Water Permits for the property may be canceled. In addition, water fixtures installed without a Water Permit may be cause for interruption of the water service to the Site, additional fees and penalties, the imposition of a lien on the property, and deduction of water from the local Jurisdiction’s Allocation. The property owner/Applicant is required to notify the District and provide Construction Plans as appropriate for each change in the Project made prior to use or occupancy that may affect the Project’s Capacity to use water.

6. I certify, under penalty of perjury, that the information provided on this Water Release Form & Water Permit Application is to my knowledge correct, and the information accurately reflects water use presently planned for this property.

Signature of Owner/Agent John Moore
Print Name JOHN MOORE

Date 6/1/16

Location Where Signed MONTEREY

File or Plan Check Number _____

AUTHORIZATION FOR WATER PERMIT – JURISDICTION USE ONLY

_____ AF Paralta Allocation _____ AF Public Credits _____ AF Second Bathroom Protocol
_____ AF Pre-Paralta Credits _____ WDS (Private Well) _____ Water Entitlement _____ No water needed

Notes: _____ Authorized by: _____ Date: _____

This form expires one year from date of authorization for this project by the jurisdiction.

White copy-MPWMD

Yellow copy-applicant

Pink copy-jurisdiction



KENT L. SEAVEY
310 LIGHTHOUSE AVENUE
PACIFIC GROVE, CALIFORNIA 93950
(831)375-8739

Item 7a

March 20, 2016

RECEIVED

Mr. Damon Campbell
411 Cedar Street
Pacific Grove, CA 93950

JUN 7 2016

CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

Dear Mr. Campbell:

Thank you for the opportunity to prepare a Phase I Historic Review for your residential property located at 411 Cedar St. (APN# 006-452-012) in Pacific Grove, as required by the California Environmental Quality Act (CEQA) and the County of Monterey.

According to Monterey County Assessor's records the subject property was constructed in 1910, Pacific Grove Heitage Society records show 1897. Building files in the Pacific Grove Planning Dept. indicate that a service porch was added in 1939 (PGBP# 1469); a carport and study in 1979 (PGBP# 4263), and a large, metal chimney stack in 1984 (PGBP# 84-900). The original owner was Mrs. L. M. Wolfe. No architect or builder has been identified.

The residence appears first on the 1914 Sanborn fire insurance map of Pacific Grove with a second floor angled bay, which was enclosed at a later date. The front (west) face of the two-story house was squared up at a later date. The wall-cladding in 1977, when the house was recorded (#533 on the 2007 List of historic resources), had wood shingles on the second floor and narrow, horizontal clapboard wood siding on the first, indicating that part of the original exterior wall-cladding on the house was replaced at some point in time.

The subject property is a two-story, wood-framed residence, with no specific style, ell-shaped in plan, resting on a concrete foundation. The exterior wall-cladding is a combination of narrow, horizontal clapboard wood siding on the ground floor and 1979 carport/study addition, and vertically-routed T-111 wood siding replacing the earlier shingles on the second floor of the main building block (see photos, and documentation provided).

The low-pitched, hipped roof of the original building block is intersected on the north by a steeply pitched side-gable roof, covering the 1979 carport/study addition. This feature has a westward projecting roof dormer with an enclosed balcony. An oversized metal chimney stack runs up the wall near the NW corner of the north side-elevation on the original main building block. All roof covering is in composition shingles.

Fenestration is generally 1/1 double-hung wood windows, with a larger, fixed, wood-framed focal window on the west facing facade. There are two garage bays on the ground floor of the 1979 carport (now covered by wood garage doors), with a pair of glazed French doors, with sidelights, off the balcony above, and another set of paired windows on the north side of the upper study.

The subject property is sited on the east side of Cedar St., fronted by hardscaping accessing the two carport bays. It is located in residential neighborhood consisting of one and two-story homes of varying ages, sizes and styles.

The California Environmental Quality Act (CEQA), PRC Sec.21084.1 requires all properties fifty years of age or older to be reviewed for potential historic significance. Criteria for that significance is addressed in PRC Sec. 5024.1 (a). It asks, did any event important to the region, state or nation occur on the property ? Did anyone important to the region, state or nation occupy the property during the productive period of their lives ? Does the building represent an important architectural type, period or method of construction, or is it a good example of the work of a noted architect or master-builder ? The criteria also asks if the property is likely to yield information significant to the understanding of the areas history.

Eligibility for historic listing of buildings, structures, objects, sites and districts, i.e., rests on the twin factors of historic significance and integrity to be considered for listing in the National Register of Historic Places, the California Register of Historical Resources, and the Monterey County Historic Resource Inventory.

Loss of integrity, if sufficiently great, will overwhelm the historic significance a resource may possess and render it ineligible for historic listing. Likewise, a resource can have complete integrity, but if it lacks significance, it must also be considered ineligible.

Integrity is measured by the application of seven aspects, defined by the National Register Criteria for Evaluation. They include: Location, the place where the historic property was constructed, or an historic event occurred; Design, the combination of elements that create the form, plan, space, structure, and style of a building; Setting, the physical environment of the historic property; Materials, the physical elements that were combined during a particular period of time and in a particular pattern or configuration to form a historic property; Workmanship, the physical evidence of the crafts of a particular culture or people during any given period in history; Feeling & Association are subjective elements that assess a resources ability to evoke a sense of time and place.

The subject property is not included in the California Office of Historic Preservation-maintained "Historic Data File for Monterey County" (updated November, 2015).It is not listed in the California Register, or the National Register of Historic Places, nor is it listed in the Monterey County Historic Resources Inventory.

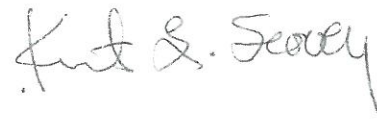
The 2012 Pacific Grove Historic Context Statement, under its theme of "Early Development of Pacific Grove (1875-1902)" , establishes the necessary criterion to be considered for historic listing.

It discusses the essential attributes of residential design for this time period to qualify for such designation. It states, in part, "A residential property must retain sufficient integrity to convey its significance in association with residential development during the period." Minimum eligibility requirements for historic listing include that a building be a clear example of residential architecture from this period; replacement of original cladding is generally a severe detriment to integrity, and more modern additions, that compromise a building's form and scale are not acceptable.

The subject property retains its original location but its historic setting, among other period homes from the first decade of the twentieth century, has been replaced by a neighborhood of more modern homes. Its basic form has been altered by changes in its exterior wall cladding and a large incompatible addition on the north side-elevation. The original building envelope is devoid of workmanship, as defined by the standard of the carpenter's trade for the time of construction c.1897. The residence does not evoke a sense of time and place, and is wholly lacking in any feeling and association with its turn of the century period of construction.

No event of significance to the nation, state or region, nor any significant individuals during the productive period of their lives, have been identified with the existing property. Lacking both historic significance, and physical integrity, the subject property does not meet the necessary criterion for listing in the California Register of Historical Resources. Nor does it meet the criterion established by the City of Pacific Grove to qualify for inclusion in the Pacific Grove Historic Resource Survey, and therefore cannot be considered as historic resources as defined by CEQA.

Respectfully Submitted,

A handwritten signature in dark ink, appearing to read "Kent S. Sealey". The signature is written in a cursive, slightly slanted style.

411 Cedar Street-Pacific Grove



Photo #1. Looking east at the west facing façade with the 1979 addition on the left, Kent Seavey, February, 2016.



Photo #2. Looking NE at the 1982 south side-elevation, and west facing facade, Kent Seavey, February, 2016.

RESOLUTION NO. 16-01

**HISTORIC DETERMINATION 16-500
FOR THE PROPERTY LOCATED AT 411 CEDAR STREET TO BE REMOVED FROM
THE CITY OF PACIFIC GROVE'S HISTORIC RESOURCES INVENTORY**

FACTS

1. On June 8, 2016, Mr. Damon Campbell submitted a written request through application of a Historic Determination to remove his structure at 411 Cedar Street (APN 006-452-012) from the City of Pacific Grove's Historic Resources Inventory.
2. The structure was added to the City's Historic Resources Inventory in 1978.
3. The structure has been significantly altered from its original state, including the enclosure of the bay window at the front façade of the structure as evidenced by the 1914, 1926, and 1962 Sanborn Maps; a second story addition in 1913 as indicated by Heritage Society research; a change in siding material from shingles to vertical T-111 wood as indicated by property file photographs, and a carport/study addition as evidenced by Permit #84-900 and property file photographs.

FINDINGS

1. At the June 22nd, 2016 Historic Resources Committee public hearing, the Committee determined from the application material submitted that the structure shall no longer be considered historic and shall be removed from the City of Pacific Grove's Historic Resources Inventory.
2. The Historic Resources Committee has determined that the property shall be removed from the City of Pacific Grove's Historic Resources Inventory based on the criteria listed in PGMC 23.76.025, and the analysis and conclusions of the March 20, 2016 Phase 1 Historic Report, prepared by Kent L. Seavey, qualified historian.
3. The Historic Resources Committee has determined that this action does not constitute as a "Project" as defined under the California Environmental Quality Act (CEQA) Section 21065; the structure has been significantly altered from its original state, no longer maintains historic integrity from the original structure, and was placed on the Historic Resources Inventory in error.

**NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC RESOURCES
COMMITTEE OF THE CITY OF PACIFIC GROVE:**

1. The Historic Resources Committee determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Resolution.
2. The March 20, 2016 Phase 1 Historic Report are hereby approved as attached to this Resolution, which by this reference is incorporated as set forth in its entirety.

3. This Resolution shall become effective upon the expiration of the 10-day appeal period.

PASSED AND ADOPTED BY THE HISTORIC RESOURCES COMMITTEE OF THE CITY OF PACIFIC GROVE this 22nd day of June, 2016, by the following vote:

AYES: Chair Mason, Members Hines, Sawyer, Travaille, Turner.


NOES: None.

ABSENT: None.

