



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Application # SP 16-467
 Date: 5/31/16
 Total Fees: \$ 919.80
 Received by: WL

APPLICANT/OWNER:

Project Address: 120 Country Club Gate Ctr. #120 **APN:** 007-102-020

Project Description: Install two (2) wall signs illuminated by LEd reading Pet Supplies Plus and face change in existing monuments.

<u>Applicant</u>	<u>Owner</u>
Name: <u>Northwest Signs</u>	Name: <u>ROIC</u>
Phone: <u>831/469-8208</u>	Phone: <u>858/255-4906</u>
Email: <u>Chris @northwestsigns.com</u>	Email: _____
Mailing Address: <u>120 Encinal St</u> <u>Santa Cruz CA 95060</u>	Mailing Address: <u>8905 Towne Center Dr #108</u> <u>San Diego CA 92122</u>

PLANNING STAFF USE ONLY:

Permit Request:

<input type="checkbox"/> CRD: Counter Determination	<input type="checkbox"/> AUP: Administrative UP	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> AVAR: Administrative VAR
<input type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> UP-A: UP Amendment	<input type="checkbox"/> HPP: Historic Preservation	<input type="checkbox"/> VAR-A: VAR Amendment
<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> AUP-A: AUP Amendment	<input type="checkbox"/> HD: Historic Determination	<input type="checkbox"/> AVAR-A: AVAR Amendment
<input type="checkbox"/> ADC: AP Design Change	<input type="checkbox"/> SU: Second Unit	<input type="checkbox"/> TPD: Tree Permit W/ Dev't	<input type="checkbox"/> MMP: Mitigation Monitoring
<input checked="" type="checkbox"/> XSP: Sign Permit	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> PUU: Undocumented Unit	<input type="checkbox"/> Stormwater Permit
<input type="checkbox"/> UP: Use Permit	<input type="checkbox"/> LM: Lot Merger	<input type="checkbox"/> VAR: Variance	<input type="checkbox"/> Other:

CEQA Determination: Exempt
 Initial Study & Mitigated Negative Declaration
 Environmental Impact Report

Review Authority: Staff HRC ZA PC SPRC CC ARB

Active Permits: Active Planning Permit Active Building Permit Active Code Violation
 Permit #: _____

Overlay Zones: Butterfly Zone Coastal Zone Area of Special Biological Significance (ASBS) Environmentally Sensitive Habitat Area (ESHA)

Property Information

Lot: _____ Block: _____ Tract: _____
 ZC: C-FH GP: Commercial Lot Size: _____

Historic Resources Inventory Archaeologically Sensitive Area

Staff Use Only: MAY 31 2016 SEE FH SPECIFIC PLAN + COUNTY CLUB GATE MASTER SIGN PROGRAM

PAID \$919.80 5-31-16 CITY OF PACIFIC GROVE COMMUNITY DEV DEPT

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

Applicant Signature: [Signature]

Date: 5/30/16

Owner Signature (Required): [Signature]

Date: 5/30/16



CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

SIGN PERMIT (SP) 16-467

FOR A PROPERTY LOCATED AT 120 COUNTRY CLUB GATE #120 TO ALLOW THE REMOVAL OF FOUR (4) EXISTING SIGNS, TO BE REPLACED WITH SIGNS KEEPING WITH EXISTING OR SMALLER DIMENSIONS TO READ “PET SUPPLIES PLUS”, INCLUDING A WALL SIGN OF 87.9 SQUARE FEET AT THE FRONT OF THE PROPERTY, A WALL SIGN OF 26.1 SQUARE FEET AT THE REAR OF THE PROPERTY, A FACE CHANGE OF 3.25 SQUARE FEET AT A MONUMENT SIGN, AND A FACE CHANGE OF 9.44 SQUARE FEET AT A SECOND MONUMENT SIGN.

FACTS

1. The subject site is located at 120 Country Club Gate #120, Pacific Grove, 93950 (APN: 007-102-020)
2. The subject site has a designation of Commercial on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the Forest Hill Commercial (C-FH) zoning district.
4. The subject site is approximately 100,103 square feet (2.29 acres).
5. The subject site is developed with a 7,120 square feet pet store “Pet Extreme” at the Country Club Gate Shopping Center, which includes one wall sign of 112 square feet at the front of the property, one wall sign of 25.3 square feet at the rear of the property, one monument sign of 3.25 square feet, and one monument sign of 9.44 square feet.
6. This project has been determined to be CEQA Exempt under CEQA Guidelines 15301, Class 1, Existing Facilities.

