



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Application # AP 16-308 Item 7a

Date: 4/20/16

Total Fees: \$3,215.50

Received by: _____

Project Address: 346 & 348 Pine Ave. APN: 006-265-008-008

Project Description: Remodel of existing duplex, eliminating one bedroom per unit and adding a full bath per unit - Building new garage in place of old carport. Replacing doors and windows. Adding balcony to upstairs unit.

APPLICANT/OWNER:

Applicant

Owner

Name: Kathryn Kranen

Name: (Same)

Phone: 650-224-1666

Phone: _____

Email: kathryn@kranen.com

Email: _____

Mailing Address: 35 Elmwood Place
Menlo Park, CA 94025

Mailing Address: _____

PLANNING STAFF USE ONLY:

Permit Request:

- CRD: Counter Determination
- AP: Architectural Permit
- AAP: Administrative AP
- ADC: AP Design Change
- SP: Sign Permit
- UP: Use Permit
- AUP: Administrative UP
- UP-A: UP Amendment
- AUP-A: AUP Amendment
- SU: Second Unit
- LLA: Lot Line Adjustment
- LM: Lot Merger
- IHS: Initial Historic Screening
- HPP: Historic Preservation
- HD: Historic Determination
- TPD: Tree Permit W/ Dev't
- PUU: Undocumented Unit
- VAR: Variance
- AVAR: Administrative VAR
- VAR-A: VAR Amendment
- AVAR-A: AVAR Amendment
- MMP: Mitigation Monitoring
- Stormwater Permit
- Other:

CEQA Determination:

- Exempt
- Initial Study & Mitigated Negative Declaration
- Environmental Impact Report

Review Authority:

- Staff
- ZA
- SPRC
- ARB
- HRC
- PC
- CC
- _____

Active Permits:

- Active Planning Permit
- Active Building Permit
- Active Code Violation
- Permit #: _____

Overlay Zones:

- Butterfly Zone
- Coastal Zone
- Area of Special Biological Significance (ASBS)
- Environmentally Sensitive Habitat Area (ESHA)

Property Information

Lot: 17 #19 Block: 14 Tract: 1st Addition to PG

ZC: R-2 GP: High Den 29.0 du/ac Lot Size: 3600 s.f.

- Historic Resources Inventory
- Archaeologically Sensitive Area

Staff Use Only:

PAID
3,215.50
4-20-16

APR 20 2016

CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

RECEIVED

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

Applicant Signature: Kathryn Kranen

Date: 4/20/16

Owner Signature (Required): Kathryn Kranen

Date: 4/20/16

Planning Fee Calculation

Permit Fees

Permit	Select	Fee
Architectural Permit – Single Family	<input checked="" type="checkbox"/>	\$2,917
Administrative Architectural Permit	<input type="checkbox"/>	\$767
Administrative Design Change	<input type="checkbox"/>	\$767
Counter Review & Determination – no new square footage	<input type="checkbox"/>	\$54
Counter Review & Determination – new square footage	<input type="checkbox"/>	\$322
Initial Historic Screening	<input type="checkbox"/>	\$395
Sign Permit	<input type="checkbox"/>	\$915
Sign Permit – Downtown	<input type="checkbox"/>	\$54
Variance and Amendment	<input type="checkbox"/>	\$3,167
Administrative Variance and Amendment	<input type="checkbox"/>	\$1,242
Use Permit and Amendments	<input type="checkbox"/>	\$3,167
Major Administrative Use Permit	<input type="checkbox"/>	\$1,242
Minor Administrative Use Permit	<input type="checkbox"/>	\$1,017
Inquiry Fee	<input type="checkbox"/>	\$141
Permitting of Undocumented Secondary Dwelling Unit	<input type="checkbox"/>	\$767
Second Unit Permit	<input type="checkbox"/>	\$1,156
Tree Permit with Development	<input type="checkbox"/>	\$258
Zoning Confirmation for Business Licenses	<input type="checkbox"/>	\$54

Additional Fees

		Fee	Subtotal
<input checked="" type="checkbox"/>	General Plan Update Fee	5% of Permit Fee	145.85
<input type="checkbox"/>	CEQA Exemption Fee	\$43	
<input type="checkbox"/>	Butterfly Buffer Zone	5% of Permit Fee	
<input type="checkbox"/>	Coastal Zone	5% of Permit Fee	
<input checked="" type="checkbox"/>	Area of Special Biological Significance	5% of Permit Fee	145.85
<input type="checkbox"/>	Environmentally Sensitive Habitat Area	5% of Permit Fee	
<input type="checkbox"/>	Noticing – Mailings	\$0.48 * (# of Mailings)	4.80
<input type="checkbox"/>	Noticing – Herald Ad	\$300	
<input type="checkbox"/>	Stormwater Fee	Varies	
<input type="checkbox"/>	Other	Varies	

Total Fees: \$ 3,213.50

PROJECT DATA SHEET

Project Address: 346 & 348 Pine Ave

Submittal Date:

05/24/16Applicant(s): Kathryn & Kevin Kranen

Permit Type(s) & No(s): _____

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-2	R-2	R-2	
Building Site Area	3600 s.f.	3600 s.f.	3600 s.f.	
Density (multi-family projects only)	29.0 DU/ac	Duplex	Duplex	
Building Coverage 50%	1800 s.f.	1510 s.f.	1451 s.f.	40.3%
Site Coverage 60%	2160 s.f.	1878 s.f.	1710 s.f.	47.6%
Gross Floor Area	2400 s.f.	2483 s.f.	2426 s.f.	
Square Footage not counted towards Gross Floor Area Balcony, Stairs, CC* CC= Carport Cantilever 83sf	307 s.f. + 181 s.f.	307 s.f. + 181 s.f.	412 s.f. + 395 s.f.	*Remove carport cantilever, add new balcony, extend stairs * Laundry (E) + storage closets (N)
Impervious Surface Area Created and/or Replaced			~22 s.f.	Piers under new garage wall
Exterior Lateral Wall Length to be demolished in feet & % of total*	_____	_____	11 ft/ <1%	Enclose portion of upstairs porch
Exterior Lateral Wall Length to be built	_____	_____	73'8"	Porch enclosure and garage
Building Height	30'	27'11"	27'11"	No change to roof structure
Number of stories	3	2 + Basement	2 + Basement	
Front Setback	15'	7'10"	7'10"	No change
WEST _____ Side Setback (specify side)	10'	9'5"	9'5"	No change
EAST _____ Side Setback (specify side)	6'	6'10"	6'10"	No change
Rear Setback	10'	4'11"	8'2"	Replacing carport with garage
Garage Door Setback	20'	N/A		
Covered Parking Spaces	2	2	2	
Uncovered Parking Spaces	2	2	2	
Parking Space Size (Interior measurement)	9' x 20'		9'8" x 21'8"	
Number of Driveways	1			
Driveway Width(s)		20'	20'	
Back-up Distance				
Eave Projection (Into Setback)	3' maximum	18"	18"	
Distances Between Eaves & Property Lines	3' minimum	6'4" (front)	6'4" (front)	
Open Porch/Deck Projections		3'6"	5'	New upstairs balcony, North elev.
Architectural Feature Projections			< 1'	Stone facade, South elevation
Number & Category of Accessory Buildings		0	0	
Accessory Building Setbacks				
Distance between Buildings				
Accessory Building Heights				
Fence Heights		4'10" to 6'	No change to fences	

*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.



CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

ARCHITECTURAL PERMIT (AP) 16-308

FOR A PROPERTY LOCATED AT 346 PINE AVENUE TO ALLOW THE REMOVAL OF A 2-CAR CARPORT OF 618 SQUARE FEET TO BE REBUILT BY A 2-CAR GARAGE OF 453 SQUARE FEET, A THIRD-STORY BALCONY OF 204 SQUARE FEET, A CHANGE IN EXTERIOR SIDING MATERIAL INCLUDING STONE FAÇADE ALONG PINE AVENUE, AND INTERIOR REMODEL.

FACTS

1. The subject site is located at 346 17 Mile Drive, Pacific Grove, 93950 APN 006-265-008.
2. The subject site has a designation of High Density 29.0 DU/ac on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-2 zoning district.
4. The project site is located in the Area of Special Biological Significance Watershed.
5. The subject site is an interior lot of 3,600 square feet.
6. The subject site is developed with a two-story duplex of approximately 2,483 gross square feet including a basement.
7. This project has been determined to be CEQA Exempt under CEQA Guidelines Section 15301.

FINDINGS

1. The proposed development will meet the development regulations set forth in the R-2 zoning district including setbacks and height requirements, and;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines No. 1 and 25, and;
3. The proposed development will meet the parking requirements for the R-2 zone, and;
4. The proposed development is in conformance with the Monterey Peninsula Water Management District because the water fixture unit count will be reduced from 19.6 to 19.2, and;
5. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
6. The Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

PERMIT

Architectural Permit (AP) 16-308

Per Pacific Grove Municipal Code 23.70.060:

CONDITIONS OF APPROVAL

1. **Permit Expiration:** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.

2. **Construction Compliance:** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions:** These terms and conditions shall run with the land, and it is the intention of the CEDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building:** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approved plans for “Kathryn Kranen Project No. DM-0.1” dated May 25, 2016, on file with the Community and Economic Development Department and to the Building Code, with the exception of any subsequently approved changes.
- 6.
7. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
8. **Stormwater Treatment Measure:** The stormwater treatment measures shall be maintained by the property owner in perpetuity and City of Pacific Grove staff shall be allowed access to inspect all stormwater treatment measures on an annual basis.
9. **Exterior Lighting:** All exterior lighting must conform to Architectural Review Guidelines No. 10, 11, and 12.
10. **Conditions of Approval in Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.
11. **Plans:** A set of plans printed to scale must be submitted to CEDD prior to issuance of a building permit.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes approval of Architectural Permit (AP) 16-308 to allow the removal of a 2-car carport of 618 square feet to be rebuilt with a 2-car garage of 453 square feet, a third-story balcony

of 204 square feet, a change in exterior siding material including stone façade along Pine Avenue, and interior remodel.

- 3. This permit shall become effective upon the expiration of the 10-day appeal period.
- 4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 14th of June, 2016, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

Rick Steres, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Kathryn and Kevin Kranen

Date

To: wlao@cityofpacificgrove.org
Subject: from Pacific Grove, CA for Permit # 160308

346 Pine



CITY OF PACIFIC GROVE
Community Development Department – Planning Division
300 Forest Avenue, Pacific Grove, CA 93950
T: 831.648.3190 • F: 831.648.3184 • www.ci.pg.ca.us/cdd
NOTICE OF EXEMPTION FROM CEQA

Property Address/Location: 346-348 Pine, Pacific Grove, CA 93950

Project Description: AP 160308

To allow the removal of a 2-car carport of 618 square feet to be rebuilt by a 2-car garage of Description: 453 square feet, a third-story balcony of 204 square feet, a change in exterior siding material including stone façade along pine avenue, and interior remodel

APN: 006265008000

ZC: R-2

Lot Size: 3,600 sf

Applicant Name: Kathryn Kranen Phone #: 650.224.1666
Mailing Address: 35 Elmwood Place. Menlo Park, CA 94025
Email Address: kathryn@kranen.com

Public Agency Approving Project: City of Pacific Grove, Monterey County, California

Exempt Status (Check One):

- Ministerial (Sec. 21080(b)(1):15268))
- Declared Emergency (Sec. 21080(b)(3): 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption
Type and Section Number: 15301
- Statutory Exemption
Type and Section Number:
- Other:

Exemption Findings:

The project includes the removal of 618 square feet and the addition of 453 square feet, and therefore qualifies for a Class 1 Exemption from CEQA requirements, pursuant to Section 15301 – Existing Facilities. The proposed alterations do not present any unusual circumstances that would result in a potentially significant environmental impact.