APPROVED:

 7/13/16
MAUREEN MASON, Chair

ATTEST:

 7/13/16
WENDY LAO, Assistant Planner

GENERAL NOTES

1. Examination of the site and portions thereof which will affect this work shall be made immediately by the contractor, who shall compare it with the drawings and satisfy himself to conditions under which work is to be performed. He shall at such time ascertain and check locations of the existing structures and equipment which may affect his work.
2. Contractor shall provide a complete cost breakdown and schedule of construction for this project for owner approval prior to commencement of work.
3. Contractor shall be responsible to obtain and pay for all necessary permits inspections, certificates, and fees. (this section subject to owner's review and approval.)
4. Contractor shall protect owner's area, new and/or existing materials and finishes from damage which may occur from construction, demolition, dust, water, etc., and shall provide and maintain temporary barricades, closure walls, etc., as required to protect the public and owner during the period of construction. Damage to new and existing materials, finishes, structures, and equipment shall be repaired or replaced. Contractor shall coordinate temporary barricades with owner prior to commencement of work as necessary.
5. Materials that are specified by their brand names establish standards of quality and performance. any request for substitution shall be submitted to moore design llc and owner for review for equal quality and performance and shall not be purchased or installed without their written approval. all non-specified products shall conform to requirements set forth by code compliance or industry standards and contractor shall submit a list of products and manufacturers being used for review by the designer prior to purchase or installation.
6. All construction work, architectural, mechanical, plumbing, electrical, etc., as may be required, shall conform to the latest edition of the California Building Code and the latest edition of all governing codes and regulations as adopted by the City of Pacific Grove. All work shall be done in a thorough, workmanlike manner and equal to the best standards of the practice.
7. All dimensions on constructions drawings are face of stud (f.o.s.), face of cmu, unless otherwise noted to be the center line of mullion, partition, or column, etc.
8. All dimensions take precedence over scale. Any discrepancies shall be brought immediately to the attention of Moore Design. Contractors shall not scale drawings. Questions regarding dimensions shall be brought to the designer or owner prior to any start of work.
9. All construction documents are complementary, and what is called for by any will be binding as if called for by all. Any work shown or referred to on any construction documents shall be provided as though on all related documents. Discrepancies shall be brought immediately to the attention of the designer for clarification.
10. All work listed, shown or implied on any construction document shall be supplied and installed by the contractor except where noted. The contractor shall closely coordinate his work with that of other contractors or vendors to assure that all schedules are met and that all work is done in conformance with manufacturer's requirements. Work required under this contract shall include all labor, materials, equipment, etc. necessary to complete this project. All materials shall be new and unused, unless specifically noted and be a quality acceptable by industry standards.
11. The use of the word "provide" in connection with any item specified is intended to mean that such shall be furnished, installed, and connected where so required, except as noted.
12. The contractor shall submit shop drawings for fabricated items, cut sheets of all fixtures and equipment, and samples of all finishes called for by the designer and owner for approval prior to construction and/or installation.
13. The contractor shall maintain a current and complete set of construction documents on the job site during all phases of construction for use of all trades and shall provide all subcontractors with current construction documents as required. The contractor, in assuming responsibility for the work indicated, shall comply with the spirit as well as with the letter in which they were drawn.
14. The contractor shall remove all rubbish and waste materials of all subcontractors and trades on a regular basis, and shall exercise strict control over job cleaning to prevent any dirt, debris or dust from affecting, in any way, finished areas in or outside the job site.
15. The construction documents are provided to illustrate the design and general type of construction desired and imply the finest quality of construction, material and workmanship throughout.
16. All electrical, mechanical, and plumbing work and materials shall be in full accordance with the latest rules and regulations of the national board of fire underwriters, the state fire marshal, the safety orders of the division of industrial safety, and any applicable state or local laws and ordinances. Nothing on these drawings is to be construed to permit work not conforming to these codes.
17. Work which is obviously required to be performed in order to provide a completely operable installation within the limits and scope of work, but which may not be specifically included in the plans, shall be performed by contractor and included in his bid.
18. All work shall be guaranteed against defects in design, installation and material for a minimum period of one year from date of completion.
19. Contractor shall personally supervise and direct the work or shall keep a competent employee, authorized to receive instructions and act on the contractor's behalf, continuously on site during working hours.
20. Trees adjacent to structures and over driveways shall be trimmed to clear structures and provide 15' clearance over drives. Protect other trees during construction (see forest mgmt. plan). No tree shall be removed unless called for in the plans and a permit is first issued by the local jurisdiction.

SYMBOLS & ABBREVIATIONS

EXIST'G OR (E)	EXISTING	F.O.C.	FACE OF CONCRETE	R.O.	ROUGH OPENING
A.B.	ANCHOR BOLT	F.O.S.	FACE OF STUDS	SIM.	SIMILAR
APPROX.	APPROXIMATE	GALV.	GALVANIZED	T&G	TONGUE AND GROOVE
BLK.	BLOCK	G.I.	GALVANIZED IRON	T.O.P.	TOP OF PLATE
CAB.	CABINET	GYP.	GYPSUM	TYP.	TYPICAL
CLR.	CLEAR	G.W.B.	GYPSUM WALLBOARD	U.O.N.	UNLESS OTHERWISE NOTED
CONC.	CONCRETE	N.I.C.	NOT IN CONTRACT	W/O	WITHOUT
CONT.	CONTINUOUS	N.T.S.	NOT TO SCALE	WP	WATERPROOF
D.S.	DOWNSPOUT	O.C.	ON CENTER		
		O.D.	OUTSIDE DIAMETER		
		PLYWD.	PLYWOOD		

- ① WALL LINE
NUMBERS VERTICAL
LETTERS HORIZONTAL
- ① DOORS SYMBOL NUMBERS
- ◇ WINDOW TYPE-NUMBERS
- DETAIL
DETAIL IDENTIFICATION
SHEET WHERE DETAIL IS DRAWN
- ① SHEET NOTE

- SECTION
SECTION IDENTIFICATION
SHEET WHERE SECTION IS DRAWN
- ELEVATION
ELEVATION IDENTIFICATION
SHEET WHERE ELEVATION IS DRAWN
- △ REVISIONS-NUMBERS
CLOUD AROUND REVISION OPTIONAL
- +8'-0" CEILING HEIGHT

THE CAMPBELL ADDITION & REMODEL
PACIFIC GROVE, CA



SHEET INDEX

ARCHITECTURAL	
A0.1	COVER SHEET
A1.1	SITE PLAN
A2.1	FLOOR PLANS - EXISTING / PROPOSED
A2.3	ROOF PLAN
A4.1	EXTERIOR ELEVATIONS
A4.2	EXTERIOR ELEVATIONS

PROJECT DIRECTORY

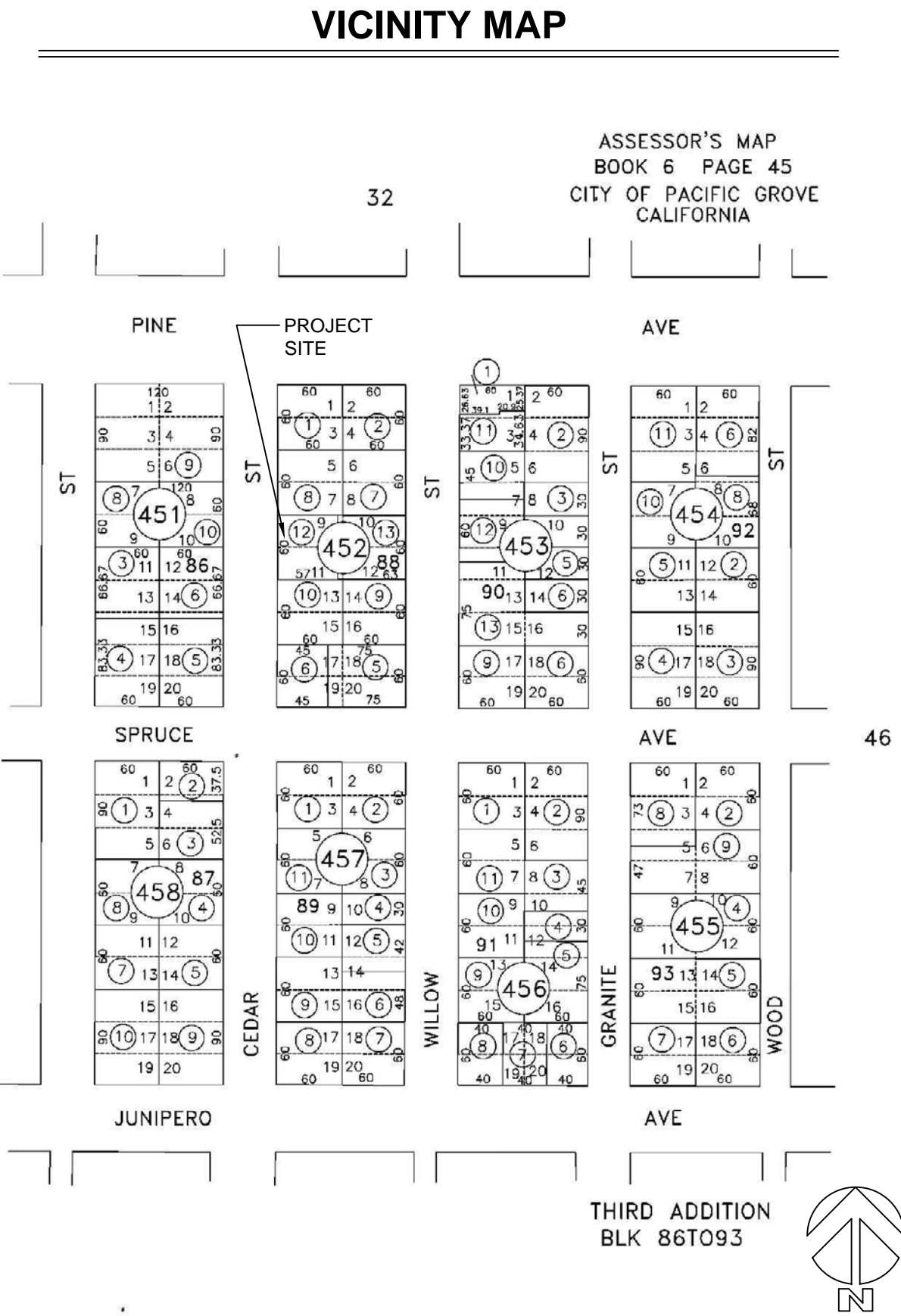
■ PROPERTY OWNER:	DAMON CAMPBELL 411 CEDAR STREET PACIFIC GROVE, CA 93950 831-383-9878
■ DESIGNER:	MOORE DESIGN, LLC CONTACT: JOHN MOORE 2560 GARDEN ROAD, SUITE 150 MONTEREY, CA. 93940 TEL (831) 642-9732 FAX (831) 401-3292 EMAIL: john@mooredesign.org
■ STRUCTURAL ENGINEER:	TBD
■ TITLE 24 CONSULTANT:	MONTEREY ENERGY GROUP CONTACT: DAVID KNIGHT 227 FOREST AVE., SUITE 5 PACIFIC GROVE, CA. 93950 TEL (831) 372-8328 FAX (831) 372-4613
■ CONTRACTOR:	H&M CONSTRUCTION CONTACT: KEVIN HARROD 413 WILLOW ST PACIFIC GROVE, CA. 93940 TEL (831) 657-9947 FAX (831) 657-9948 EMAIL: HANDMCONSTRUCTION@SBCG LOCAL.NET LIC. # 809640