FINDINGS

1. The proposed development will meet the regulations set forth in the C-FH zoning district including sign standards, and;
2. The general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing building and other buildings in the neighborhood, and;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. The Staff have been guided by and made reference to applicable provisions of Chapter 20.04, the Country Club Gate Master Sign Program, and the Forest Hill Specific Plan in making its determinations on signs, including:
 - a. An individual business shall be allowed one primary sign. Additional primary signs, generally smaller in scale, may be allowed on a case-by-case basis, per P.G.M.C. Section 20.04.050(b).
 - b. The maximum allowed sign area on a primary business frontage is one square foot for each lineal foot of primary business frontage. One-half square foot of sign area for each lineal foot of secondary business frontage may be allowed on a secondary business frontage, per P.G.M.C. Section 20.04.050(c). There is 100 feet and 10 inches of primary business frontage, and the project proposes a primary wall sign of 87.9 square feet. There is 110 feet of secondary business frontage, and the project proposes a secondary wall sign of 26.1 square feet.

PERMIT

Sign Permit (SP) #16-467 to allow:

The removal of four (4) existing signs, to be replaced with signs keeping with existing or smaller dimensions to read “Pet Supplies Plus”, including a wall sign of 87.9 square feet at the front of the property, a wall sign of 26.1 square feet at the rear of the property, a face change of 3.25 square feet at a monument sign, and a face change of 9.44 square feet at a second monument sign

Per P.G.M.C. Section 20.04 with the following conditions:

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approved plans, submitted July 26, 2016, on file with the Community and Economic Development Department and to the Building Code, with the exception of any subsequently approved changes.
6. **Stormwater Treatment Measure:** The stormwater treatment measures shall be maintained by the property owner in perpetuity and City of Pacific Grove staff shall be allowed access to inspect all stormwater treatment measures on an annual basis.
7. **Illumination:** After building completion, the light fixtures for the signage shall be dimmed to an appropriate level, if determined necessary by the Community and Economic Development Department.
8. **Building Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.
9. **Maintenance of Signs:** All signs and their supporting members shall be maintained in good condition. Dilapidated signs shall be repaired or removed upon order by the department of Community & Economic Development Department.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.

2. The Board authorizes Approval of SP 16-467 to allow the removal of four (4) existing signs, to be replaced with signs keeping with existing or smaller dimensions to read "Pet Supplies Plus", including a wall sign of 87.9 square feet at the front of the property, a wall sign of 26.1 square feet at the rear of the property, a face change of 3.25 square feet at a monument sign, and a face change of 9.44 square feet at a second monument sign.
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

PASSED AND ADOPTED at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 9th day of August, 2016, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

Rick Steres, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

ROIC, Owner

Date

PET SUPPLIES PLUS

Loc#: 2007

120 Country Club Gate Center
Pacific Grove, CA 93950



We Brand Your
Places & Spaces



Drawing prepared by: **SITE PLAN**

Location: 120 Country Club Gate Center
Pacific Grove, CA 93950

Proj #: 3847
Loc #: 2007



Drawing prepared for:

PET SUPPLIES PLUS

File Path: Active\ACCOUNTS\PI\Pet Supplies Plus\Project_3847\Locations\3847_2007_Pacific Grove_CA_R1

Rev #:	Req#:	Date:	Req. By:	Drawn By:	Revision Description:	Req. #:	Date:	Req. By:	Drawn By:
Original	229655	03/21/16	AQ	TI					
Rev 1	229841	03/22/16	JC	ANS	Updated sign 1 & 2 per PM notes	Rev 6	000000	00/00/00	XXX XXX
Rev -	236655	07/21/16	AQ	BV	Revise sign # 3 to be 33" PSP channel ltrs. - 87.91 sq ft	Rev 7	000000	00/00/00	XXX XXX
Rev 2	000000	00/00/00	XXX	XXX		Rev 8	000000	00/00/00	XXX XXX
Rev 3	000000	00/00/00	XXX	XXX		Rev 9	000000	00/00/00	XXX XXX
Rev 4	000000	00/00/00	XXX	XXX					
Rev 5	000000	00/00/00	XXX	XXX					



Drawing prepared by:

OVERVIEW PHOTOS

Drawing prepared for:



