

Architectural Design Guidelines:

Guideline # 1: The mass and height of a new building should blend well with neighboring structures and not overwhelm them with disproportionate size or a design that is out of character.

The design complements the existing design and architectural style of the neighborhood.

Guideline #: The location and size of the garage should not dominate the street view of the structure.

The proposed garage is located toward the rear of the site which reduces its impact on the streetscape.

Guideline #21: The design and siting of a dwelling should take into consideration all existing trees in order to avoid unneeded cutting and trimming.

The proposed addition and design maintains all the existing trees and creates a Stormwater and landscaping plan.

Guideline #24: A new structure should appear similar in scale to those seen as traditional in the neighborhood.

The proposed addition and design enhances the rhythm and scale of the existing neighborhood streetscape through the use of similar proportions.

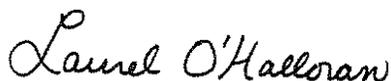
ENVIRONMENTAL REVIEW

The project qualifies for a Class 1 exemption from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The proposed alterations do not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS

1. Draft AP
2. Application materials
3. Project Plans

RESPECTFULLY SUBMITTED:



Laurel O'Halloran, Associate Planner



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Application # AP 16 212 **Item 7a**
 Date: 3-16-16
 Total Fees: \$3,256.50
 Received by: _____

APPLICANT/OWNER:	Project Address: <u>925 Jewell Ave</u>	APN: <u>006-131-008</u>
	Project Description: <u>Re-build new 2,186 SF. (1) story SFD w/ detached 3-car garage of 277 SF., 1331 SF. new patios, 349 SF. new walkways, & 3,183 SF. Impervious pavers driveway</u>	
	Applicant Name: <u>Aaron Tollefson</u>	Owner Name: <u>Mr. & Mrs. Randy Draper</u>
	Applicant Phone: <u>(831) 578-3450</u>	Owner Phone: <u>(831) 372-4188</u>
	Applicant Email: <u>aarontolley@sbcglobal.net</u>	Owner Email: _____
	Applicant Mailing Address: <u>957 Angelus Way Del Rey Oaks, CA 93940</u>	Owner Mailing Address: <u>925 Jewell Avenue Pacific Grove, CA 93950</u>

Permit Request:

<input type="checkbox"/> CRD: Counter Determination	<input type="checkbox"/> AUP: Administrative UP	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> AVAR: Administrative VAR
<input checked="" type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> UP-A: UP Amendment	<input type="checkbox"/> HPP: Historic Preservation	<input type="checkbox"/> VAR-A: VAR Amendment
<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> AUP-A: AUP Amendment	<input type="checkbox"/> HD: Historic Determination	<input type="checkbox"/> AVAR-A: AVAR Amendment
<input type="checkbox"/> ADC: AP Design Change	<input type="checkbox"/> SU: Second Unit	<input type="checkbox"/> TPD: Tree Permit W/ Dev't	<input type="checkbox"/> MMP: Mitigation Monitoring
<input type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> PUU: Undocumented Unit	<input type="checkbox"/> Stormwater Permit
<input type="checkbox"/> UP: Use Permit	<input type="checkbox"/> LM: Lot Merger	<input type="checkbox"/> VAR: Variance	<input type="checkbox"/> Other:

PLANNING STAFF USE ONLY:	CEQA Determination:	Review Authority:	Active Permits:	Overlay Zones:
	<input checked="" type="checkbox"/> Exempt <input type="checkbox"/> Initial Study & Mitigated Negative Declaration <input type="checkbox"/> Environmental Impact Report	<input type="checkbox"/> Staff <input type="checkbox"/> ZA <input type="checkbox"/> SPRC <input checked="" type="checkbox"/> ARB	<input type="checkbox"/> HRC <input type="checkbox"/> PC <input type="checkbox"/> CC <input type="checkbox"/> _____	<input type="checkbox"/> Active Planning Permit <input type="checkbox"/> Active Building Permit <input type="checkbox"/> Active Code Violation Permit #: _____

Property Information

Lot: B Block: 307 Tract: Fairway Honor Tract

ZC: R-1 GP: Med Den 17.4 du/ac Lot Size: 14,492 SF

Historic Resources Inventory Archaeologically Sensitive Area

Staff Use Only:

\$ PAID
\$3,256.50
3-16-16

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

Applicant Signature: _____ **Date:** 3-16-16

Owner Signature (Required): _____ **Date:** 3-16-16

PROJECT DATA SHEET

Project Address: 925 Jewell Avenue

Submittal Date: March 15, 2016

Applicant(s): Arnn S. Tolletson

Permit Type(s) & No(s):

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-1			
Building Site Area	13,689	13,689	13,689	
Density (multi-family projects only)	-	-	-	
Building Coverage	- 40%	1805	2925 (25%)	Residence & garage
Site Coverage	60%	3457	6242 (45%)	
Gross Floor Area	4,248 sf	1490	2908	
Square Footage not counted towards Gross Floor Area	-	-	-	
Impervious Surface Area Created and/or Replaced	-	3457 (25%)	6242 (45%)	2,785 created
Exterior Lateral Wall Length to be demolished in feet & % of total*	-	-	176.5 ft/ 90%	
Exterior Lateral Wall Length to be built	-	-	231.5	
Building Height	25	13'-8"	16'-0"	Garage Ht. = 10'-9"
Number of stories	2	1	1	
Front Setback	15'-0"	15'-0"	15'-0"	
<u>EAST</u> Side Setback (specify side)	10%	9'-3"	9'-3"	
<u>WEST</u> Side Setback (specify side)	10%	9'-3"	9'-3"	
Rear Setback	10'-0"	10'-0"	10'-0"	
Garage Door Setback		59'-0"	128'-0"	
Covered Parking Spaces	1	1	3	
Uncovered Parking Spaces	1	3	3	
Parking Space Size (Interior measurement)	9' x 20'	9 x 20	20 x 21	
Number of Driveways	1	1	1	
Driveway Width(s)		22'-6"	22'-6"	10'-0" Back to garage
Back-up Distance		59'-0"	59'-0"	
Eave Projection (Into Setback)	3' maximum	3'-0"	2'-6"	
Distances Between Eaves & Property Lines	3' minimum	7'-6"	7'-0"	
Open Porch/Deck Projections	-	-	-	
Architectural Feature Projections	-	-	-	
Number & Category of Accessory Buildings		None	1	garage - detached
Accessory Building Setbacks	-	-	9'-3" & 10'-0"	side & rear setbacks
Distance between Buildings	-	-	29'-0"	
Accessory Building Heights	-	-	10'-9"	
Fence Heights	-	6'-0"	6'-0"	

*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.



CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

ARCHITECTURAL PERMIT (AP) 16-212

FOR A PROPERTY LOCATED AT 925 JEWELL AVENUE TO ALLOW THE DEMOLITION OF THE EXISTING RESIDENCE AND TO BUILD A NEW 2,186 SF ONE STORY RESIDENCE WITH A 722 SF DETACHED GARAGE FOR A TOTAL OF A 2,908 SF SINGLE-STORY RESIDENCE.

FACTS

1. The subject site is located at 925 Jewell Avenue, Pacific Grove, 93950 APN 006-131-008
2. The subject site has a designation of Medium Density 17.4 du/ac on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-1 zoning district.
4. The subject site is 14,492 square feet.
5. The subject site is developed with a single story single family dwelling.
6. The subject site is located in an Archeological sensitive area and an Archeological report was prepared by Gary Breschini in January 2016
7. The subject site is located in the area of Special Biological Significance Watershed.
8. This project has been determined to be CEQA Exempt under CEQA Guidelines Section 15301(e) (1).

FINDINGS

1. The proposed development will meet the development regulations set forth in the R-1 zoning district including setbacks and height requirements and;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines 1, 4, 21, 24 and;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. The Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

PERMIT

Architectural Permit (AP) 16-212:

to allow the demolition of the existing residence and to build a new 2,186 sf one story residence with a 722 sf detached garage for a total of a 2,908 sf single- story residence.

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.

2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CEDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
6. **Street Trees.** One tree must be planted per 30 feet of frontage, with a minimum of two trees
7. **Water Efficiency Requirements.** All Monterey Peninsula Water Management District water efficiency requirements, including the installation of high efficiency toilets, shall be implemented.
8. **Stormwater Treatment Measure:** The stormwater treatment measures shall be maintained by the property owner in perpetuity and City of Pacific Grove staff shall be allowed access to inspect all stormwater treatment measures on an annual basis.
9. **Lighting:** All exterior lighting must conform to Architectural Review Guidelines Nos. 10,11,12
10. **Archeology.** If archaeological resources or human remains are discovered during construction, work shall be halted within 50 meters of the find until it can be evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated, with the concurrence of the City of Pacific Grove staff, and implemented.
11. **Building Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.

- 2. The Board authorizes Approval of Architectural Permit (AP) 16-212 to allow the demolition of the existing residence and to build a new 2,186 sf one story residence with a 722 sf detached garage for a total of a 2,908 sf single-story residence.
- 3. This permit shall become effective upon the expiration of the 10-day appeal period.
- 4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 10th day of May, 2016, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

Rick Steres, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Randy Draper, Owner

Date



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

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NOTICE OF EXEMPTION FROM CEQA

Property Address/Location: 925 Jewell, Pacific Grove, CA 93950

Project Description: AP 160212

Description: Rebuild new 2,186 sf one story SFD with detached 3-car garage of 277 sf, 1331 sf new patios, 349 sf new walkway, 3,183 sf impervious pavers driveway

APN: 006131008000

ZC: R-1

Lot Size: 14,492 SF

Applicant Name:	Aaron Tollefson	Phone #:	578.3450
Mailing Address:	957 Angelus Way		
Email Address:	aarontolly@sbcglobal.net		

Public Agency Approving Project: City of Pacific Grove, Monterey County, California

Exempt Status (Check One):

- Ministerial (Sec. 21080(b)(1):15268))
- Declared Emergency (Sec. 21080(b)(3): 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption
Type and Section Number: Section 15301 (Class 1)
- Statutory Exemption
Type and Section Number:
- Other:

Exemption Findings:
The proposed alterations do not present any unusual circumstances that would result in a potentially significant environmental impact.

Contact: Laurel OHalloran, Planning Department, City of Pacific Grove

Contact Phone: (831) 648-3183

Signature: Laurel O'Halloran

Date: 4-19-16

KENT L. SEAVEY

310 LIGHTHOUSE AVENUE
 PACIFIC GROVE, CALIFORNIA 93950
 (831)375-8739

February 3, 2010

Ms. Mary Draper
 925 Jewell Avenue
 Pacific Grove, CA 93950

Dear Ms. Draper:

Thank you for the opportunity to prepare a Phase I Historic Analysis of the residential property at 925 Jewell Ave. (APN# 006-131-008) in Pacific Grove, as required by the California Environmental Quality Act (CEQA) and the City of Pacific Grove.

Monterey County Assessor's records show the subject property as being constructed in 1950. The original owner was Mr. Lee Draper, who was identified at the time of construction in local business directories as a salesman for the Standard Oil Company. A set of original plans for the residence identifies Mr. E. Alexander Barnhard of Radiant Homes, Inc. as the builder. Radiant Homes, Inc. was located in Castroville, but area business directories and telephone books from 1949 through 1955 do not list Mr. Bernhard's name nor do they show the firm, Radiant Homes, Inc.

The subject property is a one-story, wood-framed flat-roofed modern residence, irregular in plan, resting on a concrete slab. The exterior wall cladding is a wide, horizontal "V" rustic redwood siding.

The roof system is flat, with a slightly stepped component to the west that covers the living room and attached open carport. This section of the roof is pitched slightly towards the west (for runoff), where the open carport is supported on a series of wood posts. A slightly raised rectangular clearstory is located towards the rear (south) of the main flat roof, with narrow horizontal windows on the north and south elevations, to bring light into the interior, and louvered wood vents on the east and west elevations to admit air. The roof system has wide overhanging eaves with exposed joists, which are faced with a simple wood fascia.

Attn: Wendy

I must have your

e-mail address

wrong. It kidud

me e-mail back.

Hope this gets to you

There is an open skylight in the pitched section of the roof, above the principal entry at the NW corner of the building envelope, just under the carport overhang. The entry door is a flush wood type. The roof system is covered in tar & gravel.

Fenestration is irregular, with a band of floor to ceiling height fixed plate-glass focal windows on the slightly pitch roofed portion of the north facing facade, with two further bands of smaller fixed and wood casement type plate-glass windows along the flat roofed portion of this elevation. On both the slightly pitched roof portion of the elevation and the flat roofed portion, a single banded window wraps around the corner of the east elevations.