PROJECT INFORMATION

■ PROJECT ADDRESS:	411 CEDAR STREET PACIFIC GROVE, CA 93950
■ A.P.N.	006-452-012
■ PROJECT SCOPE:	REMOVE EXISTING GARAGE AND SECOND FLOOR ABOVE GARAGE. REBUILD NEW SINGLE CAR GARAGE WITH MASTER SUITE ABOVE. REMODEL EXISTING LOWER FLOOR AND ADD NEW DINING ROOM ADDITION. ADD NEW REAR PORCH. ADD NEW SECOND BATH AT UPPER FLOOR ADDITION.
■ PROJECT VALUATION:	TBD
■ RELATED PERMIT	NONE
■ YEAR BUILT:	1910
■ PROJECT CODE COMPLIANCE:	2013 - Title 24, California Residential Code (CRC), California Building Code (CBC), California Mechanical Code (CMC), California Plumbing Code (CPC), California Electrical Code (CEC), California Energy Code (CenC), California Green Building Standards Code (CALGREEN), California Fire Code (CFC), Monterey Co. Code Local Amendments
■ ZONE:	R1-B
■ MAX BLDG. HT:	22'-6.5" AT ADDITION (25'-0" ALLOWED)
■ CONSTR. TYPE:	TYPE V-B
■ OCCUPANCY:	R-3 (RESIDENTIAL), U-1
■ FIRE SPRINKLERS	REQUIRED NFPA-13D
■ WATER SYSTEM:	CAL-AM
■ SEWER SYSTEM:	CITY
■ TREE REMOVAL:	NONE
■ TOPOGRAPHY:	GENTLY SLOPING TOWARD REAR
■ GRADING:	MINIMAL- FOOTINGS
■ LOT SIZE:	3,400 SF

■ EXISTING FLOOR AREA CALC'S:		■ PROPOSED FLOOR AREA CALC'S:	
MAIN FLOOR	488 SF	EXISTING MAIN FLOOR	488 SF
UPPER FLOOR	516 SF	MAIN FLOOR DEMO	-81 SF
(E) TOTAL HABITABLE	1004 SF	MAIN FLOOR ADDITION	438 SF
EXISTING GARAGE	385 SF	EXISTING UPPER FLOOR	516 SF
(E) TOTAL	1389 SF	UPPER FLOOR DEMO	-222 SF
UPPER FLR AREA NOT COUNTED IN GROSS FAR	323 SF	UPPER FLOOR ADDITION	510 SF
		(N) TOTAL HABITABLE	1649 SF
		EXISTING GARAGE	385 SF
		GARAGE DEMO	-385 SF
		GARAGE ADDITION	207 SF
		GARAGE TOTAL	207 SF
		NEW COMBINED TOTAL	1656 SF
		GROSS FLR AREA ALLOWED	1670 SF

■ EXISTING BUILDING COVERAGE CALC'S:		■ PROPOSED BUILDING COVERAGE CALC'S:	
(E) BLDG COVERAGE	995 SF	(E) BLDG COVERAGE	995 SF
ALLOWED	1530 SF	DEMO AREA	-465 SF
		(N) BLDG ADDITION	639 SF
		(N) TOTAL	1169 SF
		ALLOWED	1530 SF
■ EXISTING SITE COVERAGE CALC'S:		■ PROPOSED SITE COVERAGE CALC'S:	
BLDG COVERAGE	995 SF	(N) BLDG COVERAGE	1169 SF
IMPERVIOUS SURFACE	180 SF	(E) IMPERVIOUS SURFACE	180 SF
(E) TOTAL	1175 SF	(N) DECKS & STAIRS	85 SF
ALLOWED	2040 SF	(N) TOTAL	1434 SF
		ALLOWED	2040 SF
EXISTING DRIVEWAY IS 326 SF. THE NUMBERS ABOVE INCLUDE THE -146 SF FOR THE DRIVEWAY (LEAVING 180 SF FOR THE REQUIRED PARKING SPOT) AND -60 SF FOR FRONT WALK		EXISTING DRIVEWAY IS 326 SF. THE NUMBERS ABOVE INCLUDE THE -146 SF FOR THE DRIVEWAY (LEAVING 180 SF FOR THE REQUIRED PARKING SPOT) AND -60 SF FOR FRONT WALK	



Item 7a

PROJECT NAME:

CAMPBELL
ADDITION &
REMODEL

411 CEDAR STREET
PACIFIC GROVE, CA
93950

APN: 006-452-012



MOORE DESIGN
RESIDENTIAL PLANNING &
CONSTRUCTION MANAGEMENT

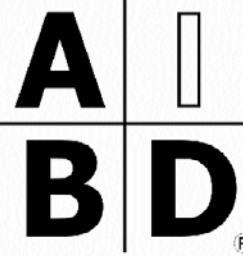
225 CANNERY ROW, SUITE 1
MONTEREY CA. 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
PLN SUBMIT	6/2/2016
PLN RESUBMIT	7/27/2016

PRINT DATE: 7/26/2016

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Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SHEET TITLE:

COVER SHEET /
PROJECT INFO

SHEET NUMBER:

A0.1

PROJECT NAME:

CAMPBELL
ADDITION &
REMODEL411 CEDAR STREET
PACIFIC GROVE, CA
93950

APN: 006-452-012



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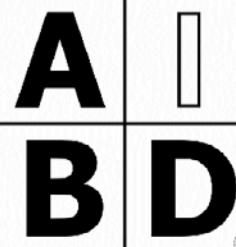
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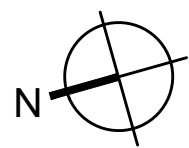
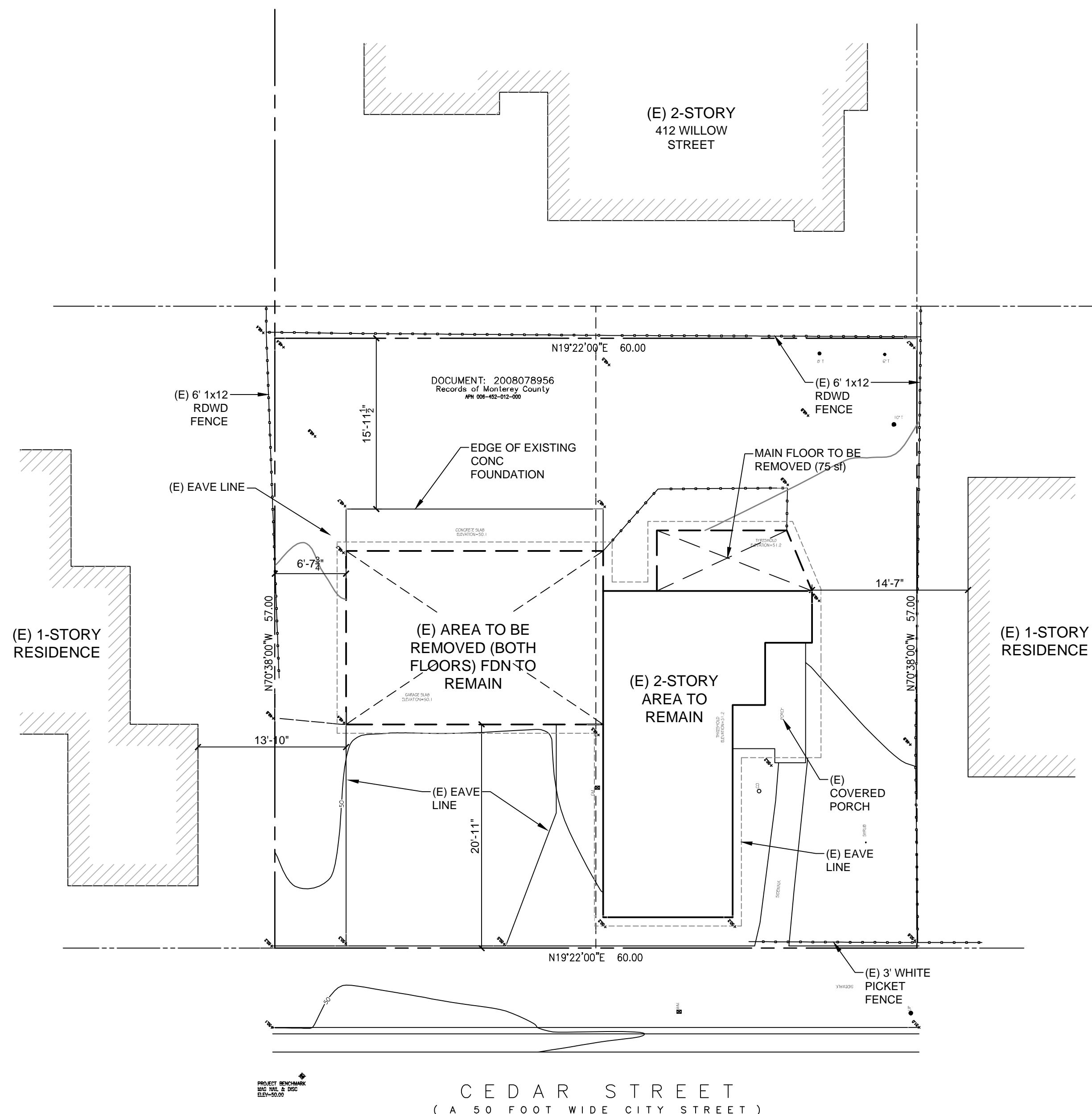
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SHEET TITLE:

SITE PLAN

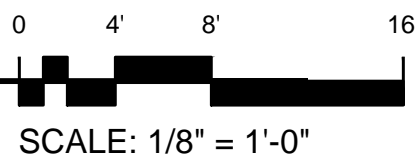
SHEET NUMBER:

A1.1



EXISTING SITE PLAN

1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

NOTES:

1. BOUNDARY LOCATIONS (IF ANY) SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORDED DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS, AND IS SHOWN APPROXIMATE ONLY. NOT FOR CONSTRUCTION. THIS IS NOT A BOUNDARY SURVEY.
2. EMBLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
3. DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
4. CONTOUR INTERVAL - ONE FOOT.
5. TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY. TO BE VERIFIED BY AN APPROVED ARBORIST. TREES SMALLER THAN 4" ARE NOT NECESSARILY SHOWN. DIRECTION OF CROWN AND SHIP LINE SHOWN TO BE DETERMINED BY OTHERS.
6. POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS. IRREGULAR SHAPE OF BRICK FACING, POP OUTS, BELL HOSE CORNICES, ETC.
7. NOT ALL UTILITY BOBES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOME BBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOBES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CORRELATE THE GENERAL UTILITY CONDITIONS ARE SHOWN.
8. THE MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN MAY OF 2015.