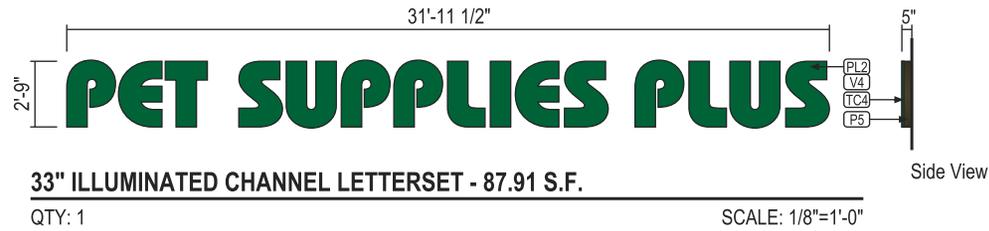
Location: 120 Country Club Gate Center
Pacific Grove, CA 93950
File Path: Active\ACCOUNTS\IPet Supplies Plus\Project_3847\Locations\3847_2007_Pacific Grove_CA_R1

Proj #: 3847
Loc #: 2007

PET SUPPLIES PLUS

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Rev 3	000000	00/00/00	XXX	XXX		Rev 9	000000	00/00/00	XXX	XXX
Rev 4	000000	00/00/00	XXX	XXX						
Rev 5	000000	100/00/00	XXX	XXX						

Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted.



NOTE: PATCH AND PAINT WALL SEAM TO SEAM PRIOR TO INSTALL.



EXISTING



PROPOSED

Drawing prepared by:

SIGN 3

Drawing prepared for:



Location:
120 Country Club Gate Center
Pacific Grove, CA 93950

Proj #:
3847

Loc #:
2007

File Path:
Active\ACCOUNTS\PI\Pet Supplies Plus\Project_3847\Locations\3847_2007_Pacific Grove_CA_R1

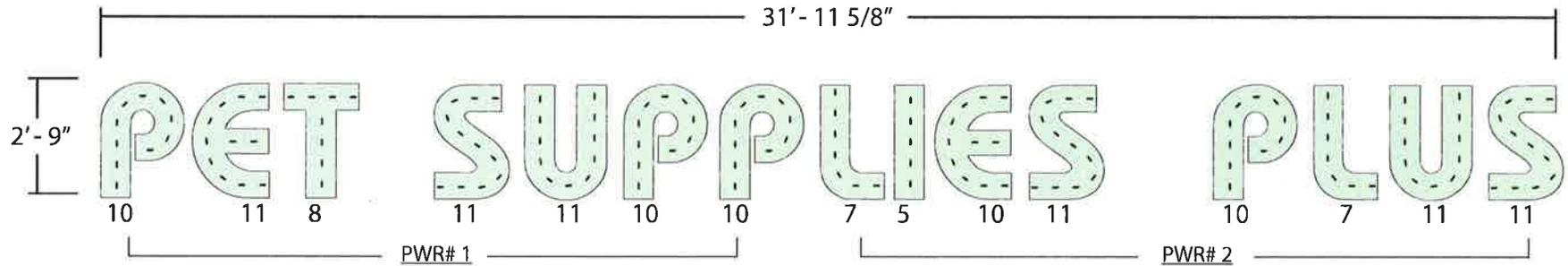
PET SUPPLIES PLUS

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Rev 3	000000	00/00/00	XXX	XXX		Rev 9	000000	00/00/00	XXX	XXX
Rev 4	000000	00/00/00	XXX	XXX						
Rev 5	000000	00/00/00	XXX	XXX						

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- 1) **UNLESS OTHERWISE SPECIFIED:** All layouts are for a single face sign or a single set of letters and the depth of the application considered for the layout is 5 inches.
- 2) LED module placement is approximate. AgiLight recommends the sign manufacturer verify the LED placement and quantity to ensure even illumination and brightness expectations are achieved.
- 3) Estimations are based off the quality of art work and information provided by the customer, this includes: font style, letter height, depth, face material, and any special instructions.
Missing information may cause delays in the delivery of estimates, as well as effect product selection, accurate quantities, and brightness.
- 4) For installation instructions of AgiLight LED systems please refer to www.AgiLight.com under the TOOLS & DOWNLOADS section or contact AgiLight's Inside Sales Team at: +1.866.482.0203

Item 5a



Notes:
Layout based off a 5" depth.