Contact: Wendy Lao, Planning Department, City of Pacific Grove

**MONTEREY PENINSULA WATER MANAGEMENT DISTRICT
RESIDENTIAL WATER RELEASE FORM AND WATER PERMIT APPLICATION**

NOTE: When approved and signed by the jurisdictions, this form must be submitted with final and complete Construction Plans to:

Monterey Peninsula Water Management District Permit Office
5 Harris Court, Bldg. G ♦ Monterey, CA 93940 ♦ (831) 658-5601 ♦ www.mpwmd.net ♦ Fax (831) 644-9558
Completing the Water Release Form & Water Permit Application does not guarantee issuance of a Water Permit.

ALL SPACES BELOW MUST BE COMPLETED OR THE APPLICATION MAY NOT BE PROCESSED. (Please print firmly)

1. OWNERSHIP INFORMATION:

Name: Kevin and Kathryn Kranen Family Trust
Daytime telephone: 650-224-1666 (Kathryn)
Mailing Address: 35 Elmwood Place
Menlo Park, CA 94025

2. AGENT/REPRESENTATIVE INFORMATION:

Name: _____
Daytime telephone: _____
Mailing Address: _____

3. PROPERTY INFORMATION:

What year was the house constructed? 1961 Existing Square-footage 2580 Proposed Square-footage 2426
Address: 346 & 348 Pine Avenue, Pacific Grove, CA 93950 (Duplex) Assessor Parcel Number 006-265-008-000
Is a water meter needed? (Circle one) YES NO If yes, how many meters are requested? _____
Water company serving parcel: Cal Am Water Account Number: 1015-220012745209

NOTE: Separate water meters are required for each User. Residential uses require separate meters for all auxiliary housing that includes a kitchen.

4. PROJECT DESCRIPTION (Be thorough and detailed):

Interior remodel, eliminating one bedroom from each unit and adding one full bath to each unit. Building a 2-car garage in place of existing carport.
Replacing all old appliances and toilets with high-efficiency models.

5. INSTRUCTIONS: Table #1 should list the fixtures on the property as they exist before the project. Table #2 should reflect all fixtures on the property after the project is completed. Only one Master Bathroom can be designated per dwelling unit.

Table No. 1 Existing Property Fixture Count
(All fixtures before project)

Type of Fixture	Fixture	Value	Count
Washbasin	<u>2</u>	x 1.0 =	<u>2</u>
Two Washbasins in the Master Bathroom*		x 1.0 =	
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)	<u>2</u>	x 1.8 =	<u>3.6</u>
Toilet, High Efficiency (HET)		x 1.3 =	
Toilet, Ultra High Efficiency (UHET)		x 0.8 =	
Urinal, High Efficiency (HEU) (0.5 gallon-per-flush)		x 0.5 =	
Zero Water Consumption Urinal*		x 0.0 =	
Masterbath (one per Dwelling): Tub & Separate Shower*		x 3.0 =	
Large Bathtub (may have Showerhead above)		x 3.0 =	
Standard Bathtub or Shower Stall (one showerhead)	<u>2</u>	x 2.0 =	<u>4</u>
Shower, each additional fixture (heads, body spray)		x 2.0 =	
Shower system, Rain Bars or Custom Shower (specs)		x 2.0 =	
Kitchen Sink (with optional Dishwasher)	<u>2</u>	x 2.0 =	<u>4</u>
Kitchen Sink with High Efficiency Dishwasher		x 1.5 =	
Dishwasher, each additional (with optional sink)		x 2.0 =	
Dishwasher, High Efficiency (with opt. sink)		x 1.5 =	
Laundry Sink/Utility Sink (one per Site)	<u>1</u>	x 2.0 =	<u>2</u>
Clothes Washer	<u>2</u>	x 2.0 =	<u>4</u>
Clothes Washer, (HEW) 5.0 water factor or less		x 1.0 =	
Bidet		x 2.0 =	
Bar Sink		x 1.0 =	
Entertainment Sink		x 1.0 =	
Vegetable Sink		x 1.0 =	
Swimming Pool (each 100 sq-ft of pool surface)		x 1.0 =	
Other		x =	
Other		x =	
Other		x =	

* Use this fixture count if a previous Permit was issued under Ordinance 80 to utilize the Master Bathroom Credit. (Tub may be large.) See District staff for more information.

Table No. 2 Post Project Fixture Count
(All fixtures after project)

Type of Fixture	Fixture	Value	Count
Washbasin	<u>4</u>	x 1.0 =	<u>4</u>
Two Washbasins in the Master Bathroom		x 1.0 =	
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)		x 1.8 =	
Toilet, High Efficiency (HET)		x 1.3 =	
Toilet, Ultra High Efficiency (UHET)	<u>4</u>	x 0.8 =	<u>3.2</u>
Urinal, High Efficiency (HEU) (0.5 gallon-per-flush)		x 0.5 =	
Zero Water Consumption Urinal*		x 0.0 =	
Masterbath (one per Dwelling): Tub & Separate Shower*		x 3.0 =	
Large Bathtub (may have Showerhead above)		x 3.0 =	
Standard Bathtub or Shower Stall (one showerhead)	<u>4</u>	x 2.0 =	<u>8</u>
Shower, each additional fixture (heads, body spray)		x 2.0 =	
Shower system, Rain Bars or Custom Shower (specs)		x 2.0 =	
Kitchen Sink (optional dishwasher)		x 2.0 =	
Kitchen Sink with High Efficiency Dishwasher	<u>2</u>	x 1.5 =	<u>3</u>
Dishwasher, each additional (optional sink)		x 2.0 =	
Dishwasher, High Efficiency (with opt. sink)		x 1.5 =	
Laundry Sink/Utility Sink (one per Site)		x 2.0 =	
Clothes Washer		x 2.0 =	
Clothes Washer, (HEW) 5.0 water factor or less	<u>2</u>	x 1.0 =	<u>2</u>
Bidet		x 2.0 =	
Bar Sink		x 1.0 =	
Entertainment Sink		x 1.0 =	
Vegetable Sink		x 1.0 =	
Instant-Access-Hot-Water System (fixture credit)	<u>2</u>	x <0.5> =	<u><1></u>
New Connection - Refer to District Rule 24-A5 "Exterior Residential Water Demand Calculations"		x =	
Subtotal proposed fixtures			
Swimming Pool (each 100 sq-ft of pool surface)		x 1.0 =	

EXISTING FIXTURE UNIT COUNT

TOTAL = 19.6

PROPOSED FIXTURE UNIT COUNT

TOTAL = 19.2

DEED RESTRICTION REQUIRED FOR ALL WATER PERMITS - PERMIT PROCESS MAY TAKE UP TO THREE WEEKS

In completing the Water Release Form, the undersigned acknowledges that any discrepancy or mistake may cause rejection or delay in processing of the application. Additionally, the undersigned is responsible for accurately accounting for all water fixtures. If the fixture unit count changes without notification to the District, or if a difference in fixtures is documented upon official inspection, Water Permits for the property may be canceled. In addition, water fixtures installed without a Water Permit may cause for interruption of the water service to the Site, additional fees and penalties, the imposition of a lien on the property, and deduction of water from the local Jurisdiction's Allocation. The property owner/Applicant is required to notify the District and provide Construction Plans as appropriate for each change in the Project made prior to use or occupancy that may affect the Project's Capacity to use water.

6. I certify, under penalty of perjury, that the information provided on this Water Release Form & Water Permit Application is to my knowledge correct, and the information accurately reflects water use presently planned for this property.

Signature of Owner/Agent: Kathryn Kranen Date: 4/20/16 Location Where Signed: Pacific Grove, CA
Print Name: Kathryn Kranen File or Plan Check Number: _____

AUTHORIZATION FOR WATER PERMIT - JURISDICTION USE ONLY

_____ AF Paralta Allocation _____ AF Public Credits _____ AF Second Bathroom Protocol
_____ AF Pre-Paralta Credits _____ WDS (Private Well) _____ Water Entitlement _____ No water needed

Notes: _____ Authorized by: _____ Date: _____

This form expires one year from date of authorization for this project by the jurisdiction.

White copy-MPWMD

Yellow copy-applicant

Pink copy-jurisdiction



346 – 348 PINE AVENUE
PROPOSED REMODEL



Existing building



APN: 006-265-008-000
Lot Size: 3600 (see attachment)

Owners: Kathryn and Kevin Kranen
(650)224-1666, kathryn@kranen.com

BACKGROUND

The duplex at 346-348 Pine Avenue was built in 1961 and purchased by the Kranens in February 2016. Each of the two living units, 346 (downstairs) and 348 (upstairs), currently has 3 bedrooms and 1 bath. The 2-car carport that serves as a deck for the downstairs unit is structurally unsound and infested with termites.

SCOPE OF REMODEL

The Kranens plan a major interior remodel, adding a full bath, removing a bedroom, and changing locations of kitchen and living areas in both units. (Water credits have been confirmed with MPWMD.) New Andersen 100-Series windows and doors will be installed, in new locations due to the modified interior layout.

A new garage with membrane rooftop patio will replace the old carport/deck. The garage footprint is smaller than the cantilevered carport deck. The addition of the garage results in total floor area of 2,426 s.f.

A cantilevered balcony deck off the upstairs unit will be added. Stainless steel cable railing and composite decking material will be used.

Below are front and rear corner CAD orthographic views of the proposed remodel. Note that some details are missing, such as window sills on the front elevation, gutter on the rear of the garage, front landscaping, and color of the existing roof (light grey).



Examples of exterior design elements are shown on the following page.

346 – 348 PINE AVENUE
EXTERIOR DESIGN ELEMENTS

WALL COVERINGS – Front, Rear, and West walls will use EcoStucco natural limestone plaster. Main walls of the building will be colored Gres Gris (tan) and porch enclosures will be colored Tuffeau (cream), as shown in this photo. East wall will remain stucco and be painted to match.

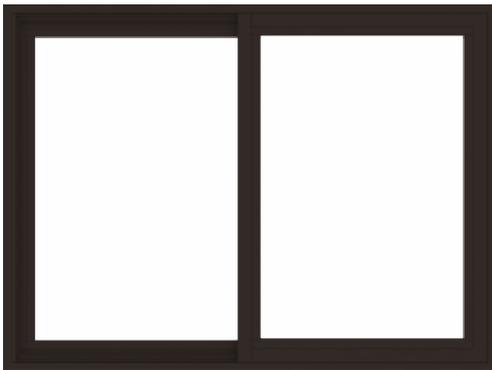
The stone façade on the Front will use LedgerStone in Sahara Sandstone, as shown to the right.



WINDOW SILLS – Windows on the front elevation will have StyroTrim flat window sills, covered in the same limestone plaster as the walls, as shown above.

DECK and BALCONY RAILING – Stainless steel cable railing will be used on upstairs balcony deck. All other railings will use horizontal wooden panels.

WINDOWS AND PATIO DOORS - Andersen 100 Series Gliding Windows and Patio Doors



OUTDOOR LIGHTING

Kichler 49279AZTLED Wesley 2-light LED Wall Sconce – or similar

GARAGE ROOFTOP PATIO – Metacrylic membrane roof/deck in Oak Buff color.

CONFIRMATION OF LOT SIZE: 3600 S.F.

PGparcel.net shows an incorrect lot size of 3,492.84 square feet. The actual parcel maps show a lot size of 60'x60'. The Monterey County Assessor's office confirmed the lot size to be 3,600.

The image shows a screenshot of an email and a software interface. The email is from Emma Rayas (x5930) to Kathryn Kranen, dated Thursday, March 31, 2016 at 7:54 AM. The email text says: "Good morning Kathryn, I have inserted a screen shot of your parcel at 346 Pine Ave, PG. Your lot is: 3600 sq. ft. as you can see there in the Acreage. You do not need to send a check for \$8.00 as there is no fee for this request. Thank you and please contact me if you have any other questions." Below the email is a screenshot of the ASW0100 - Megabyte Property Tax System - County of Monterey. The software interface shows an "Assessor Inquiry" for parcel 006-265-008-000. The status is ACTIVE, owned by KRANEN KEVIN J & KATHRYN D TRS. The address is 346 PINE AVE, PACIFIC GROVE. The lot size is confirmed as 3,600 SqFt. The "Values" table shows a current value of 875,000 and a net value of 875,000.