TOPOGRAPHIC SURVEY

OR

411 Cedar Street

per

DOCUMENT: 2008078956

Records of Monterey County

PREPARED FOR

Damon Campbell

BY

LUCIDO SURVEYORS

Boundary and Construction Surveys - Topographic and Photometric Mapping
ALTA Surveys and GIS Database Management - Land Planning and Consulting

HOME OFFICE

14000 AVENUE

DEL REY, CA 93940

FIELD OFFICE

340 CEDAR STREET, SUITE 200

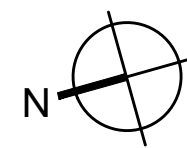
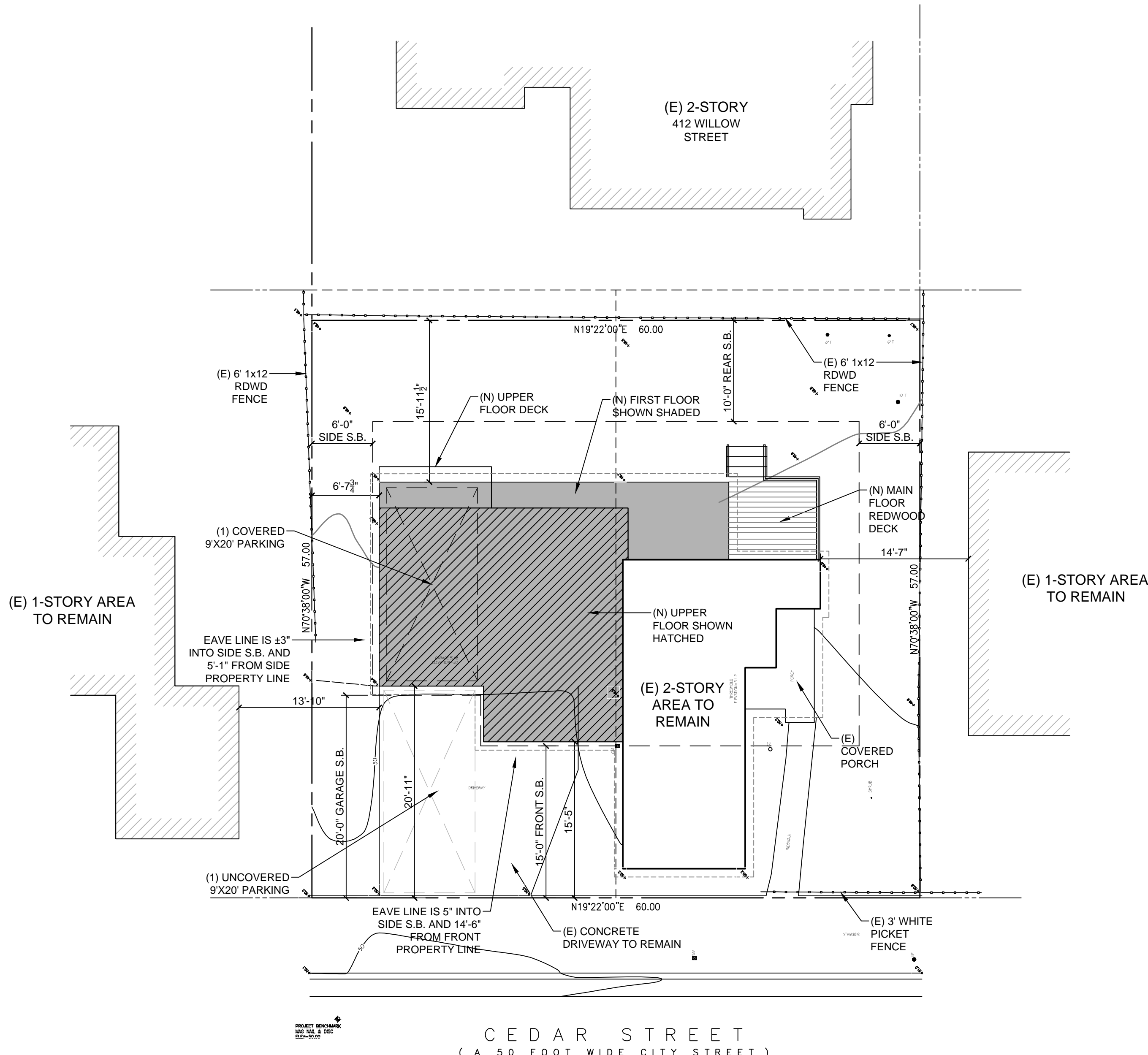
MONTEREY, CALIFORNIA 93940