The rear (south) elevation is characterized by a relative continuous band of large, fixed banded plate-glass windows, with wooden louvered vents at their bases. A glazed wooden door appears at the junction of the stepped and flat portions of the roof system. A smaller half door, toward the west, accesses the open carport.

The residence is sited on the south side of Jewell Ave., well set back from the street in an informal landscape of low hedging and small trees. It is framed to the south by mature oaks and pines. It is located in a residential neighborhood of one and two-story homes of varying ages, sizes and styles.

The California Environmental Quality Act (CEQA), PRC Sec. 21084.1 requires all properties fifty years of age or older to be reviewed for potential historic significance. Criteria for that significance is addressed in PRC Sec. 5024.1(a). It asks, generally, did any event of importance to the region, state or nation occur on the property? Did anyone of great importance to the region, state or nation occupy the property during the productive period of their lives? Does the building represent an important architectural type, period or method of construction, or is it a good example of the work of a noted architect or master-builder? The criteria also asks if the property is likely to yield information significant to the understanding of the areas history.

Evaluation criteria for historic resources in the Pacific Grove Municipal Code (Sec. 23.76.025) generally reflects those of both the California Register and National Register of Historic Places. The following responses regarding the subject property are specific to the Pacific Grove criteria:

- (a) Whether the structure has significant character, interest or value as part of the development; heritage or cultural characteristics of the City of Pacific Grove, the state of California, or the United States;

The subject property is a representative example of a number of flat-roofed modern residences constructed in the Fairway Homes Tract after WWII. Most were built on individual lots dispersed throughout the tract, with one cluster of five homes of this design along the east side of of the 1100 block of Ripple Avenue. Examples of the form appear in a number of post WWII neighborhoods, especially in those annexed to Pacific Grove after 1960. Because of the lack of a historic context statement from which to evaluate the relative significance of the subject property against other buildings of its class.

No significant event or individual is associated with the property, and there is no available information on its builder, a Castroville builder. Therefore the residence does not appear to possess the necessary character, interest or value as part of the development, heritage or cultural characteristics of the City of Pacific Grove, the state of California, or the United States to be listed as an historic resource.

- (b) Whether it is the site of a significant historic event:

No significant historic event occurred on the site.

- (c) Whether it is strongly identified with a person who, or an organization which, significantly contributed to the culture, history or development of the city of Pacific Grove:

The subject property is not associated with a person or organization which significantly contributed to the culture, history or development of Pacific Grove. The original owner, Mr. Lee Draper delivered Standard Oil products to the Big Sur between 1950 and 1962.

- (d) Whether it is a particularly good example of a period or style:

The subject property is a representative example of the flat-roofed style of mid-century modern design. It appears to be unaltered from its 1950 date of construction, as do several other examples of the mode in the Fairway Homes Tract. Its design is typical of the form. The better examples of this style are usually architect designed.

- (e) Whether it is one of the few remaining examples in the city of Pacific Grove possessing distinguishing characteristics of an architectural type or specimen;

It is not (see (a) above).

- (f) Whether it is a notable work of an architect or master builder whose individual work has significantly influenced the development of Pacific Grove;

It is not. No record of T. Alexander Bernhard, the Castroville builder or his firm, Radiant Homes, Inc., has been located in any standard reference source, including Google.

- (g) Whether it embodies elements of architectural design, detail, materials or craftsmanship that represent a significant architectural innovation;

It does not (see (a) above).

- (h) Whether it has a unique location or singular physical characteristics representing an established and familiar visual feature of a neighborhood, community, or of the city of Pacific Grove;

The subject property is one of a number of varied types and styles of buildings that make up its neighborhood.

- (i) Whether it retains the original integrity of design;

Yes. There appear to be no changes from its 1950 design.

- (j) Whether it contributes to the architectural aesthetics and continuity of the street;

No. It is one of two flat-roofed modern style residences in what is otherwise a block of post-WWII pitched-roof houses.

- (k) Whether it is located within a geographically definable area possessing a concentration of historic properties which visually contribute to each other and are unified aesthetically.

The subject property is not part of a historic district, as described in (k) above. Pacific Grove has no provision in its preservation ordinance or general plan for the designation of historic districts described in (k) above.

The subject property is not included in the California Office of Historic Preservation-maintained "Historic Property Data File for Monterey County" (updated to December of 2009). It is not listed in the California Register, or the National Register of Historic Places, nor is it listed in the Pacific Grove Historic Resource Survey.

No event of significance to the nation, state or region, nor any important individual has been identified with the existing property. The original owner was Mr. Lee Draper, a salesman for the Standard Oil Company.

As a typical representative example of the flat-roofed mid-century modern style of architecture, the subject property is one of a number in its class, and therefore is not "one of the few remaining examples in the city of Pacific Grove possessing distinguishing characteristics of an architectural type or specimen," as noted above under Criterion e. A number of residences of similar design can be found throughout the city. The subject property does rise to a level of significance under Criterion h, which requires a property to have "a unique location or singular physical characteristics representing an established and familiar feature of the neighborhood, community, or the city of Pacific Grove." Nor does it meet Criterion j, which requires a property to contribute "to the architectural aesthetics and continuity of the street."

The surrounding area, as previously noted, is composed of both old and new housing stock, and a careful survey of its setting reveals that the residence is not "located within a geographically definable area possessing a concentration of historic properties which visually contribute to each other and are unified aesthetically, as called for in Criterion k.

The subject property does not reach the necessary level of architectural significance to qualify for listing in the California Register, nor does it appear to meet the criterion for inclusion in the Pacific Grove Historic Resource Survey, as defined by the Pacific Grove Municipal Code (Sec. 23.76.025). Therefore, it cannot be considered an historic resource.