Values	Taxroll	Current	Aprdate
Land	500,000	500,000	05/28/2015
Structure	375,000	375,000	05/28/2015
Fixtures			
Growing			
Total L&I	875,000	875,000	
FixtureRP			
MHPP			
PP			
Exemption			
Net	875,000	875,000	
Homesite			



Windows



<https://www.andersenwindows.com/-/media/aw/files/brochures/product-guide-100-series-window-door-9045491.pdf>

Andersen 100-Series Gliding Windows, Low-E SmartSun Dual Pane.

Unit U-Factor = 0.29

Unit Solar Heat Gain Coefficient (SHGC) = 0.21

U.S. ENERGY STAR Certified

GENERAL NOTES:

- 1 TYPICAL CONSTRUCTION REQUIREMENT OF THE 2013 CRC SHALL APPLY WHERE APPLICABLE AND WHEN NOT NOTED SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.
- 2 ANY DISCREPANCIES AND OR QUESTIONS SHALL BE REFERRED TO THE DESIGNER AND OR CONSULTANT. REFER ALSO TO THE SPECIFICATIONS WHICH IS NOT PART OF THESE CONSTRUCTION DOCUMENTS.
- 3 VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE SITE AND NOTIFY DESIGNER AND OR OWNER, CONSULTANT OF ANY CONFLICTING DATA PRIOR TO COMMENCING OF WORK. DO NOT SCALE THE DRAWINGS. USE ONLY WRITTEN DIMENSIONS AND DATA FOR THE PURPOSE OF DETERMINING DIMENSIONS AND SAID DATA DURING CONSTRUCTION.
- 4 CONDITIONS OF NOT SPECIFIC DETAIL SHALL CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE TO THE MANUFACTURES SPECIFICATIONS OF THERE SAID MATERIALS AND ITEMS.
- 5 ALL WORKMANSHIP AND METHODS SHALL CONFORM TO THE 2013 CALIFORNIA, UNIFORM PLUMBING(UPC)UNIFORM MECHANICAL CODE(UMC) AND THE NATIONAL ELECTRICAL CODE(NEC) AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA RESIDENTIAL CODE(CRC) AND CALIFORNIA GREEN BUILDING CODE.
- 6 SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE PER STATE AND LOCAL REGULATIONS.
- 7 CONSTRUCTION BRACING: CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL SHORING AND BRACING UNTIL ALL CONSTRUCTION IS COMPLETE.
- 8 TREES LOCATED NEXT TO THE STRUCTURE WHERE CONSTRUCTION WORK IS COMMENCING SHALL BE PROTECTED BY WRAPPING AND SUITABLE PROTECTION ACCORDING TO THE JURISDICTION AND ZONING WHERE CONSTRUCTION IS COMMENCING. THIS SHALL BE IMPLEMENTED PRIOR TO THE COMMENCEMENT OF ALL CONSTRUCTION ACTIVITY.
- 9 DEMOLITION: COORDINATE ALL DEMOLITION REQUIREMENTS WITH OWNER. VERIFY WITH OWNER WHICH SAID ITEMS IF ANY HE OR SHE WISHES TO RETAIN FOR THERE USAGE. ALL OTHER ITEMS BECOME THE SOLE PROPERTY OF THE CONTRACTOR AND ARE TO BE REMOVED FROM THE SITE.
- 10 GFI PROTECTION: ALL 125 VOLT, SINGLE PHASE 15 AND 20 AMP RECEPTACLE OUTLETS INSTALLED OUTDOORS, IN GARAGES, IN BATHROOMS, AND WITHIN SIX FEET OF SINKS AND ABOVE COUNTER TOPS SHALL HAVE A GROUND FAULT CIRCUIT PROTECTION.
- 11 SMOKE DETECTORS: AN APPROVED SMOKE DETECTOR SHALL BE LOCATED IN THE AREA GIVING ACCESS TO ALL BEDROOMS REQUIRED TO BE INSTALLED IN EACH STORY. CARBON MONOXIDE DETECTORS SHALL BE PLACE IN ALL HALLWAYS.
- 12 ALL MANUFACTURES INSTALLATION GUIDES TO BE PRESENTED TO INSPECTOR AT TIME OF FIELD INSPECTION.
- 13 MECHANICAL AND PLUMBING: IT IS THE ESSENCE OF THE CONTRACTOR THAT ALL SYSTEMS SHALL FUNCTION WELL, INDIVIDUALLY AND IN COMBINATION WITH OTHER SYSTEMS. THE CONTRACTOR IS RESPONSIBLE FOR THE PLUMBING LAYOUT FOR ALL FIXTURES AND EQUIPMENT.

ARCHTECTRULRE NOTES:

ALL GLAZING WITHIN 18 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING. ALL GLAZING WITHIN 60 IN. OF TUB OR SHOWER FLOOR, 60 IN. OF A STAIR LANDING OR GREATER THAN 9 SQUARE FEET ARE TO HAVE SAFETY GLAZING
 ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.
 INSULATE ALL ACCESS DOORS/ HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE. UNO ON PLANS.
 ATTIC R-30
 WALLS R-13
 FLOORS R-19
 SPECIAL INSPECTOR QUALIFICATIONS: DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION IN QUESTION. PRIOR TO THE BEGINNING OF CONSTRUCTION, REVIEW THE SPECIAL INSPECTION REQUIREMENTS WITH THE DESIGNER, ENGINEER, BUILDING OFFICIAL, GENERAL CONTRACTOR AND SPECIAL INSPECTORS.
 DUTIES OF THE SPECIAL INSPECTOR INCLUDE, BUT ARE NOT LIMITED TO:
 OBSERVE THE WORK FOR CONFORMANCE WITH THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS. BRING DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE GENERAL CONTRACTOR FOR BUILDING OFFICIAL.
 FURNISH INSPECTION REPORTS FOR EACH INSPECTION TO THE BUILDING OFFICIAL, DESIGNER, ENGINEER, GENERAL CONTRACTOR AND OWNER IN A TIMELY MANNER.
 SUBMIT A FINAL REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS INSPECTED, AND WHETHER THE WORK IS IN CONFORMANCE WITH THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS.
 DUTIES OF THE GENERAL CONTRACTOR INCLUDE, BUT ARE NOT LIMITED TO:
 NOTIFY SPECIAL INSPECTOR THAT WORK IS READY FOR INSPECTION AT LEAST 24 HOURS BEFORE THE INSPECTION IS REQUIRED.
 MAINTAIN ACCESS TO WORK REQUIRING SPECIAL INSPECTION UNTIL IT HAS BEEN OBSERVED AND INDICATED TO BE IN CONFORMANCE BY THE SPECIAL INSPECTOR AND APPROVED BY THE BUILDING OFFICIAL.
 PROVIDE THE SPECIAL INSPECTOR WITH ACCESS TO APPROVED PERMIT DRAWINGS AND SPECIFICATIONS AT THE JOB SITE.
 MAINTAIN JOB-SITE COPIES OF ALL REPORTS SUBMITTED BY THE SPECIAL INSPECTOR.
 CONTINUOUS INSPECTION: THE SPECIAL INSPECTOR IS OBSERVING THE WORK REQUIRING SPECIAL INSPECTION AT ALL TIMES.
 PERIODIC INSPECTION: THE SPECIAL INSPECTOR IS ON SITE AS REQUIRED TO CONFIRM THAT THE WORK REQUIRING SPECIAL INSPECTION IS IN CONFORMANCE.
 ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THEN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
 PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS.
 SPECIFIC MANUFACTURES AND MODEL NUMBERS SHOWN ON THE PLANS ARE INDICATIONS OF QUALITY ONLY.
 THE OWNER/BUILDER SHALL NOT BE PROHIBITED FROM SUBSTITUTING MATERIALS AND/OR APPLIANCES OF EQUAL QUALITY/STRENGTHS FROM NON-SPECIFIED MANUFACTURERS.
 THE OWNER/BUILDER SHALL NOT BE SUBSTITUTING MATERIALS PROVIDED THEY MEET CURRENT BLDG. CODE, AND ARE APPROVED FOR THAT SPECIFIC USE BY THE BUILDING OFFICIAL.

PLUMBING.

ALL SHOWERHEADS SHALL PROVIDE A MAXIMUM FLOW OF 2.0 GALLONS PER MINUTE.
 ALL TOILETS SHALL USE A MAXIMUM OF 1.28 GALLONS PER FLUSH.
 PROVIDE FAUCET AERATORS THAT PROVIDE A MAXIMUM FLOW OF 2.2 GALLONS PER MINUTE.

INSULATION

ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THEN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
 PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS.
 SPECIFIC MANUFACTURES AND MODEL NUMBERS SHOWN ON THE PLANS ARE INDICATIONS OF QUALITY ONLY. THE OWNER/ BUILDER SHALL NOT BE PROHIBITED FROM SUBSTITUTING MATERIALS AND/OR APPLIANCES OF EQUAL QUALITY/ STRENGTHS FROM NON-SPECIFIED MANUFACTURERS.
 THE OWNER/BUILDER SHALL NOT BE SUBSTITUTING MATERIALS PROVIDED THEY MEET CURRENT BLDG. CODE, AND ARE APPROVED FOR THAT SPECIFIC USE BY THE BUILDING OFFICIAL

COMPLIANCE.

- 1 THIS PROJECT SHALL COMPLY WITH THE 2013 CALIFORNIA BUILDING CODE, WHICH ADOPTS THE CURRENT IBC, UPC AND THE NEC CODES, 2013 CRC CODE. 2013 CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE(CMC), CALIFORNIA ELECTRICAL CODE (CEC, CALIFORNIA FIRE CODE (CFC), CALIFORNIA GREEN BUILDING CODE (CGBC) AND THE CALIFORNIA STATE ENERGY CODE.
- 2 ALL NEW WINDOWS AND PATIO DOORS SHALL BE OF COMPOSITE'S BY *ANDERSON SERIES 100 TYP* U FACTOR = .30, SHGC = .23
- 3 TREE PROTECTION TO BE IN PLACE PRIOR TO ANY PERMITS BEING ISSUED.
- 4 PROVIDE A SINGLE GAS DIAGRAM TO THE CITY BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO CALLING FOR ANY ROUGH INSPECTIONS.
- 5 PROVIDE SAFETY SCREENS IF THE SKYLIGHTS ARE MORE THAN 12 FT. ABOVE THE WALKING SURFACE BELOW.
- 6 ANY DISCREPANCIES AND OR QUESTIONS SHALL BE REFERRED TO THE DESIGNER AND OR OWNER.
- 7 REFER ALSO TO THE SPECIFICATIONS WHICH IS PART OF THESE CONSTRUCTION DOCUMENTS.
- 8 VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AT THE SITE AND NOTIFY OWNER OF ANY VARIATIONS OR CONFLICTING DATA PRIOR TO COMMENCING WORK. DO NOT SCALE DRAWINGS. USE ONLY WRITTEN DIMENSIONS AND DATA, FOR THE PURPOSE OF DETERMINING DIMENSIONS AND SAID DATA DURING CONSTRUCTION.
- 9 CONDITIONS NOT OF SPECIFIC DETAIL SHALL CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE TO THE MANUFACTURERS SPECIFICATIONS OF THERE SAID MATERIALS AND ITEMS. ALL MATERIAL, WORKMANSHIP & METHODS SHALL CONFORM TO THE 2013 CALIFORNIA , UNIFORM PLUMBING (UPC), UNIFORM MECHANICAL CODE (UMC), AND THE NATIONAL ELECTRICAL CODE (NEC) AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA TITLE 24 , CALIFORNIA ELECTRICAL CODE, CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA GREEN BUILDING CODE. SAFETY : THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE, PER STATE AND LOCAL REGULATIONS AND OSHA SAFETY REGULATIONS.
- 10 CONSTRUCTION BRACING: CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL SHORING AND BRACING UNTIL ALL CONSTRUCTION IS COMPLETE. THE PROJECT SHALL HAVE A POSTED ADDRESS. TO BE POSTED AT THE END OF DRIVEWAYS , ENTRANCES , AND ENTRANCES TO THE PROPERTY. TREES LOCATED NEXT TO STRUCTURES WHERE CONSTRUCTION WORK IS COMMENCING SHALL BE PROTECTED BY WRAPPING AND SUITABLE PROTECTION ACCORDING TO CITY, COUNTY, AND STATE REGULATIONS. PRIOR TO COMMENCEMENT OF WORK.