MONTEREY, CA 93940

PROJECT NO. 1427

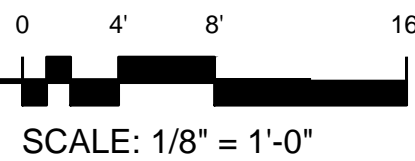
MAY 2015

CITY OF PACIFIC GROVE COUNTY OF MONTEREY STATE OF CALIFORNIA

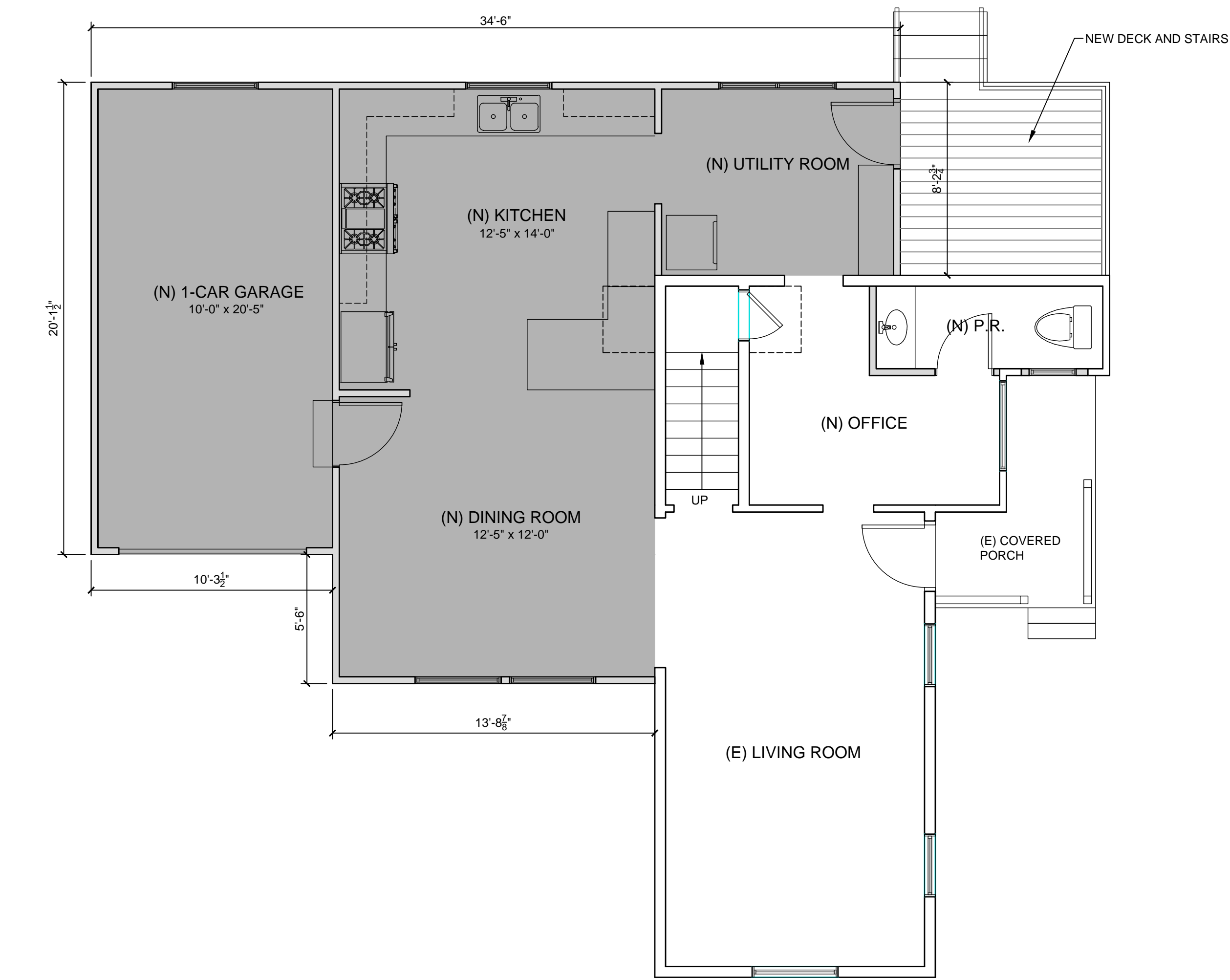


PROPOSED SITE PLAN

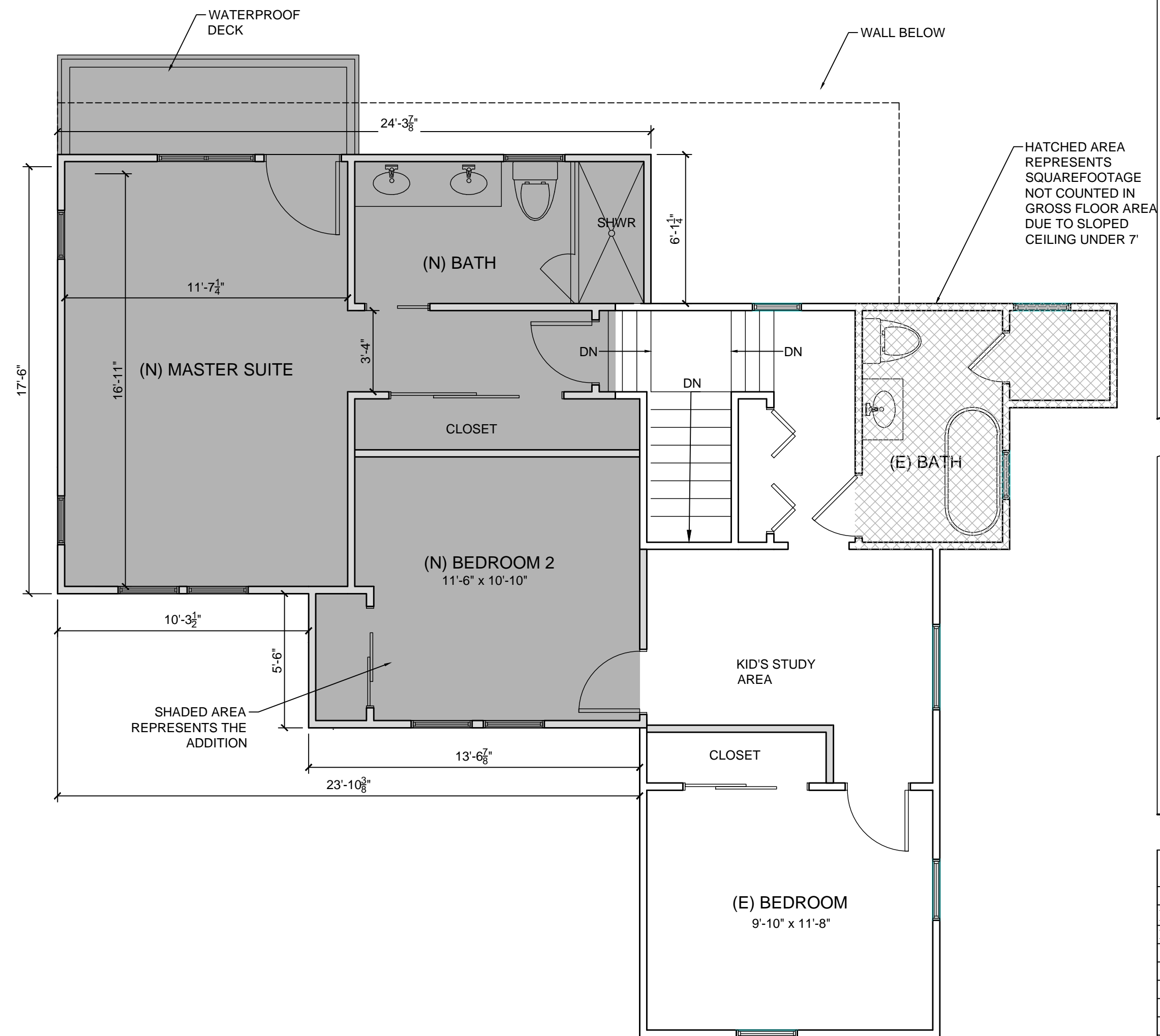
1/8" = 1'-0"



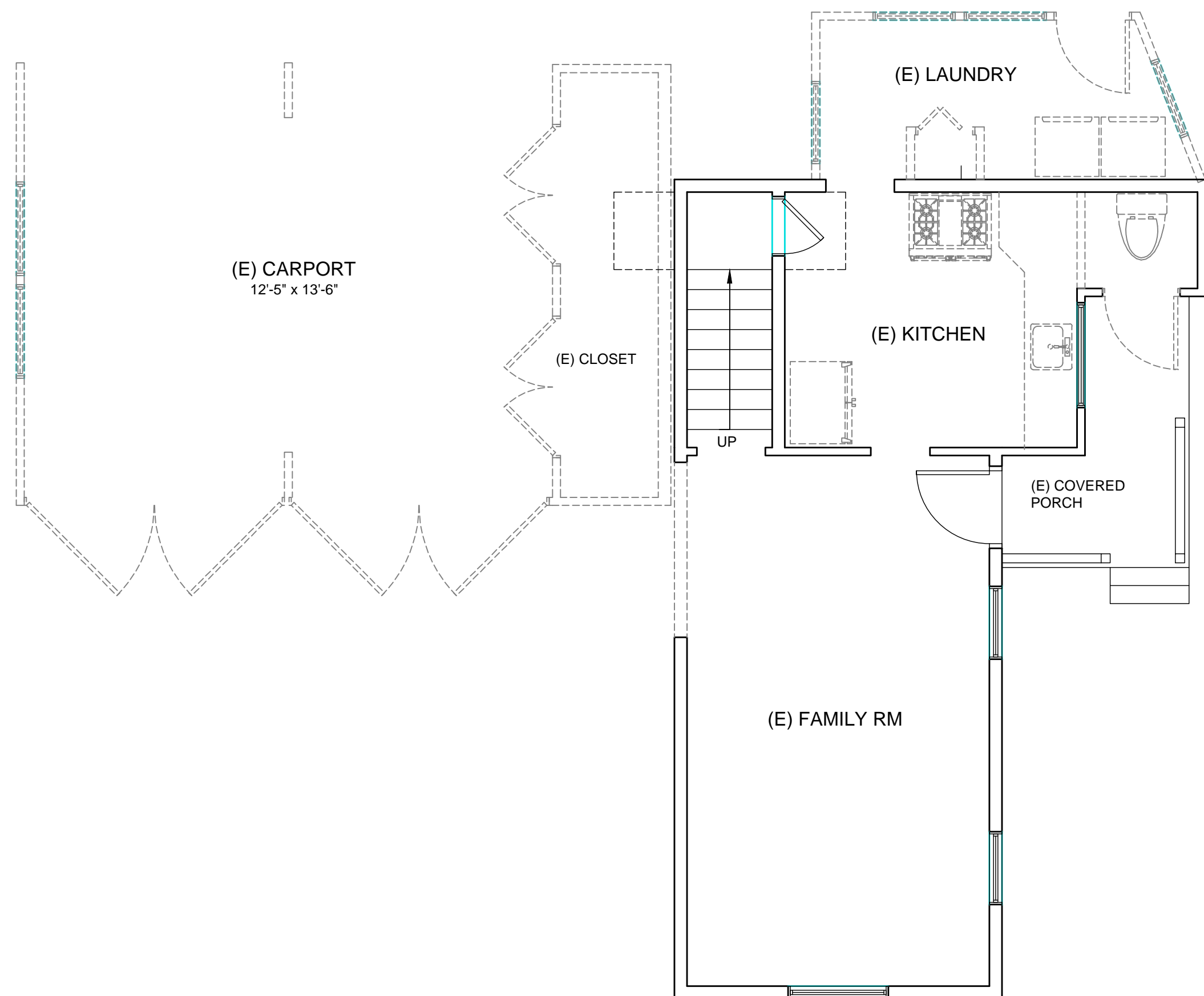
SCALE: 1/8" = 1'-0"



MAIN FLOOR CONCEPTUAL
1/4" = 1'-0"
SCALE: 1/4" = 1'-0"



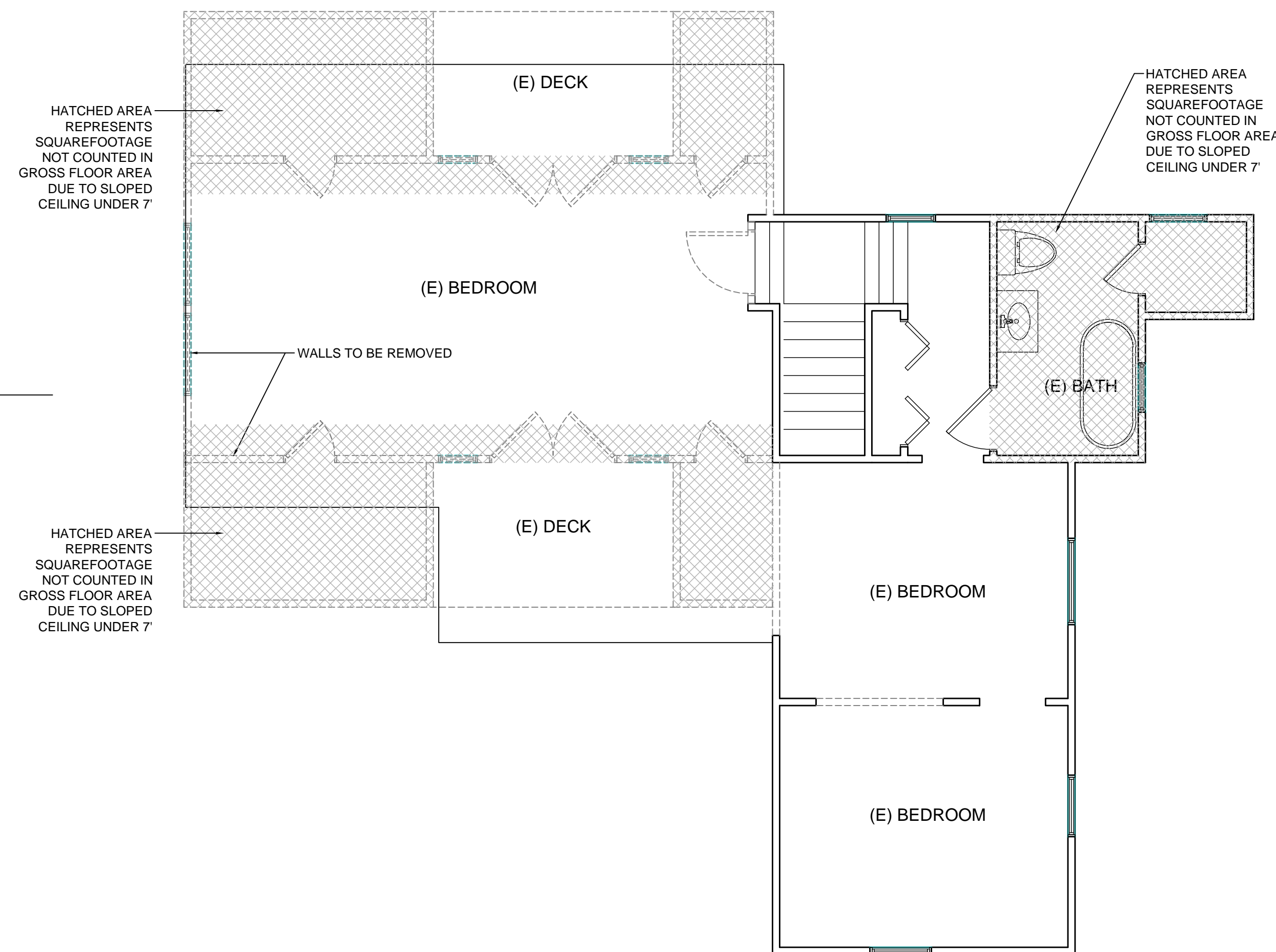
UPPER FLOOR CONCEPTUAL
1/4" = 1'-0"
SCALE: 1/4" = 1'-0"