72 feet LS-PROCLR-GRN-2B5 - 144 Modules
2 - PS12-60WSL-100-277V

33" Pet Supplies Plus



May 2, 2016

MP

1074 Arion Circle Suite 116, San Antonio, TX 78216
PH: +1 (866) 482-0203 - Fax: +1 (210) 360-1454
www.AgiLight.com



NOTE: PATCH AND PAINT WALL SEAM TO SEAM PRIOR TO INSTALL.



EXISTING



PROPOSED

Drawing prepared by:

SIGN 4

Drawing prepared for:



Location:
120 Country Club Gate Center
Pacific Grove, CA 93950

Proj #:
3847
Loc #:
2007

PET SUPPLIES PLUS

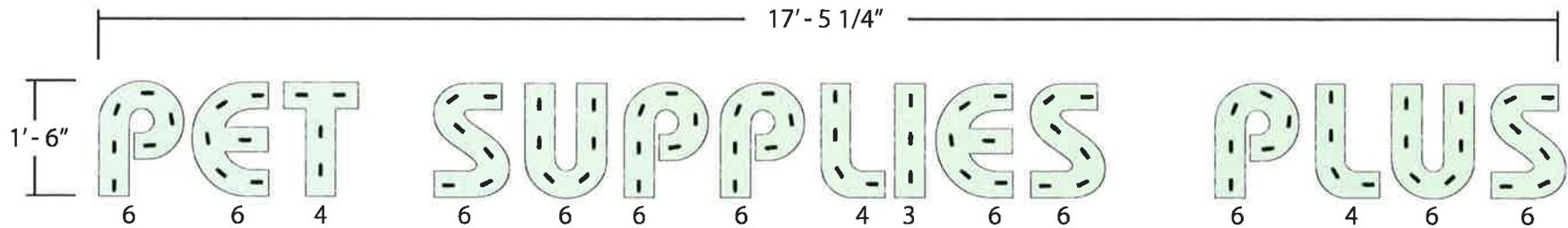
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Rev 3	000000	00/00/00	XXX	XXX						
Rev 4	000000	00/00/00	XXX	XXX						
Rev 5	000000	00/00/00	XXX	XXX						

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Missing information may cause delays in the delivery of estimates, as well as effect product selection, accurate quantities, and brightness.
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Item 5a



Notes:
Layout based off a 5" depth.

41 feet LS-PROCLR-GRN-2B5 - 81 Modules
1 - PS12-60WSL-100-277V

18" Pet Supplies Plus



May 2, 2016

MP

1074 Arion Circle Suite 116, San Antonio, TX 78216
PH: +1 (866) 482-0203 - Fax: +1 (210) 360-1454
www.AgiLight.com



WHITE DOOR VINYL

QTY: 1 SCALE: 1"=1'-0"

NOTE: VERIFY HOURS PRIOR TO FABRICATION



EXISTING



PROPOSED

Drawing prepared by:

SIGN 5

Drawing prepared for:

Location: 120 Country Club Gate Center
Pacific Grove, CA 93950
Proj #: 3847
Loc #: 2007

PET SUPPLIES PLUS

File Path: Active\ACCOUNTS\PI\Pet Supplies Plus\Project_3847\Locations\3847_2007_Pacific Grove_CA_R1

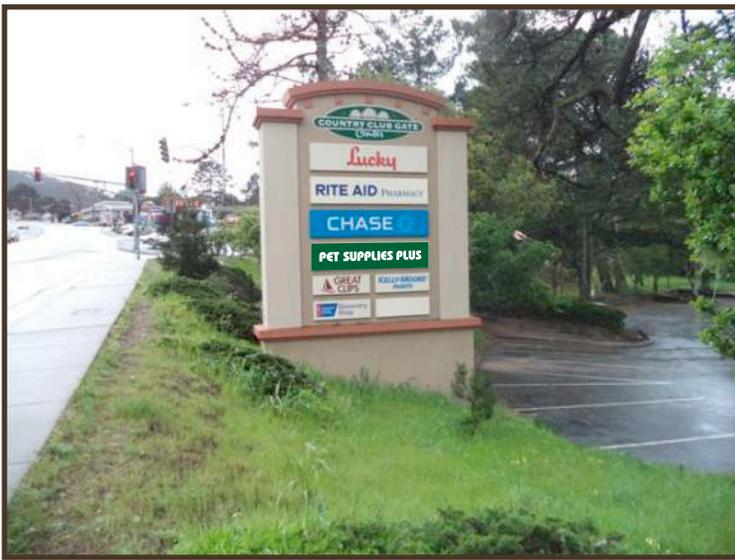
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Rev 3	000000	00/00/00	XXX	XXX						
Rev 4	000000	00/00/00	XXX	XXX						
Rev 5	000000	00/00/00	XXX	XXX						