DO NOT SCALE DRAWINGS.

1 CONTRACT DOCUMENTS WHICH DESCRIBE EXISTING CONSTRUCTION HAVE BEEN BASED ON FIELD INSPECTION, BUT ARE NOT BASED ON EXTENSIVE FIELD MEASUREMENTS. OPENING OF CONCEALED CONDITIONS OR EXCAVATION OF BURIED ITEMS. NO RELIABLE CONSTRUCTION DOCUMENTS FOR THE EXISTING STRUCTURE WERE AVAILABLE. THESE DRAWINGS ARE INTENDED AS A GUIDE TO THE CONTRACTOR WHO SHALL VERIFY DIMENSIONS BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE DESIGNER BEFORE PROCEEDING WITH WORK REGARDING CHANGES, DISCREPANCIES OR ALTERATIONS THAT ARE INCONSISTENT WITH THESE DRAWINGS. NOTIFY THE DESIGNER IMMEDIATELY OF PRE-EXISTING CONDITIONS WHICH PROHIBIT EXECUTION OF WORK AS DESCRIBED HEREIN.

- 2 FLOOR ELEVATIONS = TOP OF PLYWOOD SUB-FLOOR OR TOP OF SLAB.
- 3 ALL WALLS DIMENSIONED TO FACE OF STUD (UNLESS OTHERWISE NOTED).
- 4 ALL BEAMS HELD UP AND CONCEALED IN CEILING (UNLESS OTHERWISE NOTED).
- 5 ALL FLASHING AND SHEET METAL TO COMPLY WITH S.M.A.C.N.A. STANDARDS.
- 6 ANY SMOKE DETECTOR SHALL BE AUDIBLE IN SLEEPING AREAS AND HARDWIRED AND INTERCONNECTED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. SEE FLOOR PLAN FOR LOCATIONS.
- 7 ALL OPENINGS SHALL BE CAULKED, SEALED OR WEATHER STRIPPED.
- 8 BATT INSULATION TEARS SHALL BE JOINT SEALED WITH TAPE.
- 9 ALL BATHROOM FANS SHALL VENT TO THE EXTERIOR.
- 10 NEW CONSTRUCTION TO MATCH EXISTING DETAILS AND FINISHES. WHERE NEW CONSTRUCTION MEETS EXISTING CONSTRUCTION, PATCH AND MATCH SURFACES AND FINISHES TO ALIGN CONSISTENTLY SO NO VISUAL EVIDENCE OF CORRECTED WORK REMAINS UPON COMPLETION.

KITCHEN AND CABINETS.

ALL CABINETS ITO BE CONFIRMED WITH HOME OWNER PRIOR TO ORDERING.
 CONFIRM DOOR & DRAWER STYLES WITH HOME OWNER PRIOR TO ORDERING.
 INSTALL HARDWARE ON SITE.
 OWNER TO CONSULT KITCHEN DESIGNER WITH LAYOUTS AND STYLES.
 INSTALL HOOD AND ALL APPLIANCES PER MANUFACTURER SPECIFICATIONS.
 ALL APPLIANCES TO BE ON DEDICATED CIRCUITS.
 USE MIN 6" DUCT FOR HOOD.
 CONFIRM FINAL MATERIALS FOR BACKSPASH AND COUNTERTOP WITH HOME OWNER PRIOR TO ORDERING.

MANAGEMENT

- 1 HOMEOWNER WILL TAKE NECESSARY PRECAUTIONS TO REMOVE OR RELOCATE ITEMS OF VALUE TO BE REUSED AND/ OR SAVED, OR IN ANY DANGER OF BEING DAMAGED DUE TO CONSTRUCTION PROCESS.
- 2 HOMEOWNER & CONTRACTOR: TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES, AND GRADE REQUIREMENTS.
- 3 CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.

EXTERIOR FINISHES

EXTERIOR FINISH TO BE OF SIMILAR FINISH OVER 19/32 CDX PLYWOOD/OSB.
 DOWNSPOUTS TO BE COLLECTED AND ROOF RUN OFF TO BE DIRECTED AWAY FROM STRUCTURE PER THE SITE PLAN.

DOOR AND WINDOW NOTE:

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPEN-ABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPEN-ABLE AREA LESS THAN 20" WIDE OR 24" HIGH.
 ALL WALK-THRU DOORS SHALL BE SOLID CORE
 INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING
 EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPEN-ABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60

FIRE SPRINKLERS

1. THE RESIDENCE SHALL BE PROTECTED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM IN COMPLIANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION STANDARD 13D. PLANS FOR THE FIRE SPRINKLERS MUST BE SUBMITTED AND APPROVED BY THE SEASIDE FIRE DEPARTMENT PRIOR TO INSTALLATION. ROUGH IN INSPECTIONS MUST BE COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION FROM THE BUILDING DEPARTMENT.
2. A FIRE ALARM WATER FLOW SWITCH IS REQUIRED ON ALL RESIDENTIAL FIRE SPRINKLER SYSTEMS AND SHALL BE LOCATED SO THAT IT IS AUDIBLE TO THE OCCUPANTS OF THE RESIDENCE. THE FLOW SWITCH SHALL BE WIRED TO THE KITCHEN REFRIGERATOR CIRCUIT.
3. IT IS THE RESPONSIBILITY OF THE APPLICANT TO CHECK WITH THE LOCAL WATER SERVICE COMPANY (CALAM) TO INSURE THE PROPER WATER METER SIZE IS PROVIDED FOR BOTH DOMESTIC AND FIRE SPRINKLER FLOWS. GENERALLY A 1 INCH METER IS REQUIRED.
4. AN INDICATING TYPE VALVE SHALL BE INSTALLED IN A LOCATION WHERE IT SHUTS OFF BOTH THE FIRE SPRINKLERS AND DOMESTIC SYSTEM. THE INDICATING VALVE SHALL BE INSTALLED ABOVE GROUND AND SHALL BE A BALL- TYPE VALVE ONLY. A SEPARATE VALVE FOR THE FIRE SPRINKLER SYSTEM IS NOT REQUIRED.
5. ALL UNDERGROUND PIPING IS TO BE FLUSHED PRIOR TO THE CONNECTION OF ANY SPRINKLER PIPING.

GRADING NOTE:

- 1 CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
- 2 PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
- 3 FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD ROCK CHANNELS AND DISPERSION TRENCHES.
- 4 AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.
- 5 PLACE FILL SLOPES WITH A GRADIENT STEEPER THAT 3:1 IN LIFTS NOT TO EXCEED 8 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED.

STORM WATER MANAGEMENT.

DUST FROM GRADING OPERATIONS MUST BE CONTROLLED. THE OWNER OR CONTRACTOR MAY BE REQUIRED TO KEEP ADEQUATE EQUIPMENT ON THE SITE TO PREVENT DUST PROBLEMS.
 TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1ST AND APRIL 15TH.
 VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY.

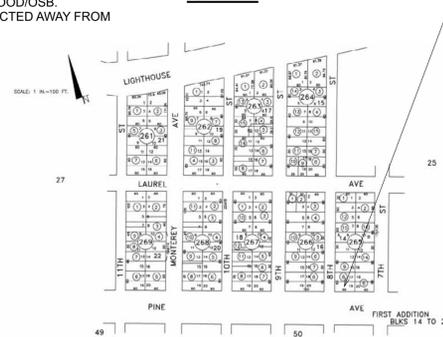
DRAINAGE:

WATER FROM NEW GARAGE SHALL BE DIVERTED THROUGH GUTTER AND DOWNSPOUT TO CEMENT NON PERCOLATING. CATCH BASIN TO BE PUMPED TO GUTTER AT 8TH STREET.

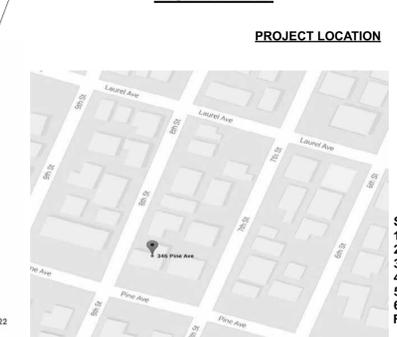
CALCULATIONS TABLE

	Included in Floor Area		Not Included in Floor Area		
	Existing	Proposed	Existing	Proposed	
Basement (Level 1)					
Laundry Room			181	181	* Basement ceiling is 6'9"
Storage Closets (2)				214	
Carport (Existing)	618		136		
Garage (New)		453			
Level 2 (346 Pine)					
Living Area	974	974			
Porch			73	73	
Level 3 (348 Pine)					
Living Area	974	998			* Increasing upstairs living area and reducing porch by ~24 feet
Porch			73	50	
Upper Balcony				204	
Staircase and Landing			99	98	
Total	2566	2425	562	820	

AP MAP



VICINTY MAP



PROJECT LOCATION

- SCOPE OF WORK.**
1. INTERIOR RENOVATION
 2. CHANGE EXISTING CARPORT TO GARAGE
 3. ADD WALK OUT DECK AREA ABV. GARAGE
 4. ADD BALCONY SECTION THIRD LEVEL.
 5. ADD LANDING AREA SECOND LEVEL.
 6. ADD NON STRUCTURAL FACADE WALL TO FRONT OF BUILDING.

NOTES:

PROJECT INFORMATION:
 LOT/BLK:
 1ST ADD TO PACIFIC GROVE LOT 17 & 19 BLK 14
 ZONING: R-2
 SITE AREA: 3,600 S.F
 TREES TO BE REMOVED: NONE
 OCCUPANCY TYPE: R
 CONSTRUCTION TYP: V-B
 BUILDING HEIGHT: 27' -11"
 FIRE SPRINKLERS :YES
 STORIES IN HEIGHT: 2 + BASEMENT
 CODES CA. 2013
 LOT SIZE: 3,600 S.F
 YEAR BUILT: 1961

EXISTING BUILDING COVERAGE :1,510 S.F
 (INCLUDES CARPORT AREA : 535 S.F)
 EXISTING FLOOR AREA : 2,580 S.F
 EXISTING FLOOR AREA RATIO: 72%

PROPOSED BUILDING COVERAGE :1,452 S.F
 (INCLUDES NEW GARAGE AREA: 453 S.F)
 TOTAL FLOOR AREA : 2,426 S.F
 PROPOSED FLOOR AREA RATIO: 67%

SEPARATE PERMITS:

**FIRE DEPT. PACIFIC GROVE
 WATER PERMIT. PACIFIC GROVE**

**NOTE:
 SPRIKLER DIAGRAMS TO BE PROVIDED
 PRIOR TO ISSUANCE OF PERMIT. T.D.B**

SHEET INDEX	
LABEL	TITLE
A-1	SITE PLAN
A-2	DEMO AND EXISTING PLAN
A-3	EXISTING FLOOR PLANS
A-4	PROPOSED FLOOR PLANS
A-5	PROPOSED BASEMENT PLAN
A-6	ROOF PLAN
A-7	ELEVATIONS
A-8	ELEVATIONS

REVISIONS			
NO.	DATE	BY	COMMENT

STATUS: PLANNING REVIEW

SHARP & ASSOCIATES
 PO BOX 1852
 MONTEREY CA 93940
 831 275-4604
 sharpdesgroup@gmail.com

OWNER
KATHRYN KRANEN
346 PINE AVE
PACIFIC GROVE CA 93950
(650) 224-1666

SITE: 346 PINE AVE.