Respectfully Submitted,

Kent L. Seaven

NEW RE-BUILT RESIDENCE FOR MR. AND MRS. DRAPER

925 JEWELL AVENUE
PACIFIC GROVE, CALIFORNIA 93950

AST
DESIGN GROUP
877 ANGELES WAY
DEL REY OAKS, CA 93940
PHONE: (831) 978-3450

VICINITY MAP	ASSESSORS MAP	SHEET INDEX	PROJECT DATA
		<p>A1.0 COVER SHEET, PROJECT DATA, NOTES, ASSESSORS MAP A1.1 SITE SURVEY A1.2 ENTIRE SITE PLAN, NOTES A1.3 STORMWATER DRAINAGE PLAN, LANDSCAPE PLAN A1.4 EXISTING & DEMOLITION FLOOR PLAN, SITE SECTION, NOTES A1.5 NEW FLOOR PLAN, NOTES A1.6 RESIDENCE ROOF PLAN, GARAGE ROOF PLAN A1.7 EXTERIOR ELEVATIONS A1.8 EXTERIOR ELEVATIONS A1.9 GARAGE FLOOR PLAN, GARAGE EXTERIOR ELEVATIONS</p>	<p>PROJECT ADDRESS: 925 JEWELL AVENUE PACIFIC GROVE, CALIFORNIA 93950</p> <p>PARCEL NUMBER: 000-131-008</p> <p>PACIFIC GROVE ZONING: R-1</p> <p>SITE AREA: 13,689 S.F.</p> <p>CONSTRUCTION TYPE: V-B</p> <p>OCCUPANCY TYPE: R-3</p> <p>STORIES: ONE STORY</p> <p>SEWER SYSTEM: EXISTING SEWER SYSTEM</p> <p>SQUARE FOOTAGE: RE-BUILT RESIDENCE: 2,186 S.F. DETACHED GARAGE: 277 S.F. TOTAL: 0,000 S.F.</p> <p>SITE COVERAGE: RE-BUILT RESIDENCE: 2,186 S.F. DETACHED GARAGE: 277 S.F. PATIOS: 1,331 S.F. WALKWAYS: 349 S.F. TOTAL SITE COVERAGE: 4,143 S.F. (30.26% SITE COVERAGE)</p> <p>TREES TO BE REMOVED: NONE TO BE REMOVED</p> <p>FIRE SPRINKLER REQUIREMENT: SPRINKLERS REQUIRED</p> <p>MAXIMUM HEIGHT ALLOWED: 30 FEET</p>
<p>GENERAL NOTES</p>	<p>FIRE DEPARTMENT NOTES</p>	<p style="text-align: center; font-size: 2em; color: blue;">RECEIVED</p> <p style="text-align: center; font-size: 1.5em; color: blue;">APR - 6 2016</p> <p style="text-align: center; font-size: 1.5em; color: blue;">CITY OF PACIFIC GROVE COMMUNITY DEV DEPT</p>	<p>SMOKE & CARBON MONOXIDE LOCATIONS</p> <p>Multi-Story Home</p> <ul style="list-style-type: none"> Smoke Alarm Carbon Monoxide Alarm
<p>TYPICAL CONSTRUCTION REQUIREMENTS OF THE 2013 CBC SHALL APPLY WHERE APPLICABLE AND WHEN NOT SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.</p> <p>SITE FAMILIARIZATION: CONTRACTOR IS RESPONSIBLE TO ACQUAINT HIMSELF WITH THE SITE PRIOR TO SUBMITTING A PROPOSAL. IF THE CONTRACTOR DISCOVERS ANY CONDITIONS DURING HIS SITE VISIT FAMILIARIZATION WHICH HE FEELS WILL ADVERSELY AFFECT THE WORK, OR WHICH HE FEELS HE HAS NOT BEEN ADEQUATELY ADDRESSED BY THE CONSTRUCTION DOCUMENTS, HE IS TO NOTIFY THE DESIGNER IN WRITING.</p> <p>CONSTRUCTION DETAILS: NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE CARRIED OUT BY RESPECTIVE CONTRACTORS IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR WITH MANUFACTURERS SPECIFICATIONS FOR INSTALLATION FOR THEIR MATERIALS OR ITEMS.</p> <p>DEMOLITION: COORDINATE ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE WISHES TO RETAIN FOR HIS USE. ALL OTHER ITEMS BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. UTILIZE BEST CONTRACT MEASURES DURING DEMOLITION.</p> <p>GLAZING: ALL DOORS ARE TO HAVE TEMPERED GLAZING. ALL GLAZING IN ANY AREA SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED GLASS. GLAZING WITHIN 2' OF ANY EDGE OF DOOR OR WITHIN 36" OF THE FLOOR MUST COMPLY.</p> <p>MECHANICAL AND PLUMBING: IT IS THE OBLIGATION OF THE CONTRACTOR THAT ALL SYSTEMS SHALL FUNCTION WELL INDIVIDUALLY AND IN COMBINATION WITH OTHER SYSTEMS. THE CONTRACTOR IS RESPONSIBLE FOR THE PLUMBING LAYOUT FOR ALL FIXTURES AND EQUIPMENT.</p> <p>SEI PROTECTION: ALL 120 VOLT SINGLE PHASE 15 AND 20 AMP RECEPTACLE OUTLETS INSTALLED OUTDOORS IN GARAGES, IN BATHPOOLS AND WITHIN 8 FEET OF KITCHEN SINKS ABOVE OVERHEAD SURFACE SHALL HAVE GROUND FAULT CIRCUIT PROTECTION. ALL WITHIN RECEPTACLES TO BE GFCI.</p> <p>SMOKE DETECTORS: AN APPROVED SMOKE DETECTOR SHALL BE CENTRALLY LOCATED IN THE HALLWAY OR AREA OF ACCESS TO SLEEPING. SMOKE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH SLEEPING AND EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE) INCLUDING SMOKE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILT-IN WIRE. ADDITIONS OR REPAIRS WITH A HALLWAY OF 11'00" OR MORE REQUIRE SMOKE DETECTORS BE INSTALLED IN EACH SLEEPING AREA WHERE THE CEILING HEIGHT OF A ROOM OVER 10'2" OR MORE SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTORS SHALL SOUND AN ALARM IN ALL SLEEPING AREAS. (REFER TO 2013 CALIFORNIA FIRE CODE OUTLETS).</p> <p>WALKWAY TO BE IN COMPLIANCE WITH 2013 CALIFORNIA RESIDENTIAL CODE TABLE</p> <p>ALL HOT WATER FAUCETS THAT HAVE MORE THAN 10 FEET OF RUN BETWEEN THE SHUT-OFF AND THE HOT WATER HEATER DEFINING SUCH FAUCETS SHALL BE EQUIPPED WITH HOT WATER RECALCULATING SYSTEM. (SECTION 8.01.01.0102)</p> <p>NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SURVEYORS WATER TO THE HYDRANT AND FROM THE RESPECTIVE COUNTY HEALTH DEPARTMENT.</p> <p>ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUT-OFF NOZZLE. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.