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Item 5a



EXISTING



PROPOSED



ROUTED ALUMINUM PAN (PUSH THRU COPY)

QTY: 2

SCALE: 3/4"=1'-0"

BACKGROUND COLOR:
KELLY MOORE KM3449-1 WINDSWEPT SAILS



Drawing prepared by: **SIGN 2**

Location: 120 Country Club Gate Center
Pacific Grove, CA 93950

Proj #: 3847

Loc #: 2007

File Path: Active\ACCOUNTS\IP\Pet Supplies Plus\Project_3847\Locations\3847_2007_Pacific Grove_CA_R1

PET SUPPLIES PLUS

Drawing prepared for:

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Rev 5	000000	00/00/00	XXX	XXX						

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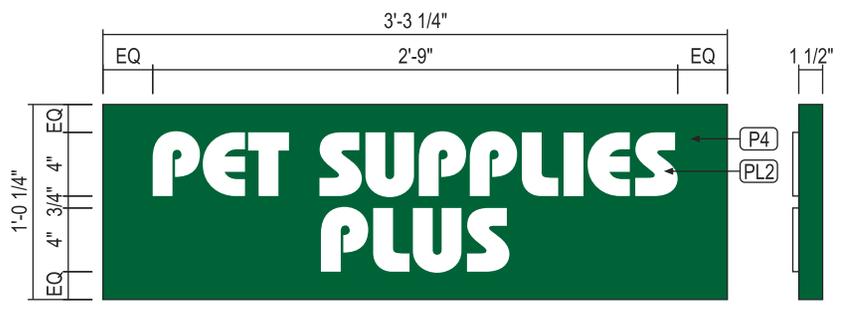
Item 5a



EXISTING



PROPOSED



ROUTED ALUMINUM PAN (PUSH THRU COPY)
 QTY: 2 SCALE: 1"=1'-0"

Drawing prepared by:

SIGN 1

Drawing prepared for:

Location: 120 Country Club Gate Center
 Pacific Grove, CA 93950
 Proj #: 3847
 Loc #: 2007

PET SUPPLIES PLUS

File Path: Active\ACCOUNTS\PI\Pet Supplies Plus\Project_3847\Locations\3847_2007_Pacific Grove_CA_R1

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Rev 4	000000	00/00/00	XXX	XXX		Rev 9	000000	00/00/00	XXX	XXX
Rev 5	000000	00/00/00	XXX	XXX						