MAIN FLOOR EXISTING DEMO
1/4" = 1'-0"
SCALE: 1/4" = 1'-0"

WALL LEGEND

- WALLS TO BE PERMANENTLY REMOVED
- EXISTING WALLS TO REMAIN
- NEW 2x WOOD STUD WALL



UPPER FLOOR EXISTING DEMO
1/4" = 1'-0"
SCALE: 1/4" = 1'-0"

Item 7a

PROJECT NAME:

**CAMPBELL
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DRAWING RECORD	
DESCRIPTION	ISSUED
PLN SUBMIT	6/2/2016
PLN RESUBMIT	7/27/2016

PRINT DATE: 7/26/2016

MEMBER

A | I
B | D

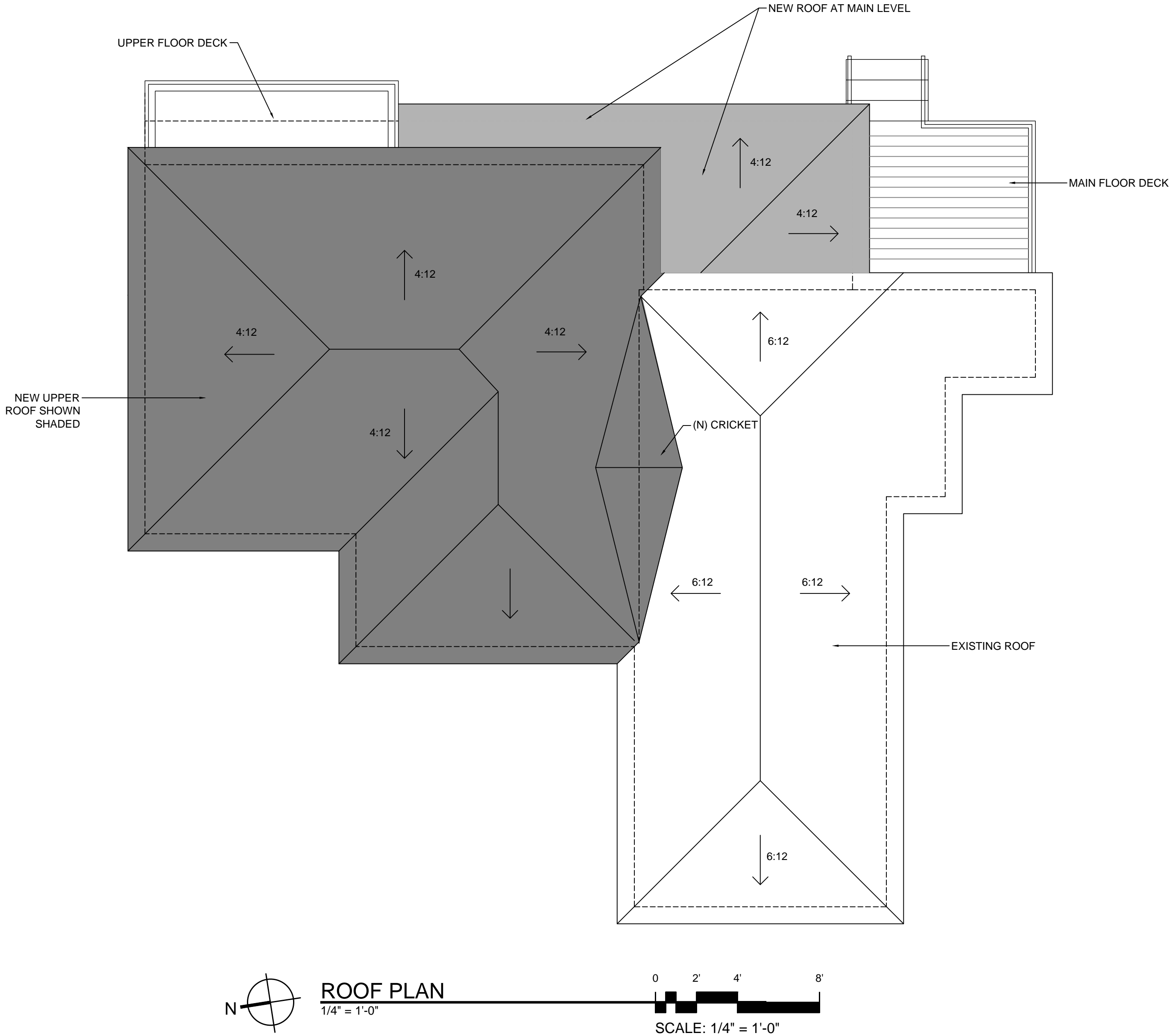
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SHEET TITLE:
FLOOR PLAN

SHEET NUMBER:
A2.1



GENERAL ROOF NOTES

1. Roof Material = comp roof to match (E)
2. Field verify with owner and/or Designer color and/or blend of roofing units prior to installation
3. Roof Slope = 4/12 unless otherwise noted
4. Overhang = 18" unless otherwise noted
5. Aluminum gutters with square downspouts
6. Gang all vent stacks to minimize quantity of roof jacks and locate roof jacks in least visible location


Item 7a

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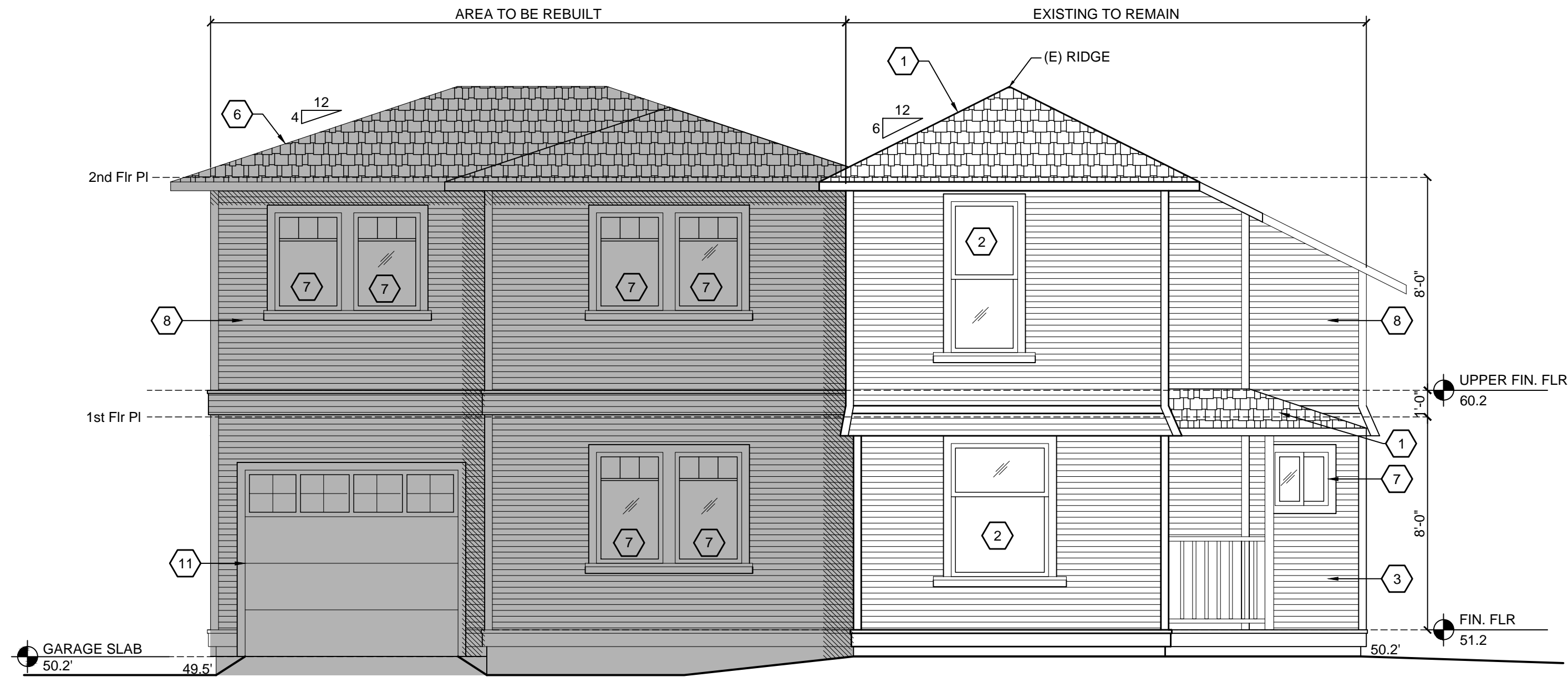
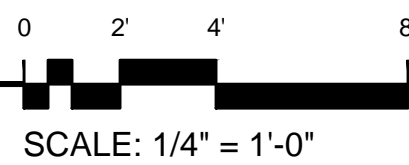
ROOF PLAN

SHEET NUMBER:

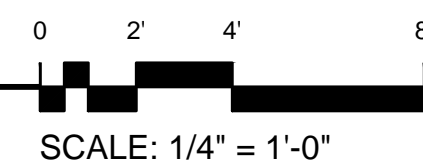
A2.3



EXISTING WEST ELEVATION
1/4" = 1'-0"