</p> <p>ALL MANUFACTURERS' INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.</p> <p>THE HOT WATER PLUMBING SYSTEM SHALL BE RECIRCULATING HOT WATER SYSTEM.</p> <p>CARBON MONOXIDE DETECTORS: AN APPROVED CARBON MONOXIDE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA OF ACCESS TO SLEEPING. CARBON MONOXIDE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED CARBON MONOXIDE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILT-IN WIRE. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN THE HALLWAY. DETECTORS SHALL SOUND AN ALARM IN ALL SLEEPING AREAS. (REFER TO 2013 CALIFORNIA RESIDENTIAL CODE FOR CARBON MONOXIDE DETECTORS, SECTION 8.01.01.0110)</p>	<p>FIRE007 - DRIVEWAYS DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UN-RESTRICTED, WITH AN UNRESTRICTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FEET. THE GRADE FOR ALL DRIVEWAYS SHALL EXCEED 1% PITCH WHERE THE DRIVE EXCEEDS 8 FEET. A MINIMUM STRUCTURAL FINISH SURFACE OF 17 FEET OF ANHYPALC CONCRETE OVER 4 FEET OF AGGREGATE BASE SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS (LCCITS) AND BE ACCESSIBLE BY CONVENTIONAL DRIVE VEHICLES (INCLUDING TANKS). FLD DRIVEWAYS WITH TURNS OR DEGREES AND OVER THE MINIMUM HORIZONTAL CURVE RADIUS OF CURVATURE SHALL BE 30 FEET. FOR ALL DRIVEWAY TURNS, AND ADDITIONAL SURFACE OF 4 FEET SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING 150 FEET IN LENGTH, BUT LESS THAN 300 FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE ENDPOINT OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS 300 FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN 400-FOOT INTERVALS. TURNOUTS SHALL BE A MINIMUM OF 12 FEET WIDE AND 30 FEET LONG WITH A MINIMUM OF 30 FEET WALKWAY AT BOTH ENDS. TURNOUTS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150 FEET OF DRIVEWAY LENGTH AND SHALL BE LOCATED WITHIN 10 FEET OF THE DRIVEWAY. THE MINIMUM TURNING RADIUS FOR A TURNOUT SHALL BE 40 FEET FROM THE CENTER LINE OF THE DRIVEWAY. IF AN ALTERNATELY TYPED, THE TOP OF THE TURNOUT SHALL BE A MINIMUM OF 10 FEET BELOW THE FINISH GRADE.</p> <p>FIRE011 - ADDRESSES FOR BUILDINGS ALL BUILDINGS SHALL BE IDENTIFIED AND ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241. EACH COUNTY-WIDE, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE MINIMUM OF 4 INCH HEIGHT, 1/2 INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN AND SHALL BE AFFIXED. THE SIGN NUMBER SHALL BE PLACED AT EACH OTHER ENTRANCE AND AT EACH DRIVEWAY. SIGN ADDRESS SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT. ADDRESS SIGNS ALONG WITH ROADWAY SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE PROVIDED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A DRIVEWAY PROVIDES ACCESS SOLELY TO SINGLE OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED WITHIN TO PREVENTING FINAL CLEARANCE.</p> <p>FIRE013 - DEFENSIBLE SPACE REQUIREMENTS (STANDARD) SHALL BE MAINTAINED 10 FEET FROM WITHIN A MINIMUM OF 100 FEET OF STRUCTURE UP TO THE PROPERTY LINE. WHERE TOP IS CLOSER, TURN THIS LIMIT TO A MINIMUM HEIGHT OF 6 FEET FROM THE GROUND. WHERE LINES WITHIN 10 FEET OF CHIMNEYS, ADDITIONAL AND/OR ALTERNATE FIRE PROTECTION OF FIRE WEARS ACTIVATED BY THE FIRE AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION TO BE DETERMINED BY THE FIRE AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.</p> <p>FIRE021 - FIRE PROTECTION EQUIPMENT SYSTEMS - FIRE SPRINKLER SYSTEM HAZARDOUS CONDITIONS THE BUILDING OR DETACHED CURBHOUSE SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM. INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE GUARANTEED BY A CALIFORNIA LICENSED CIVIL CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT SHALL INTERFERE TO DELAY ISSUANCE OF A BUILDING PERMIT. A POUSH SPRINKLER INSPECTION MUST BE SCHEDULED BY THE INSTALLING CONTRACTOR COMPLETED PRIOR TO PROCEEDING TO FRAMEWORK INSPECTION.</p> <p>FIRE029 - ROOF CONSTRUCTION ALL NEW STRUCTURES AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 1% PITCH OR MORE OF THE BUILDING FLOOR SURFACE WITHIN A CHEYER PERIOD, SHALL REQUIRE A MINIMUM OF 1.0 CLASS OF ROOF CONSTRUCTION.</p>		<p>SCOPE OF WORK</p> <ol style="list-style-type: none"> DEMOLISH EXISTING 1,364 S.F. RESIDENCE WITH 441 S.F. CARPORT. RE-BUILD NEW 2,186 S.F. RESIDENCE WITH A DETACHED 3-CAR GARAGE OF 277 S.F. 1,331 S.F. OF NEW IMPERVIOUS PATIOS. 349 S.F. OF NEW IMPERVIOUS WALKWAYS. 3,183 S.F. OF NEW PERVIOUS CONCRETE PAVERS DRIVEWAY. <p>APPLICABLE CODES</p> <p>THIS PROJECT SHALL COMPLY WITH ALL CURRENT CODES LISTED AS FOLLOWS:</p> <ul style="list-style-type: none"> 2013 CALIFORNIA BUILDING CODE 2013 CALIFORNIA RESIDENTIAL CODE 2013 CALIFORNIA FIRE CODE 2013 CALIFORNIA MECHANICAL CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA ELECTRICAL CODE 2013 TITLE 24 ENERGY COMPLIANCE
<p>AST DESIGN GROUP</p>			