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PRE-PERMIT SIGN INFO		Property ID: 2007
A.) Project Name:	<u>Pet Supplies Plus 2007</u>	DATE COMPLETED <u>3/3/16</u>
B.) Street Address:	<u>120 Country Club Gate</u>	
C.) Town / City / State / Zip:	<u>Pacific Grove, CA 93950</u>	
D.) Contact for Permit/Zoning:	<u>Wendy Lao</u>	
E.) Contact Telephone:	<u>(831) 648-3185</u>	
F.) Jurisdiction: City/Town:	<u>City of Pacific Grove</u>	Address: <u>300 Forest Ave. 2nd Floor</u>
or, County of:	<u>Pacific Grove, CA 93950</u>	City, ST Zip: <u>Pacific Grove, CA 93950</u>
G.) Zoning Classification for property:	<u>C-FH</u>	
H.) Is there a Master Sign Plan?	<u>Yes. Country Club Gate Shopping Center</u>	
I.) Is a permit required?	<u>Yes.</u>	
J.) What documents are required to file for the permit?	<u>Application and Required Documents:</u> http://www.cityofpacificgrove.org/sites/default/files/forms/planning/sp-rev_8-15-12_0.pdf	
K.) How long is the permit process?	Permit must be approved by landlord first. Please submit three copies of sign plans to the Owner at the following address: GMS Realty, LLC 5973 Avenida Encinas, Suite 300 Carlsbad CA 92008 <u>Please allow up to two weeks for landlord approval and an additional week for City approval.</u>	
L.) What are the fees for a sign permit?	<u>\$915</u>	
M.) Is engineering needed for wall signs?	<u>Yes.</u>	
N.) Does engineering require a PE stamp?	<u>Yes.</u>	
O.) Is landlord approval required?	<u>Yes.</u>	
P.) Legal Description Required for permit?	<u>Yes.</u>	
Q.) Plat/Site Plan required for permit?	<u>Yes.</u>	
ATTACHED SIGNS & WINDOW GRAPHIC		
1.) Formula for calculating wall sign square footage (Max. Sq. Footage - Primary & Secondary signs):	<u>Allowed sign area will be based on the letter height and sign length restrictions as found below in this section.</u> Businesses with a second elevation facing onto a street frontage or end cap location may have one additional sign at Owner's discretion and in accordance with the City sign code. Maximum vertical height shall not exceed 16" for caps. Sign length shall not exceed 75% of the leased linear frontage (primary elevation). The total combined area of all signage shall not exceed the maximum area per elevation.	
2.) Sq Ft allowance for bldg sides / rear:	<u>The number of square feet enclosed within a perimeter composed of a maximum of six sides, all at right angles, within which a sign face can be enclosed. In determining the area of an individual sign which has more than one face, the greatest area of sign faces visible from any one point shall be used.</u>	
3.) How is the sign area calculated?	<u>One.</u>	
4.) Total # Wall Signs allowed per building elevation:	<u>One.</u>	
5.) What is the max letter/character height allowed?	<u>21 inches for caps. A descending stem may drop 6" below baseline. Two lines of copy may be allowed but shall not exceed 32" including a 4" minimum space between rows. Sign length shall not exceed 75% of the leased linear frontage.</u> Reverse pan channel (silhouette) letter shall be mounted 1 1/2" away from the face of the building and backside of the sign to be covered with clear lexan on the fascia space as directed by Owner. Proposed corporate colors and type style to be reviewed by Owner on a case-by-case basis. Owner, at Owner's discretion, will review signs with the intention of varying the sign colors of adjacent Tenant signs so that adjacent signs are not the same color. Can signs are not allowed, except logos not to exceed 10% of the allowed area. Can signs may be allowed for tenants with a corporate logo and at least 50 operating stores. Approval will be at owner's discretion.	
6.) Does the ordinance restrict color, design or illumination?	<u>descretion.</u>	

7.) Does window vinyl need to be permitted, if so how much is allowed?	Yes. Each tenant shall be permitted to place up to <u>ten 5a</u> their entrance, no more than 144 square inches of vinyl Scotchal #3680-20 White Lettering, letter style Helvetica. Application shall not exceed 2" (two inches) in height, indicating hours of business, emergency telephone numbers, etc..	
8.) Is the entire graphic calculated or just the company logo and name?	<u>Entire graphic.</u>	
FREESTANDING SIGNS		
1.) Formula for calculating freestanding sign sq. footage (Max Sq Footage- Primary & Secondary signs):	<u>Free standing signs are permitted for the development as a whole per the Sign Program. Please contact landlord for information on obtaining a panel on a free standing sign.</u>	
2.) # F/S Signs allowed:	<u>See above.</u>	Internal illumination allowed: <u>Yes.</u>
3.) Height Maximum:	<u>See above.</u>	Clearance from grade to sign: <u>Not stipulated by code.</u>
4.) Set-back of sign from right-of-way or property line:	<u>Setback subject to review by City.</u>	
DIRECTIONAL SIGNS		
5.) Number Allowed:	<u>Not stipulated as an allowed sign type in sign program. Apply for determination.</u>	Maximum Square Footage: <u>Not stipulated.</u>
6.) Illumination Allowed:	<u>See above.</u>	Maximum Height: <u>See above.</u>
7.) Permit Required?:	<u>See above.</u>	Customer Logo Allowed: <u>See above.</u>
TEMPORARY BANNER		
1.) What temporary sign types are allowed?	<u>Banners.</u>	
2.) What is the max sign size area?	<u>20 square feet.</u>	
3.) How is the sign area calculated?	<u>Total size of banner.</u>	
4.) Are logos factored into sign area?	<u>Yes.</u>	
5.) How many signs per elevation?	<u>One total banner allowed per business</u>	
6.) How long can signs be up?	<u>Can be displayed no longer than 20 consecutive days. No more than two banners may be displayed on a premises during any 12-month period; provided, the applicant shall register with the community development department the date the banner is placed and removed.</u>	
7.) Does the ordinance restrict color, design or illumination?	<u>The banner shall be maintained flat and against the building wall.</u>	
VARIANCE INFORMATION		
1.) Variance cost?	<u>http://www.cityofpacificgrove.org/sites/default/files/forms/planning/cdd-permit-application-form-revised-12-3-15.pdf</u>	
2.) Variance time frame?	<u>45-60 days.</u>	
3.) Variance document deadline?	<u>30 days prior to scheduled meeting.</u>	
4.) Variance meeting dates?	<u>1st and 3rd Thursday of each month.</u>	
5.) Variance documents required?	<u>Variance Application, sign renderings showing all design aspects and mounting/engineering, site plan, photos of existing signage.</u>	
6.) How many sets?	<u>One set, however, staff may require additional copies upon request.</u>	
7.) Likelihood of variance approval?	<u>No likelihood given.</u>	
MISC. NOTES		
Sign Ordinance: http://www.codepublishing.com/CA/PacificGrove/#!/PacificGrove20/PacificGrove20.html		
Planning Application Form: http://www.cityofpacificgrove.org/sites/default/files/forms/planning/cdd-permit-application-form-revised-12-3-15.pdf		
<u>Master Sign Plan Attached.</u>		