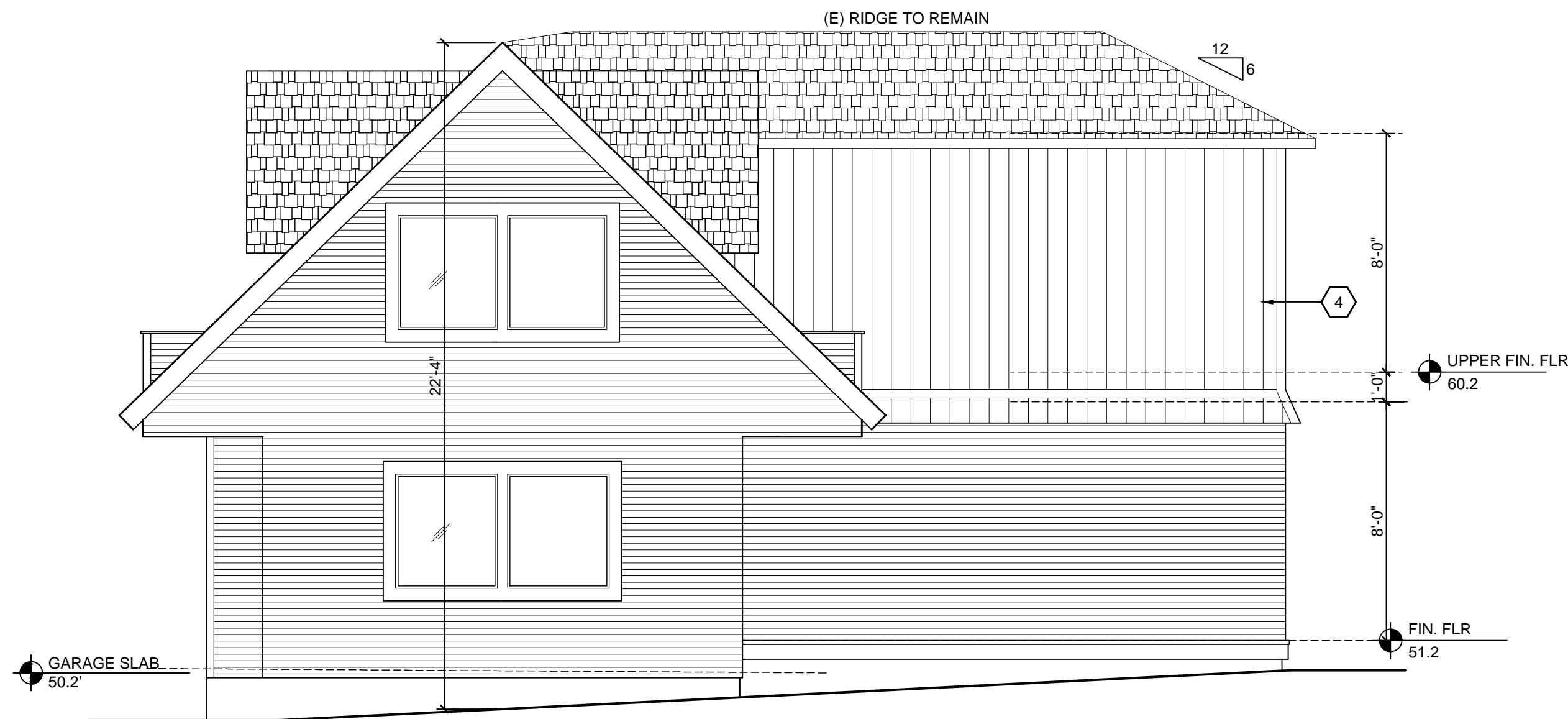
PROPOSED WEST ELEVATION
1/4" = 1'-0"



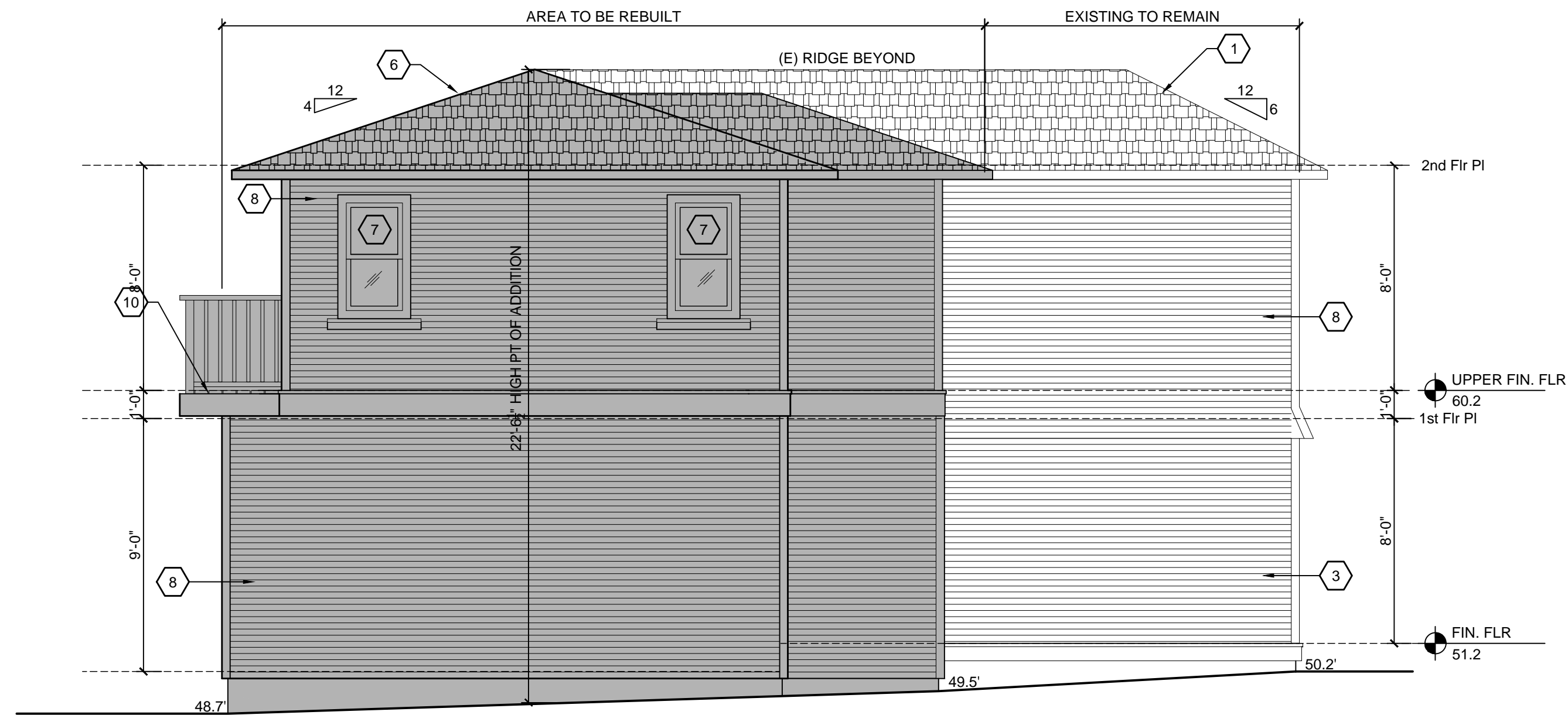
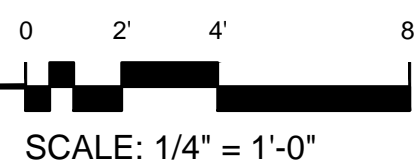
AREAS OF ADDITION OR
REBUILDING SHOWN SHADED

SHEET NOTES

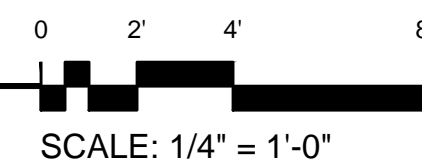
1. EXISTING COMP ROOF
2. EXISTING WOOD WINDOWS TO REMAIN.
3. EXISTING TEAR DROP TUDOR SIDING TO REMAIN.
4. EXISTING T1-11 SIDING TO BE REMOVED.
5. EXISTING WOOD DOOR TO REMAIN
6. NEW COMP ROOF TO MATCH EXISTING.
7. NEW DOUBLE PANE PAINTED WOOD WINDOWS WITH ALL TRIM AND SILL TO MATCH EXISTING.
8. NEW TEAR DROP TUDOR SIDING TO MATCH EXISTING.
9. PAINTED WOOD DOOR TO MATCH EXISTING
10. WATERPROOF DECK
11. NEW GARAGE DOOR



EXISTING NORTH ELEVATION
1/4" = 1'-0"



PROPOSED NORTH ELEVATION
1/4" = 1'-0"




Item 7a

PROJECT NAME:

**CAMPBELL
ADDITION &
REMODEL**

411 CEDAR STREET
PACIFIC GROVE, CA
93950

APN: 006-452-012



MOORE DESIGN
RESIDENTIAL PLANNING &
CONSTRUCTION MANAGEMENT

225 CANNERY ROW, SUITE 1
MONTEREY CA. 93940
831.642.9732 FAX 831.401.3292
john@mooredesign.org

DRAWING RECORD

DESCRIPTION	ISSUED
PLN SUBMIT	6/2/2016
PLN RESUBMIT	7/27/2016

PRINT DATE: 7/29/2016

MEMBER

A I B D

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BUILDING DESIGN

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Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:
A4.1

PROJECT NAME:

CAMPBELL
ADDITION &
REMODEL

411 CEDAR STREET
PACIFIC GROVE, CA
93950

APN: 006-452-012



MOORE DESIGN
RESIDENTIAL PLANNING &
CONSTRUCTION MANAGEMENT

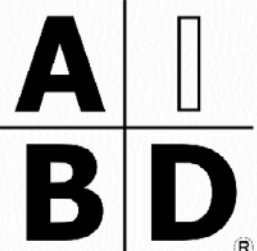
225 CANNERY ROW, SUITE 1
MONTEREY CA. 93940
831.642.9732 FAX 831.401.3292
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DRAWING RECORD

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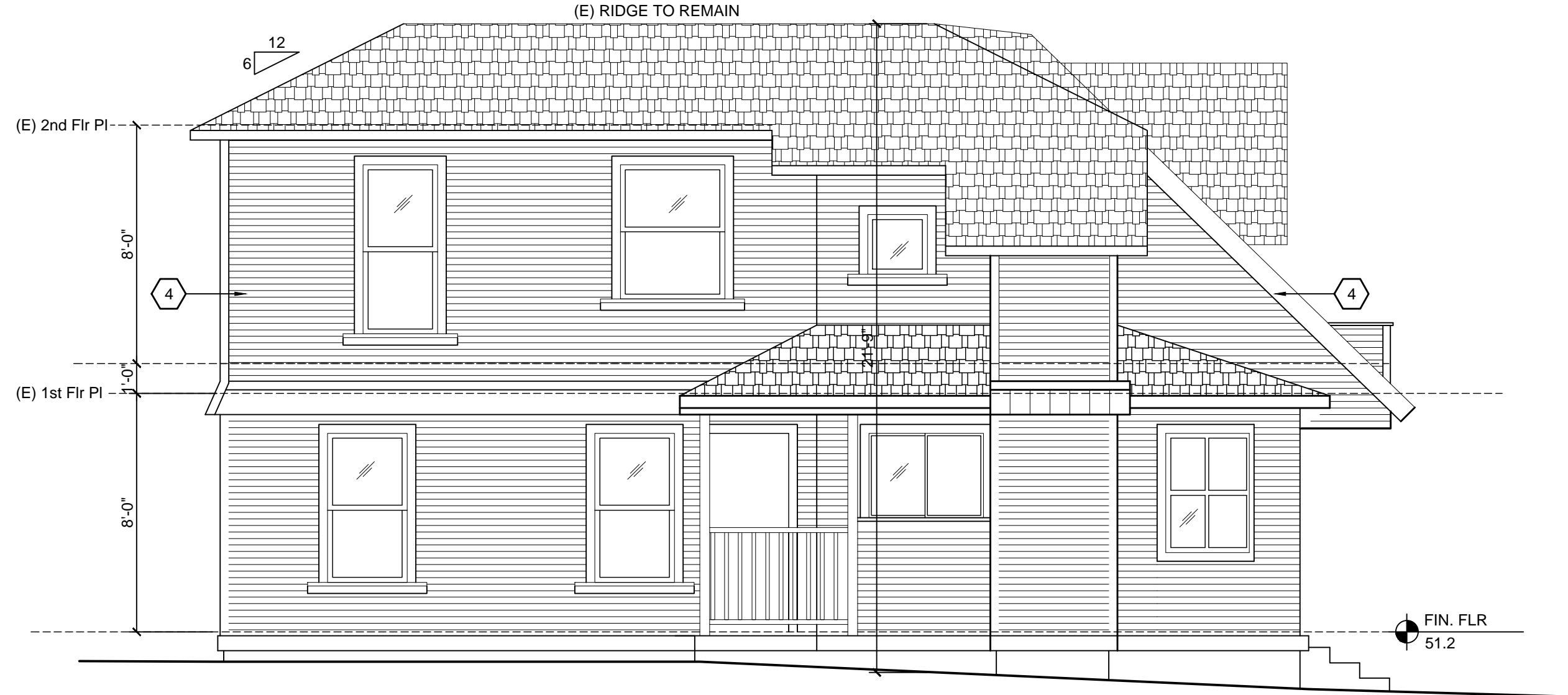
Drawings are not to be scaled. Written dimensions on these drawings shall have precedence over scale dimensions.