NEW RESIDENCE FOR:
DRAPER RESIDENCE
925 JEWELL AVENUE
PACIFIC GROVE, CALIFORNIA
A.P.N.: 000-131-008

DRAWINGS:
PROJECT DATA
SHEET INDEX
SCOPE OF WORK
CODES
ASSESSORS MAP
VICINITY MAP
NOTES

DRAWN BY: AST
DRAWING DATE: Mar 15, 2015
REVISION DATES:
Apr 5, 2016 (Planning Revisions)

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE SPECIFIC SITE AND WORK THEREON. ANY REVISIONS AND MODIFICATIONS THEREOF IS RESPONSIBLE TO THE USER. THESE PLANS SHALL BE KEPT ON FILE IN THE PROJECT OFFICE. THESE PLANS AND SPECIFICATIONS SHALL BE KEPT ON FILE IN THE PROJECT OFFICE AND SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE ENGINEER OF RECORD AT ALL TIMES.

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CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

AST
DESIGN GROUP
827 ANGELOUS WAY
DEL REY OAKS, CA 93840
PHONE: (831) 578-2450

ANNEX B. TOLLEFSON, DESIGNER

NEW RESIDENCE
FOR:

**DRAPER
RESIDENCE**

925 JEWELL AVENUE
PACIFIC GROVE, CALIFORNIA
A.P.N.: 008-131-008

DRAWINGS:
SITE SURVEY

DRAWN BY: AST
DRAWING DATE: Feb 13, 2016
REVISION DATES:
Apr 5, 2016 (Planning Revisions)

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND VALIDATION THEREOF IS CONSIDERED TO BE THE RESPONSIBILITY OF THE USER. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND CONTRACTORS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND CONTRACTORS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND CONTRACTORS.

SHEET

A1.1



SCALE 1"=10'

BENCHMARK:
ELEVATION OF THIS SURVEY IS BASED ON AN ADJUDICATED DATUM. THE ELEVATION OF SD 10 HAS BEEN ASSIGNED TO A MAGNANAL B.D.C. SET IN THE PAVEMENT NEAR THE NORTHERLY CORNER OF THE SURVEY, 17.0 FEET ACROSS AND IN HEREON.

- NOTE:**
- BOUNDARY LOCATION DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY EXISTING DATA. ALL EXISTING DATA SHOWN HEREON ARE FROM THE RECORDS AND IS SHOWN AS REFERENCE ONLY - NOT FOR CONSTRUCTION. THIS IS NOT A BOUNDARY SURVEY.
 - ENTIREMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY ARE NOT NECESSARILY SHOWN.
 - DISTANCE IS SHOWN IN FEET AND DECIMALS THEREOF.
 - CONTOUR INTERVAL = 5 FEET.
 - TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE 30 CM IN Girth AND ARE APPROXIMATELY 10% TESTED BY AN APPROVED FORESTER PROVIDED BY OTHERS. PER AGREEMENT WITH THE SURVEYOR, TREES SHOWN SHALL BE INDICATED THAT NOT NECESSARILY SHOWING DIRECTION OF GROWTH AND DIRECTION SHALL BE DETERMINED BY OTHERS.
 - POSITION AND DIMENSIONS OF ANY OF BUILDING, FENCES AND OTHER STRUCTURES ARE SHOWN HEREON AS APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS. IRREGULAR SHAPE OF TREES, FENCES, POLE-OLDS, BILL HOSES, CEMENTS, ETC.
 - NOT ALL UTILITY BONES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HIGH VOLTAGE AND IRRIGATION LINES. ONLY THE UTILITY BONES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE UTILITY CONDITIONS ARE SHOWN.
 - THIS SURVEY CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION FROM FIELD NOTES COLLECTED IN REPLY OF SD 10.

TOPOGRAPHIC SITE SURVEY
OF
LOT 8, BLOCK 307
PER
VOLUME 3, C&T PAGE 86
Records of Monterey County
PREPARED FOR
Ben Draper

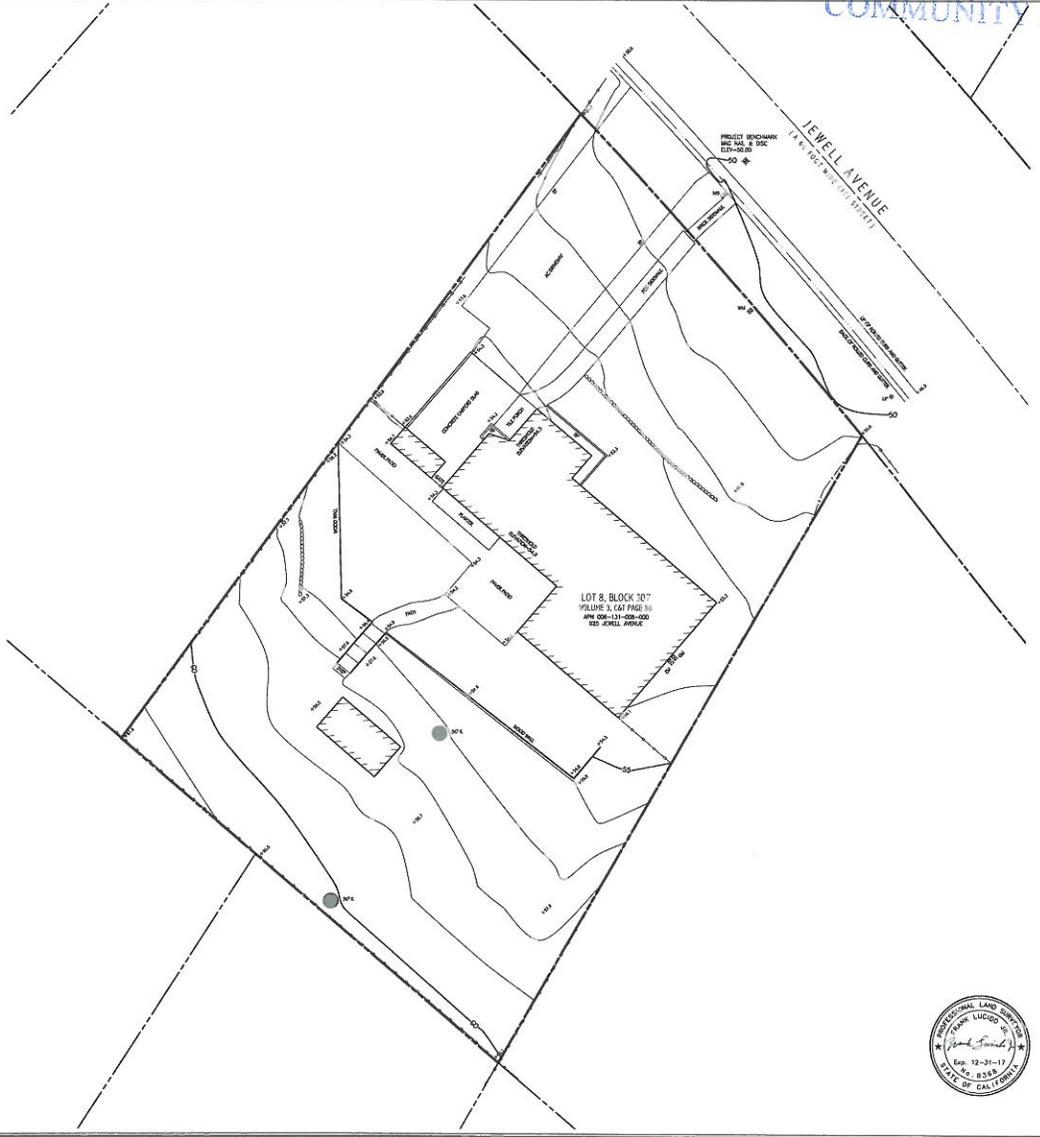
BY
LUCIDO SURVEYORS
Boundary and Construction Surveys • Topographic and Planimetric Mapping
ATA Surveys and GIS Database Management • Land Planning and Consulting
2 Lucido Avenue
Del Rey Oaks, CA 93840
Exp. 12-31-11
No. 8368
STATE OF CALIFORNIA