TITLE: NOTES, LOCATION, PROJECT DATA

SCALE:	DRAWN BY:	CHECKED
N.T.S	DS <i>[Signature]</i>	DS

PROJECT NO: DM-0.1
APN NO: 006-265-008-000

DATE 5/25/2016
SHEET NO: A-0

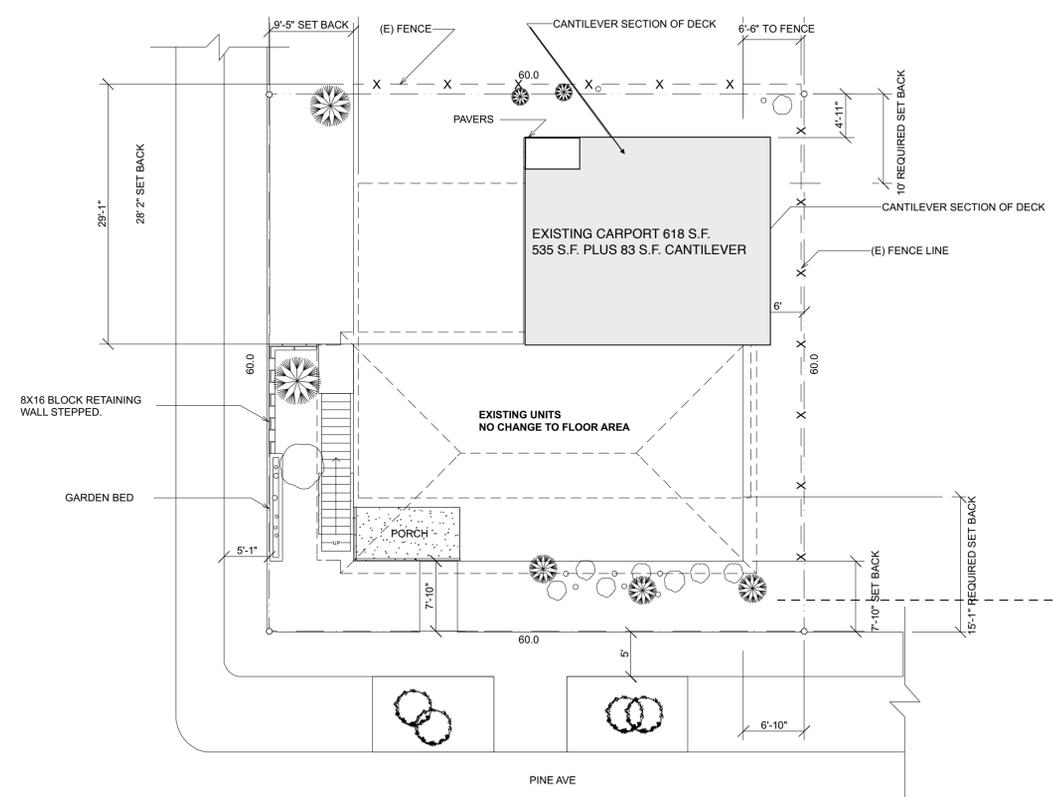
**NO TREE REMOVAL
NO CHANGE TO EXISTING SITE COVERAGE**



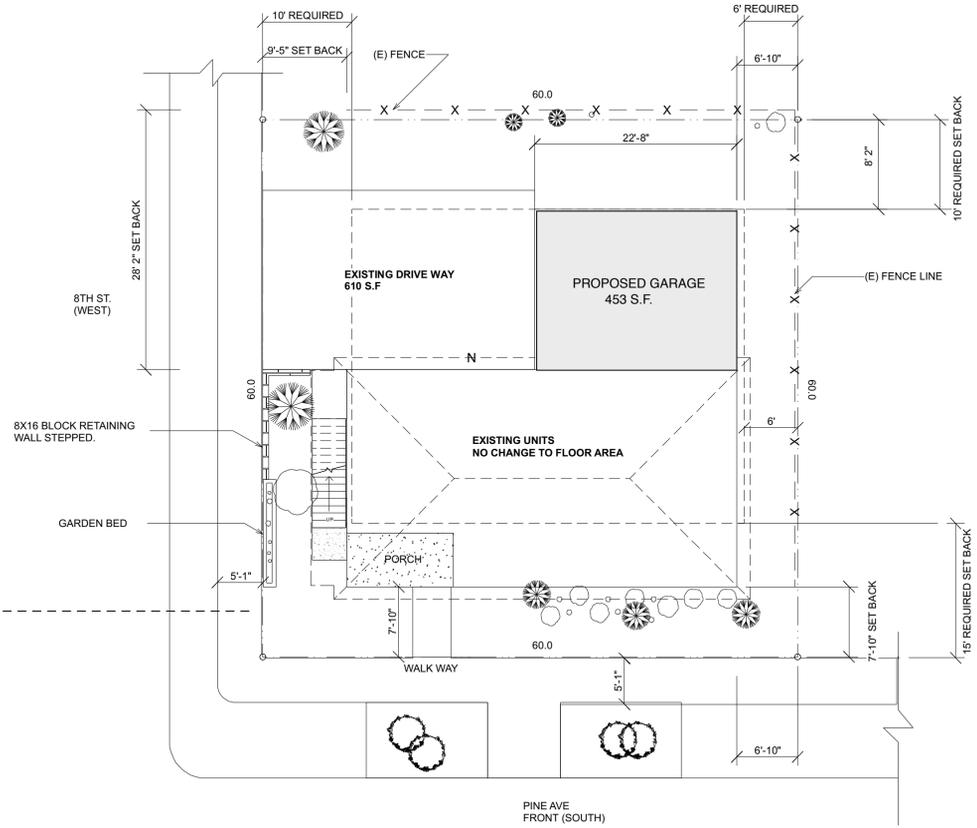
ADJACENT PROPERTY TO THE NORTH

PROPOSED SITE COVERAGE: 1710 s.f. = 47.6%
 Building (inc. porch) 1047
 Garage 453
 Driveway - 400sf 210

PROPOSED BUILDING COVERAGE: 1451 s.f. = 40.3%
 Building 998
 Garage 453



1 EXISTING SITE PLAN SCALE: 1/8" = 1'-0"



2 PROPOSED SITE PLAN SCALE: 1/8" = 1'-0"



0 1 2 3 5 10

NOTES:

- BPM NOTES:**
- DIRT AND GRADING**
MOUNDS OF DIRT SHOULD BE STORED ON SITE AND SPRAYED DAILY WITH WATER TO PREVENT EXCESSIVE DUST DURING THE RAINY SEASON (OCTOBER 15TH-APRIL 15TH) THESE MATERIALS SHOULD BE COVERED FOR THOSE AREAS THAT ARE ACTIVE AND EXPOSED. A WET WEATHER TROUBLESHOOTING ACTION PLAN INCLUDING ADDITIONAL BMPs SHOULD BE IN PLACE TO PROTECT THE SIGHT DURING A RAIN EVENT. SITES MUST HAVE ADEQUATE TRAFFIC CONTROL TO PREVENT THE TRANSPORT OF DIRT / GRAVEL FROM THE SIGHT.
 - TRAFFIC CONTROL PERMITS**
PRIOR TO STAGING ANY MATERIALS OR EQUIPMENT IN THE RIGHT OF WAY (SUCH AS DUMPSTERS AND TRUCKS) CONTACT THE LOCAL APPLICABLE JURISDICTION FOR ANY TEMPORARY ENCROACHMENT PERMIT OR TRAFFIC CONTROL NECESSARY FOR STAGING AND LOADING AREAS. PROVIDE A STABILIZED VEHICLE ACCESS WITH CONTROLLED ACCESS TO PREVENT TRACKING DIRT OFFSITE.
 - BUILDING MATERIALS STAGING**
CONSTRUCTION MATERIALS MUST BE STORED ON SITE. BUILDING MATERIALS SHOULD ALWAYS BE KEPT COVERED WHEN NOT IN USE. FLOODING MUST ALSO BE PREVENTED BY MONITORING THE SITE BEFORE, DURING, AND AFTER A RAIN EVENT TO ENSURE THAT BMPs ARE FUNCTIONING AND THERE ARE NO SAFETY ISSUES.
 - PAINT AND STUCCO**
ALL PAINT AND STUCCO MATERIALS MUST BE CONTAINED AND COVERED. DO NOT WASH BRUSHES AND OR WORK RELATED TOOLS IN THE STORM WATER DRAIN. SAID ITEMS NEED TO BE CLEANED AND WASHED IN A HAZARDOUS DRUM OR BACK INTO THE ORIGINAL CONTAINER AND DISPOSED OF PROPERLY.
 - DUMPSTERS**
ALWAYS COVER DUMPSTERS WITH ROLL BACK TYP TARP. AREAS AROUND DUMPSTERS SHOULD BE SHEET CLEAN DAILY. PERIMETER CONTROLS NEED TO BE IN PLACE IF POLLUTANTS ARE LEAKING OR DISCHARGING FROM THE DUMPSTER.
 - TEMPORARY STOCK PILES**
AREA SHALL BE PROTECTED IN ACCORDANCE WITH THE CALIFORNIA STORM WATER QUALITY HANDBOOK CONSTRUCTION PRACTICES VIA STOCKPILE MANAGEMENT.
 - MULCH**
CUT AND FILL SLOPES AND DISTURBED GROUND WITH TYPE C EROSION CONTROL FIELD DETERMINE EXTENT OF MULCHING.
 - SEE ADDITIONAL EROSION CONTROL NOTES AND DETAILS.**

LEGEND

- - - X - - - FENCE LINE
- - - - - PROPERTY LINE
- - - - - AREA OF NEW WORK
- (E) EXISTING
- (N) NEW
- ⊕ PROPERTY MARKER
- REQUIRED SET BACK ENVELOPE

REVISIONS			
NO.	DATE	BY	COMMENT

STATUS:

SHARP & ASSOCIATES
 PO BOX 1852
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 sharpdesgroup@gmail.com

OWNER
KATHRYN KRANEN
 346 PINE AVE
 PACIFIC GROVE CA 93950
 (650) 224-1666

SITE: 346 PINE AVE.		
TITLE: SITE PLAN		
SCALE: 1/8" = 1'-0"	DRAWN BY: DS <i>[Signature]</i>	CHECKED DS
PROJECT NO: DM-0.1	APN NO: 006-265-008-000	
DATE 5/25/2016	SHEET NO: A-1	

NOTES:

- 1 REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER, THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
- 2 ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
- 3 REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO
- 4 STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC., SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE DESIGNER PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON CONTACT OF DESIGNER PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED.
- 5 ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS TO WHICH THEY SOIL PRESSURE INCLUDING SURCHARGE, HYDROSTATIC HEAD AND PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC. . . TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED. TO BE APPROVED BY OWNER. PATCH EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATES OF DRYWALL COMPOUNDS, SANDED AND LEFT IN A PAINT READY CONDITION. WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING WHEREVER POSSIBLE.

NOTES:

DEMOLITION.
 1 THE CONTRACTOR SHALL TAKE ALL MEASURES THAT ASSURE THE SITE DEMOLITION SHALL NOT HARM ADJOINING PROPERTIES. THERE IS NO TREE REMOVAL AND NO GRADING EXCEPT MINOR WORK. TEMPORARY BRACING, BATTENS, BARRIERS AND GUARD RAILS SHALL BE SECURELY INSTALLED IN SUFFICIENT AND NUMBER AND MANNER TO PREVENT PHYSICAL INJURE TO WORKMAN AND THE PUBLIC. THE SITE SHALL BE MAINTAINED IN A SAFE ORGANIZED CLEAN STATE. DERBIES SHALL BE REMOVED FROM THE SITE DAILY AS NECESSARY.