Drawing prepared by:

CODE CHECK

Drawing prepared for:

Location: 120 Country Club Gate Center Proj #: 3847
Pacific Grove, CA 93950 Loc #: 2007
 File Path: Active\ACCOUNTS\IPet Supplies Plus\Project_3847\Locations\3847_2007_Pacific Grove_CA_R1



Rev #:	Req#:	Date:	Req. By:	Drawn By:	Revision Description:	Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted
Original	229655	03/21/16	AQ	TI		
Rev 1	229841	03/22/16	JC	ANS	Updated sign 1 & 2 per PM notes	Rev #: <u>00/00/00</u> Req. By: <u>XXX</u> Drawn By: <u>XXX</u>
Rev -	236655	07/21/16	AQ	BV	Revise sign # 3 to be 33" PSP channel ltrs. - 87.91 sq ft	Rev 6 <u>000000</u> <u>00/00/00</u> <u>XXX</u> <u>XXX</u>
Rev 2	000000	00/00/00	XXX	XXX		Rev 7 <u>000000</u> <u>00/00/00</u> <u>XXX</u> <u>XXX</u>
Rev 3	000000	00/00/00	XXX	XXX		Rev 8 <u>000000</u> <u>00/00/00</u> <u>XXX</u> <u>XXX</u>
Rev 4	000000	00/00/00	XXX	XXX		Rev 9 <u>000000</u> <u>00/00/00</u> <u>XXX</u> <u>XXX</u>
Rev 5	000000	00/00/00	XXX	XXX		Pg. 4

This code check is provided with the assumption that you will get the landlord / property owner approval. This information herein is limited to what the city has told us and we cannot be responsible if they do not inform us that a sign plan is in place. We strongly encourage you to check your lease for sign criteria and to apply for permits before manufacturing a sign. Sign criteria is reported as presented to us as of the "Completion Date". This provider is not responsible for changes in local sign code after the completion date, nor for the review process, interpretations, calculations or fees of local authorities. It is understood that a permit will be obtained prior to manufacture, if required by authorities. The recipient of this code check understand and agrees to the following: This code check is not exclusive and should not be used in place of the sign ordinance/code for said city. Please use the definitions, prohibitions and exemptions of the ordinance in conjunction with this code check. This code check is good for the day on which it is completed only. Information contained herein is a guideline and should not in any way be taken as a permit approval. Signs should not be produced until the permit has been issued. Zoning approval is often subject to interpretation that said official makes of the ordinance for their city/county/township. This code check is completed without the knowledge of specific project details and Expedite The Diehl does not assume any liability, we simply provide the code information based on the current code. This provider is not responsible for changes in local sign code after the completion date, nor for the review process, interpretations, calculations or fees of local authorities. It is understood that a permit will be obtained prior to manufacture, if required by authorities. 2014

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PRE-PERMIT SIGN INFO - Notes, continued **Property I.D. #**

We have learned from our permit experience that the city isn't always forthcoming with sign criteria and this code check should not take the place of you checking with the landlord and property manager for additional restrictions that could be in place that we were not made privy to.

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