PROJECT NO: 1610
FEBRUARY 2016
CITY OF PACIFIC GROVE COUNTY OF MONTEREY STATE OF CALIFORNIA



LEGEND

- RECORD BOUNDARY
- RECORD RIGHT OF WAY
- RECORD LOT LINE
- OLD RECORD LINE
- ◆ PROJECT BENCHMARK
- CONTOUR (MAJOR)
- CONTOUR (MINOR)
- EDGE OF PAVEMENT
- FINISH LINE
- BUILDING OUTLINE
- APPROXIMATE FLOOR ELEVATION
- DECK
- CONCRETE PAD
- STEP
- WATER LINE
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- HOSE BIB
- IRRIGATION CONTROL VALVE
- SANITARY SEWER LINE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN-OUT
- STORM DRAIN
- STORM DRAIN MANHOLE
- AREA DRAIN
- STORM DRAIN CATCH BASIN
- ELECTRIC LINE
- UTILITY POLE
- GUY WIRE
- ELECTRIC METER
- GAS METER
- TELEPHONE LINE
- TELEPHONE STANDARD
- CABLE TELEVISION LINE
- CABLE TELEVISION BOX
- WOOD FENCE
- BRICK PLANTER
- CARREL STONE
- CONCRETE SLAB
- DECOMPOSED GRANITE
- EXPOSED AGGREGATE
- FOOT BRIDGE
- PORTLAND CEMENT CONCRETE
- PAVEMENT STONE
- POLY VINYL CHLORIDE
- REINFORCED CONCRETE PIPE
- TRUSS ENCLOSURE
- EDGE OF FOLIAGE
- TREE WITH SIZE AND TYPE
- A ACACIA
- C CYPRUS
- K OAK
- P PINE
- R REDWOOD
- T TRILE
- S SITE ELEVATION



LOT 8, BLOCK 307
VOLUME 3, C&T PAGE 86
APN 008-131-008-000
225 JEWELL AVENUE

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GRADING AND EROSION CONTROL NOTES:

- LAND CLEARING SHALL BE KEPT TO A MINIMUM. VEGETATION SHALL BE LIMITED TO THAT AMOUNT NECESSARY FOR BUILDING, ACCESS AND CONSTRUCTION.
- WINTER OPERATION NOTES: OCTOBER 15 THROUGH APRIL 15
WHEN WINTER OPERATIONS TAKE PLACE, THE FOLLOWING MEASURES MUST BE TAKEN TO PREVENT ACCELERATED EROSION:
 - VEGETATION REMOVAL BETWEEN OCTOBER 15 AND APRIL 15 SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. MEASURES SHALL BE IN PLACE.
 - BETWEEN OCTOBER 15 AND APRIL 15 DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIP AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
 - EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S OF WORK.
 - THE DIRECTOR OF THE BUILDING INSPECTION DEPARTMENT MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- GROUND SURFACES DISTURBED DURING CONSTRUCTION SHALL BE WATERED DOWN TO CONTROL DUST.
- NO EARTH OR ORGANIC MATERIAL SHALL BE DEPOSITED OR PLACED WHERE IT MAY DIRECTLY BE CARRIED INTO A STREAM, MARSH, SLOUGH, LAGOON OR BODY OF WATER.
- MULCHING, FERTILIZING, WATERING OR OTHER METHODS MAY BE UTILIZED TO ESTABLISH NEW VEGETATION, IF NECESSARY, ON SLOPES LESS THAN 20%. TOPSOIL SHALL BE STOCKPILED AND REAPPLIED.
- ALL GRADED AREAS OF THE ROAD RIGHT OF WAY SHALL BE PLANTED AND MAINTAINED AS REQUIRED BY THE COUNTY SURVEYOR TO CONTROL EROSION. ALL CUT AND FILL SLOPES SHALL BE STABILIZED.
- CUT SLOPES SHALL NOT EXCEED 2:1.
- UTILITY SERVICES ARE TO BE LOCATED WITHIN THE AREA OF ROUGH GRADING FOR DRIVEWAYS TO ELIMINATE TRENCHING THROUGH CUT SLOPES WHERE FEASIBLE.
- BUILDINGS CONSTRUCTED ACROSS CUT/FILL LINES SHALL HAVE COMPACTION TESTS TAKEN IN THE NATIVE (CUT) AREA AS WELL AS TESTS FOR THE FILL AREA. TESTS SHALL MEET 90% OF THE MAXIMUM DENSITY PER ASTM STANDARD D1557.
- HIGH POINTS OF BUILDING PAD DRAINAGE SWALES TO BE 0.3 FEET MINIMUM BELOW FINISH PAD ELEVATION.
- ALL DRAINAGE SHALL MAINTAIN A MINIMUM 1% SLOPE TO DISPOSAL POINTS.
- ALL DOWNSPOUTS TO EMPTY INTO DRAIN LINES UNDERGROUND AND TO DISSIPATION PITS.
- ALL GRADING SHALL CONFORM WITH THE MONTEREY COUNTY GRADING ORDINANCE #2535 AND EROSION CONTROL ORDINANCE #2806.
- ONSITE GRADING AND EARTHWORK SHALL BE OBSERVED AND TESTED BY THE SOILS ENGINEER DESIGNATED BY THE OWNER. ALL GRADING AND EARTHWORK SHALL BE DONE TO THE SATISFACTION OF THE SOILS ENGINEER AND SPECIFICATIONS OF THE GEOTECHNICAL REPORT BY SOILS SURVEY.
- A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY PRIOR TO ANY REQUEST FOR FOOTING INSPECTION OR FINAL GRADING INSPECTION.