WALL LEGEND

-  WALLS TO REMAIN
-  WALL TO BE REMOVED

DEMO NOTE:

236 LF. OF INTERIOR WALLS TO BE DEMOLISHED

REVISIONS			
NO.	DATE	BY.	COMMENT

STATUS:



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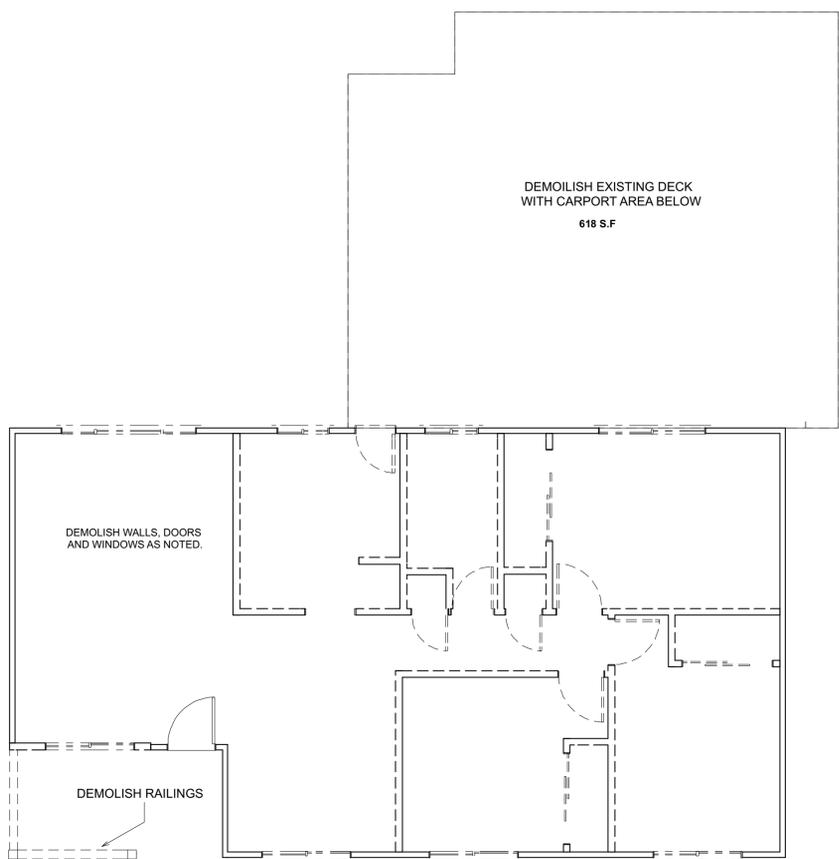
SITE: 346 PINE AVE.

TITLE: DEMO AND EXISTING PLAN

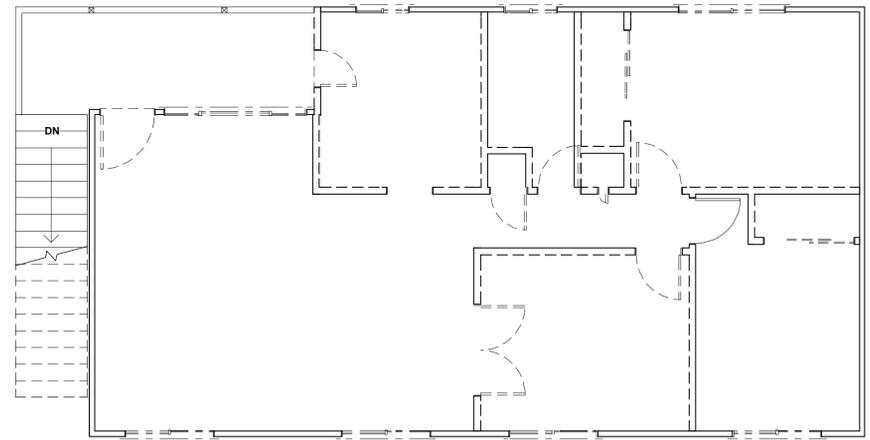
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PROJECT NO: DM-0.1
APN NO: 006-265-008-000

DATE 5/25/2016
SHEET NO: A-2

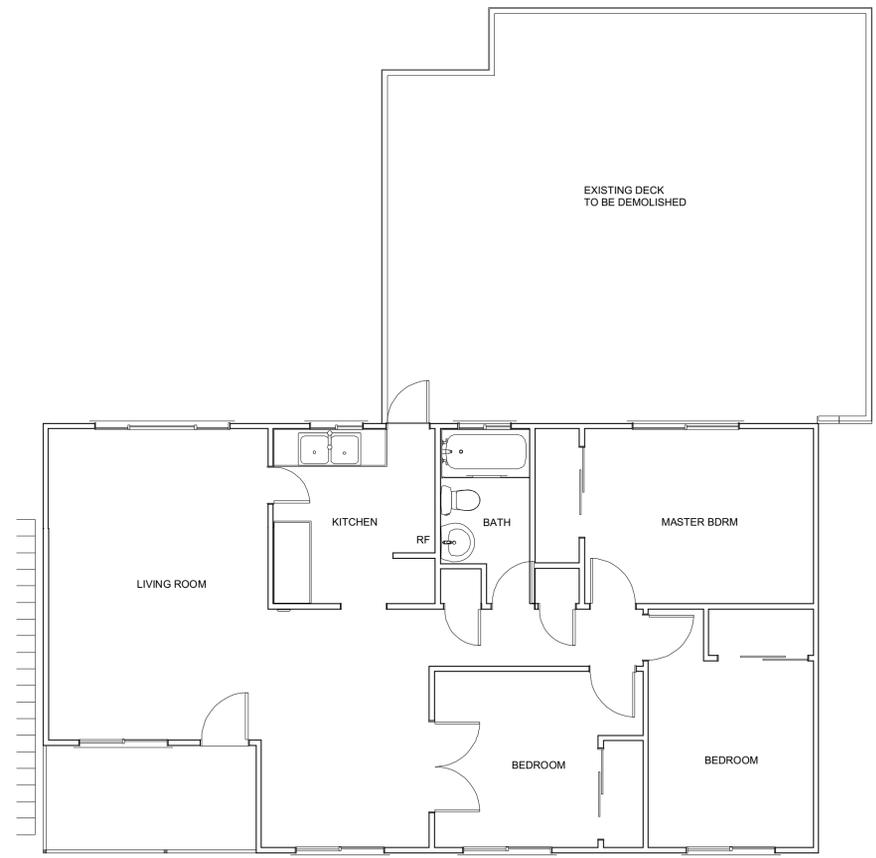


1 DEMO PLAN LEVEL 2 SCALE: 1/4" = 1'-0"



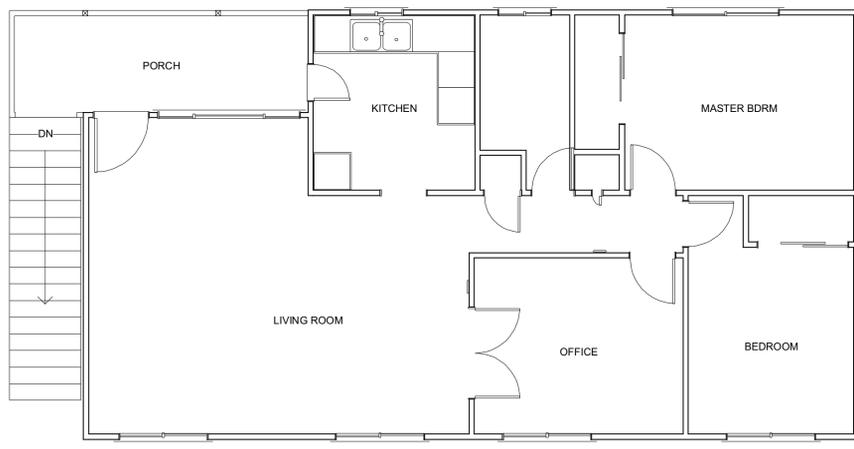
2 DEMO PLAN LEVEL 3 SCALE: 1/4" = 1'-0"





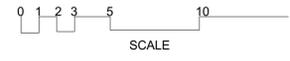
① EXISTING FLOOR PLAN SECOND LEVEL

SCALE: 1/4" = 1'-0"



② EXISTING FLOOR PLAN THIRD LEVEL

SCALE: 1/4" = 1'-0"



NOTES:

REVISIONS			
NO.	DATE	BY.	COMMENT

STATUS:



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SITE:

346 PINE AVE.

TITLE:

EXISTING FLOOR PLANS

SCALE:

DRAWN BY:

DS

CHECKED

DS

PROJECT NO:

DM-0.1

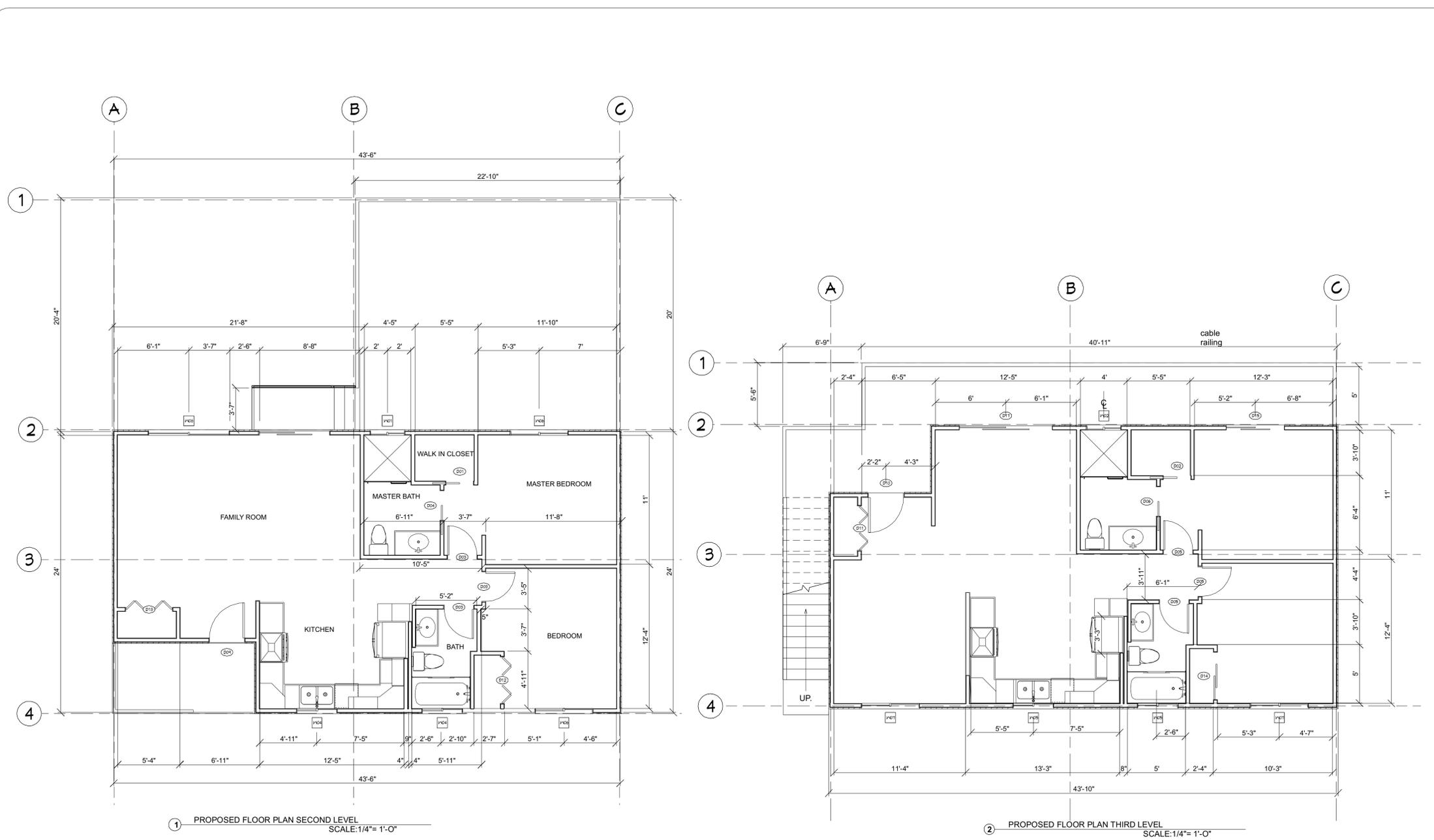
APN NO:

006-265-008-000

DATE
 5/25/2016

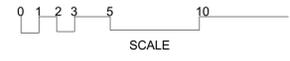
SHEET NO:

A-3



1 PROPOSED FLOOR PLAN SECOND LEVEL
SCALE: 1/4" = 1'-0"

2 PROPOSED FLOOR PLAN THIRD LEVEL
SCALE: 1/4" = 1'-0"



NOTES:

ALL INTERIOR WALLS TO BE OF 2X4 TYP. CONSTRUCTION UNLESS OTHERWISE NOTED. TYP. INSULATIONS R-13, GYPSUMS AND OR PLASTERING ARE OF TYP. FINISHES AND OR TYP. COMPOUNDS USED WITHIN CURRENT CALIFORNIA STATE REGULATIONS AND GREEN BUILDING STANDARDS.