SHEET TITLE:

ELEVATIONS

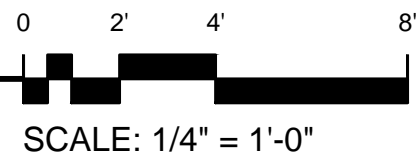
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A4.2

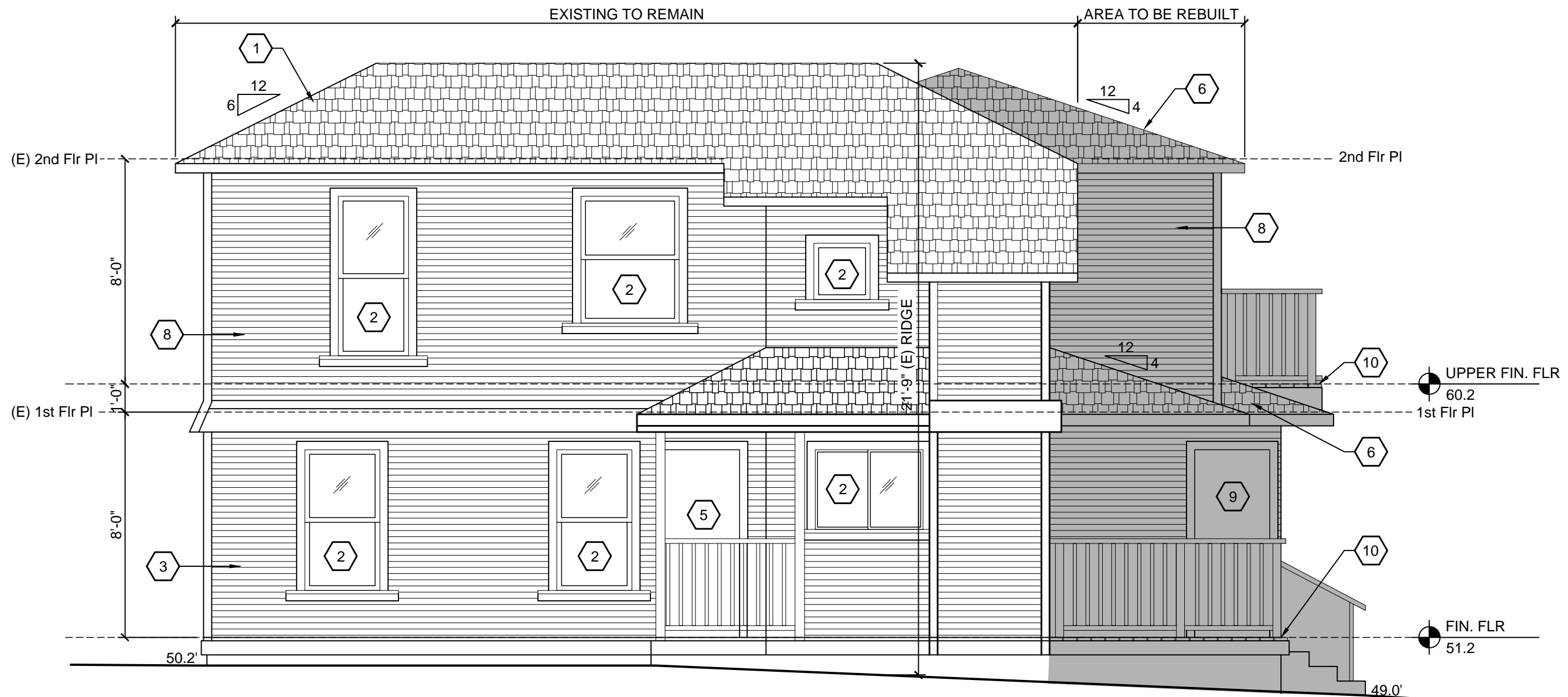


EXISTING SOUTH ELEVATION

1/4" = 1'-0"

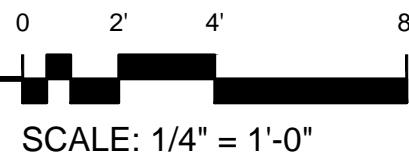


SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION

1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

SHEET NOTES

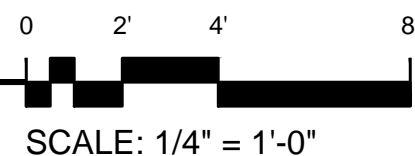
1. EXISTING COMP ROOF
2. EXISTING WOOD WINDOWS TO REMAIN.
3. EXISTING TEAR DROP TUDOR SIDING TO REMAIN.
4. EXISTING T1-11 SIDING TO BE REMOVED.
5. EXISTING WOOD DOOR TO REMAIN
6. NEW COMP ROOF TO MATCH EXISTING.
7. NEW DOUBLE PANE PAINTED WOOD WINDOWS WITH ALL TRIM AND SILL TO MATCH EXISTING.
8. NEW TEAR DROP TUDOR SIDING TO MATCH EXISTING.
9. PAINTED WOOD DOOR TO MATCH EXISTING
10. WATERPROOF DECK
11. NEW GARAGE DOOR

AREAS OF ADDITION OR
REBUILDING SHOWN SHADED

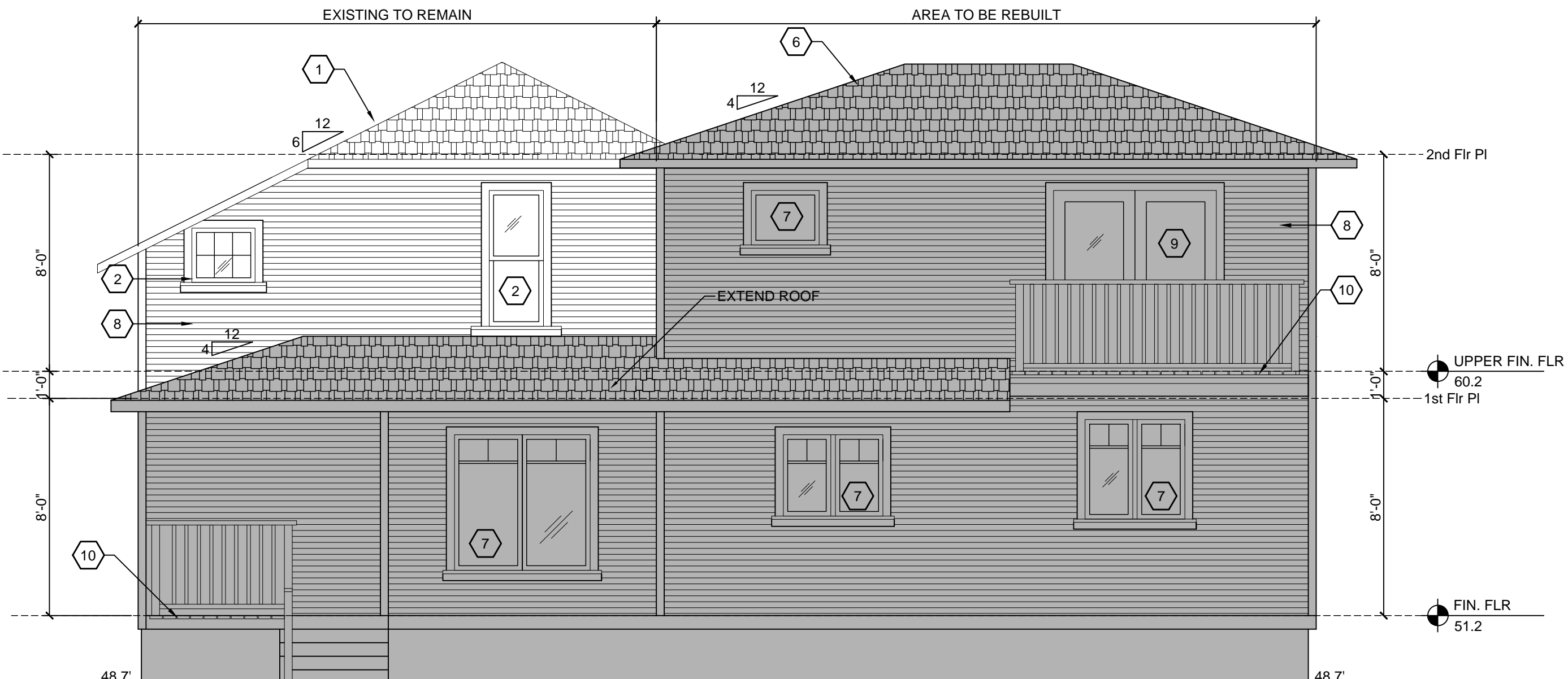


EXISTING EAST ELEVATION

1/4" = 1'-0"

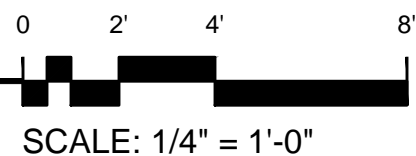


SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION

1/4" = 1'-0"



SCALE: 1/4" = 1'-0"