WALL LEGEND

	EXISTING WALL
	NEW WALL

REVISIONS

NO.	DATE	BY	COMMENT

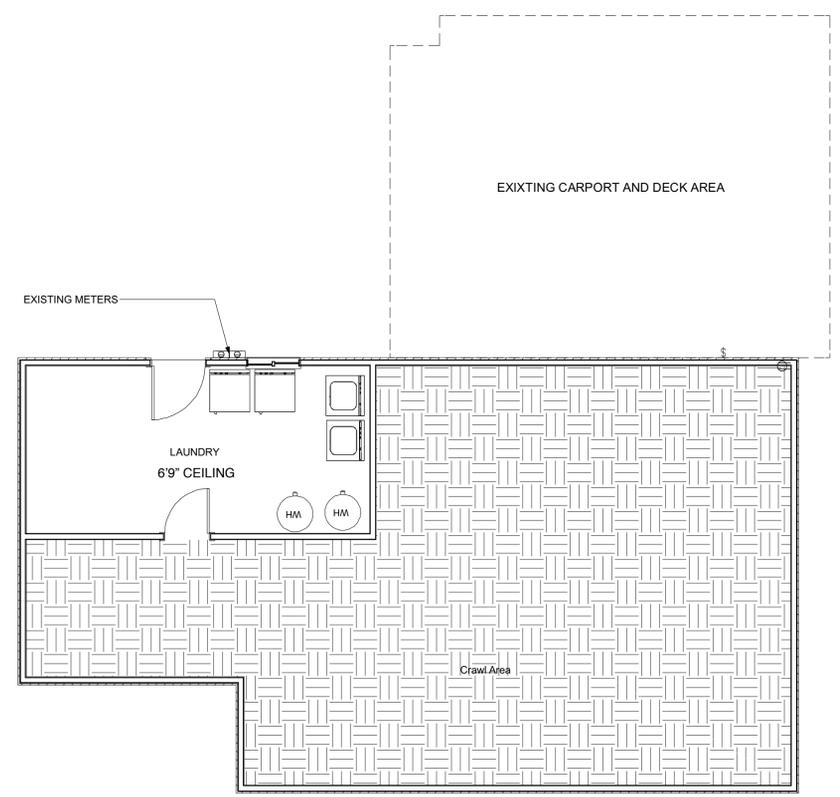
STATUS:

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831 275-4604
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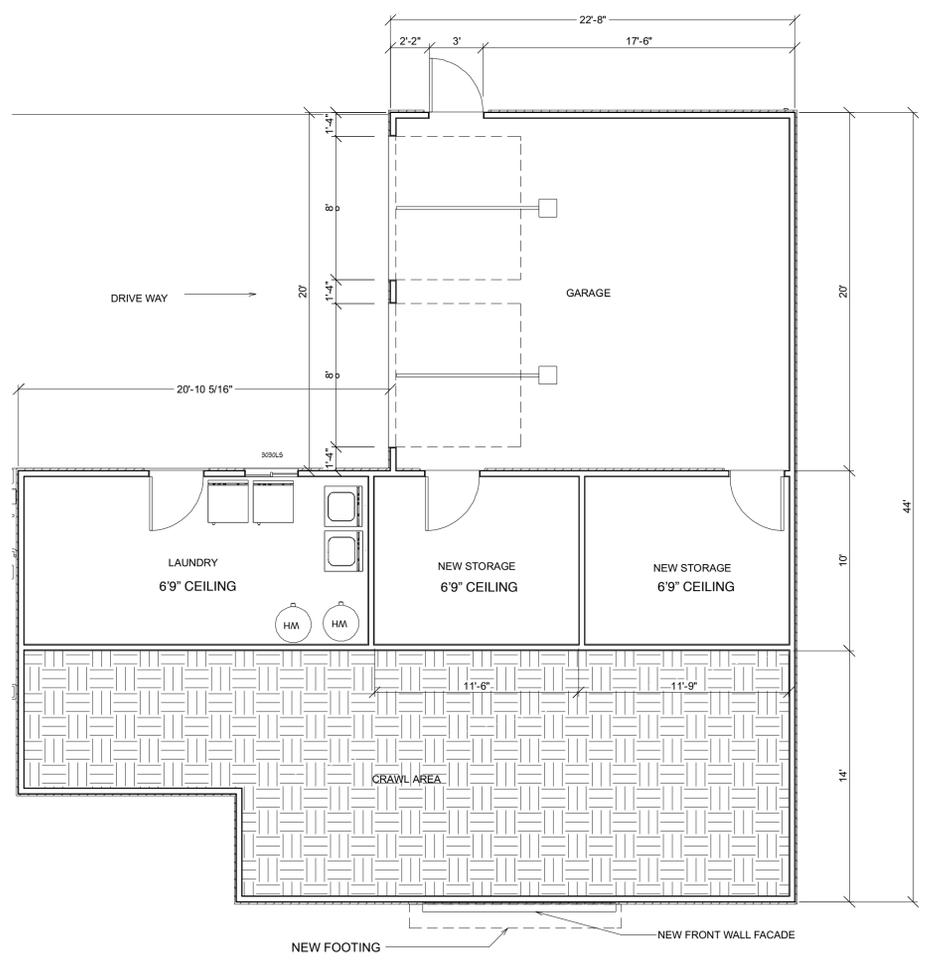
OWNER
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SITE: 346 PINE AVE.		
TITLE: PROPOSED FLOOR PLANS		
SCALE: 1/4" = 1'-0"	DRAWN BY: DS 	CHECKED DS
PROJECT NO: DM-0.1	APN NO: 006-265-008-000	
DATE 5/25/2016	SHEET NO: A-4	

NOTES:



② EXISTING BASEMENT PLAN SCALE: 1/4" = 1'-0"



② PROPOSED BASEMENT PLAN SCALE: 1/4" = 1'-0"



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NO.	DATE	BY.	COMMENT

STATUS:

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SITE: 346 PINE AVE.

TITLE: PROPOSED BASEMENT PLAN

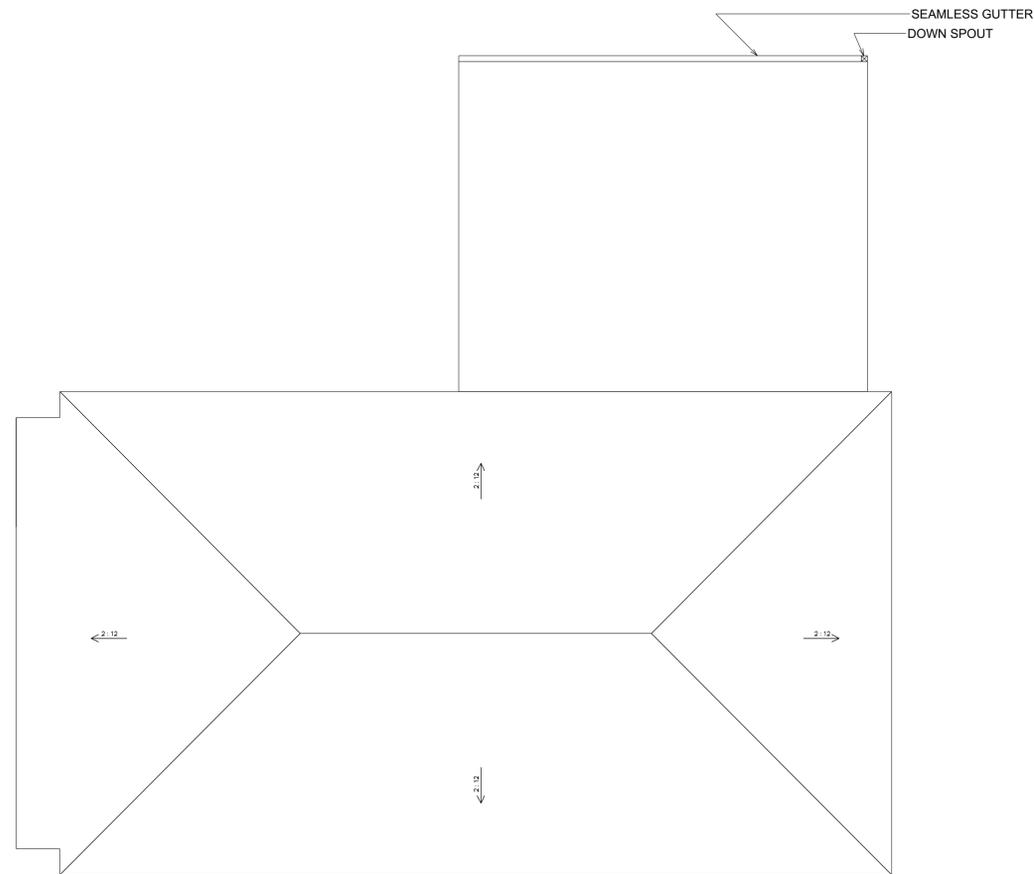
SCALE:	DRAWN BY: DS	CHECKED DS
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PROJECT NO: DM-0.1

APN NO: 006-265-008-000

DATE: 5/25/2016

SHEET NO: **A-5**



① ROOF PLAN SCALE: 1/4" = 1'-0"



NOTES:

KEYNOTES:
 NO CHANGE TO ROOF OF MAIN BUILDING
 GARAGE ROOF TO BE METACRYLICS
 ELASTOMERIC ACRYLIC ROOF COATING
 IN COLOR "OAK BUFF"

REVISIONS			
NO.	DATE	BY	COMMENT

STATUS:



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SITE:

346 PINE AVE.

TITLE:

ROOF PLAN

SCALE:

DRAWN BY:

DS

CHECKED

DS

PROJECT NO:

DM-0.1

APN NO:

006-265-008-000

DATE

5/25/2016

SHEET NO:

A-6



1 EXISTING SOUTH SCALE: N.T.S



2 PROPOSED SOUTH ELEVATION SCALE: 1/8"= 1'-0"



3 EXISTING NORTH SCALE: N.T.S



4 NORTH ELEVATION SCALE: 1/4"= 1'-0"

NOTES:

KEYNOTES:

1. FIRST STORY AND BASEMENT WALLS TO BE ECOSTUCCO LIMESTONE PLASTER IN GRES GRIS (TAN)
2. SECOND STORY AND GARAGE WALLS TO BE ECOSTUCCO LIMESTONE PLASTER IN TUFFEAU (CREAM)
3. PORCHES TO BE CONTRASTING LIMESTONE COLORS - UPPER: GRES GRIS; LOWER: TUFFEAU
4. EAST ELEVATION (EXISTING) STUCCO TO BE PAINTED A COLOR SIMILAR TO GRES GRIS
5. WINDOW SILLS ON SOUTH ELEVATION TO BE STYRO-TRIM 4" IN LIMESTONE TO MATCH WALLS
6. FACADE ON SOUTH ELEVATION TO BE WRAPPED LEDGERSTONE IN COLOR SAHARA SANDSTONE
7. WINDOWS AND DOORS TO BE ANDERSEN 100 SERIES COMPOSITE SLIDERS IN DARK BRONZE
8. ALL RAILING (EXCEPT MAIN STAIRS) TO BE STAINLESS STEEL (360L) CABLE RAILING WITH WOOD POSTS
9. STAIRCASE RAILING TO BE WOODEN BALUSTERS

REVISIONS			
NO.	DATE	BY	COMMENT

STATUS:

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SITE:
 346 PINE AVE.

TITLE:
 ELEVATIONS

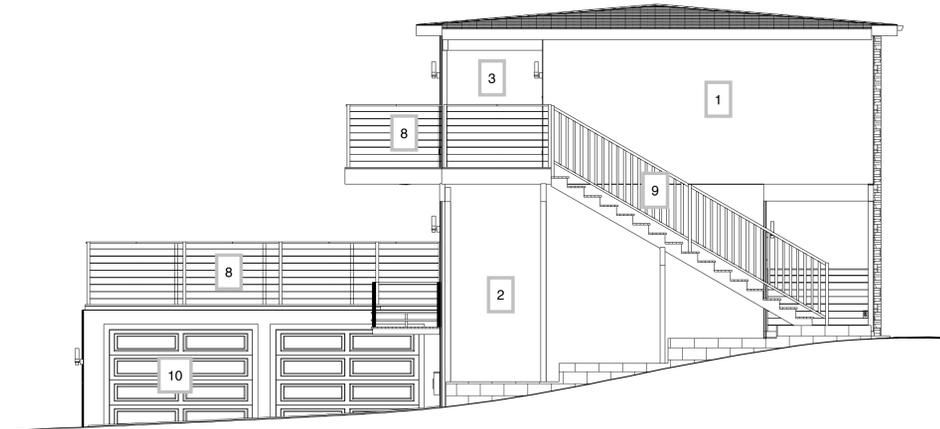
SCALE:	DRAWN BY:	CHECKED
1/4"= 1'-0"	DS <i>DS</i>	DS

PROJECT NO: DM-0.1
APN NO: 006-265-008-000

DATE: 5/25/2016
SHEET NO: A-7



5 EXISTING EAST SCALE: N.T.S



6 PROPOSED EAST ELEVATION SCALE: N.T.S

NOTES:

- EXISTING AND PROPOSED ELEVATIONS
- KEYNOTES:
1. FIRST STORY AND BASEMENT WALLS TO BE ECOSTUCCO LIMESTONE PLASTER IN GRES GRIS (TAN)
 2. SECOND STORY AND GARAGE WALLS TO BE ECOSTUCCO LIMESTONE PLASTER IN TUFFEAU (CREAM)
 3. PORCHES TO BE CONTRASTING LIMESTONE COLORS LOWER: TUFFEAU, UPPER: GRES GRIS
 4. EAST ELEVATION (EXISTING) STUCCO TO BE PAINTED A COLOR SIMILAR TO GRES GRIS
 5. WINDOW SILLS ON SOUTH ELEVATION TO BE STYRO-TRIM 4" IN LIMESTONE COLORS TO MATCH WALLS
 6. FACADE ON SOUTH ELEVATION TO BE WRAPPED LEDGERSTONE IN COLOR SAHARA SANDSTONE
 7. WINDOWS AND DOORS TO BE ANDERSEN 100 SERIES COMPOSITE SLIDERS IN DARK BRONZE
 8. ALL RAILING (EXCEPT STAIRCASE) TO BE STAINLESS STEEL (360L) CABLE RAILING WITH WOOD POSTS
 9. STAIRCASE TO BE WOODEN BALUSTERS
 10. GARAGE DOORS TO BE RAISED PANEL METAL

REVISIONS			
NO.	DATE	BY.	COMMENT

STATUS:


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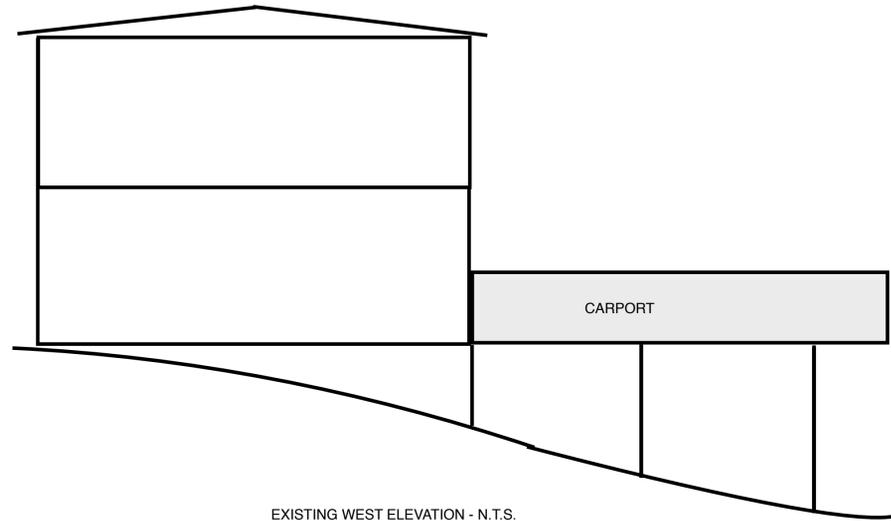
SITE: 346 PINE AVE.

TITLE: ELEVATIONS

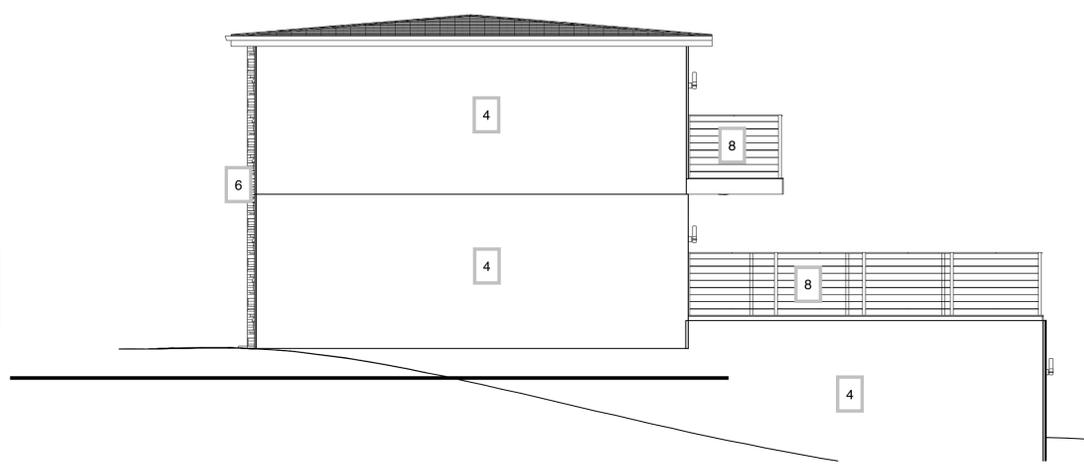
SCALE:	DRAWN BY: DS 	CHECKED DS
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PROJECT NO: DM-0.1	APN NO: 006-265-008-000
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DATE 5/25/2016	SHEET NO: A-8
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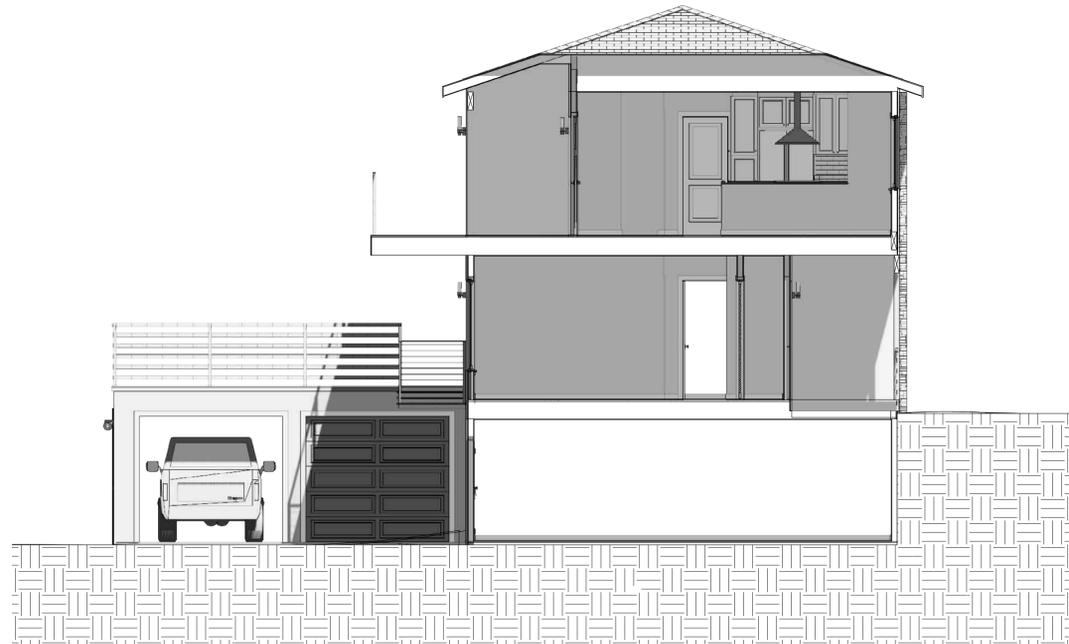
EXISTING WEST ELEVATION - N.T.S.



8 PROPOSED WEST ELEVATION SCALE: 1/4" = 1'-0"



① SECTION VIEW
SCALE: 1/4"= 1'-0"



② SECTION VIEW
SCALE: 1/4"= 1'-0"

NOTES:

KITCHEN ELEVATIONS
AND BUILDING SECTIONS

REVISIONS			
NO.	DATE	BY.	COMMENT

STATUS:



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SITE:

346 PINE AVE.

TITLE:

SECTIONS/ INTERIOR
ELEVATIONS

SCALE:	DRAWN BY:	CHECKED
1/4"= 1'-0"	DS	DS
1/2"= 1'-0"	<i>DS</i>	

PROJECT NO:

APN NO:

DM-0.1

006-265-008-000

DATE
5/25/2016

SHEET NO:
A-9

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

NOTES:

ELECTRICAL

- ALL BATHROOM LIGHTING THAT IS NON FLUORESCENT SHALL HAVE VACANCY SENSOR SWITCHES.
- NEW BATH FANS IN EACH BATH SHALL BE 50 CFM MIN.
- SWITCH ADJACENT TO SINK OPERATES ONE RECEPTACLE OF OUTLET BELOW SINK FOR GARBAGE DISPOSAL.
- SMOKE DETECTORS SHALL BE LOCATED IN HALLWAY AND IN ALL BEDROOMS AS SHOWN.
- ALL LIGHTING (NOT NOTED ABOVE) THAT IS NOT HIGH EFFICIENCY SHALL BE CONTROLLED BY A VACANCY SENSOR OR DIMMER.
- OUTDOOR LIGHTING FIXTURES THAT ARE ATTACHED TO THE BUILDINGS SHALL BE HIGH EFFICIENCY OR CONTROLLED BY A COMBINATION PHOTO-CONTROL/MOTION SENSOR.
- CARBON MONOXIDE DETECTORS SHALL BE PLACED A MINIMUM OF 3 FEET AWAY FROM SUPPLY AND RETURN REGISTERS.
- ALL NEW 15 AND 20 AMP BRANCH CIRCUITS AND RECEPTACLES NOT REQUIRED TO BE (GFCI) PROTECTED SHALL BE PROTECTED BY LISTED COMBINATION (AFCI) DEVICES.
- A MINIMUM OF 100 CFM HOOD AT KITCHEN.
- HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. , A.F.C.I. PER ELECTRICAL CODE REQUIREMENTS.
- PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
- CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
- FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
- FIXTURES TO BE SELECTED BY HOME OWNER.

REVISIONS			
NO.	DATE	BY.	COMMENT

STATUS:



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SITE: 346 PINE AVE.
TITLE: ELECTRICAL

SCALE:	DRAWN BY: DS	CHECKED DS
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PROJECT NO: DM-0.1	APN NO: 006-265-008-000
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DATE 5/25/2016	SHEET NO: E1
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① ELECTRICAL PLAN SCALE: 1/4" = 1'-0"