PROJECT DATA SHEET

Project Address: 925 JEWELL AVENUE Submittal Date: MARCH 15, 2016
 Applicant(s): AARON S. TOLLEFSON Permit Type(s) & No(s):

Zone District	Required/Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-1			
Building Site Area	13,899			
Density (multi-family projects only)	N/A			
Building Coverage		1,865	2,925	RESIDENCE & GARAGE
Site Coverage		3,457	6,242	DRIVEWAY (PAVERS)
Gross Floor Area		1,490	2,925	
Square Footage not counted towards Gross Floor Area: See Chapter 16.16		N/A	N/A	
Exterior Lateral Wall Length to be demolished	n/a	n/a	0' Gravel/ 176.5' R total	
Exterior Lateral Wall Length to be built	n/a	n/a	231.5	
Building Height		13'-8"	16'-0"	GARAGE HT. = 10'-0"
Number of stories		1	1	
Front Setback		15'-0"	15'-0"	
EAST Side Setback (specify side)		9'-3" (10%)	9'-3" (10%)	
WEST Side Setback (specify side)		9'-3" (10%)	9'-3" (10%)	
Rear Setback		10'-0"	10'-0"	
Garage Door Setback		69'-0"	128'-0"	
Covered Parking Spaces		1	3	
Uncovered Parking Spaces		3	3	
Parking Space Size	9' x 20'	9' x 20'	20' x 21'	
Number of Driveways	1	1	1	
Driveway Width(s)		22'-6"	22'-6"	10'-0" BACK TO GARAGE
Back-up Distance		69'-0"	69'-0"	
Fave Projection (into Setback)	3' maximum	3'-0"	2'-6"	
Distances Between Eaves & Property Lines	3' minimum	7'-6"	7'-6"	
Open Porch/Deck Projections		N/A	N/A	
Architectural Feature Projections (into Setback)		N/A	N/A	
Number & Category of Accessory Buildings		N/A	1	
Accessory Building Setbacks		N/A	9'-3" & 13'-0"	
Distance between Buildings		N/A	28'-0"	
Accessory Building Heights		N/A	10'-0"	
Fence Heights		6'-0"	6'-0"	

**If project proposes demolition to the HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or street, if applicable.*

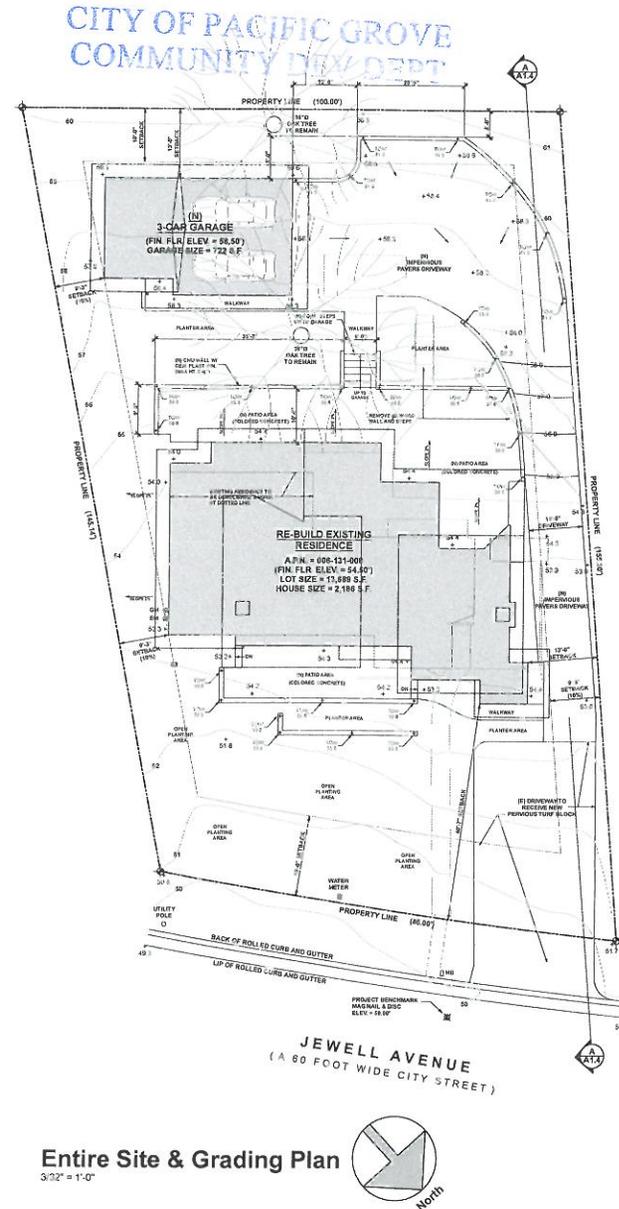
SITE COVERAGE CALCULATIONS:

NEW SITE COVERAGE CALCULATION:

- RESIDENCE COVERAGE = 2,203 S.F.
 - DETACHED GARAGE COVERAGE = 722 S.F.
 - BACK PATIO (CONCRETE) = 1,004 S.F.
 - FRONT PATIO & WALKWAY (CONCRETE) = 402 S.F.
 - DRIVEWAY (PAVERS) = 2,371 S.F.
 - ZONING CODE DEDUCTION = <60 S.F.>
 - ZONING CODE DEDUCTION = <400 S.F.>
 - REMAINDER DRIVEWAY (TURF BLOCK) = 795 S.F. (NOT COUNTED - PERVIOUS)
- TOTAL (N) IMPERVIOUS SITE COVERAGE = 6,242 S.F. (45.59% SITE COVERAGE)**

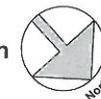
EXISTING SITE COVERAGE CALCULATION:

- RESIDENCE COVERAGE = 1,443 S.F.
 - CARPOT STORAGE = 47 S.F.
 - BACK PATIO (CONCRETE) = 475 S.F.
 - FRONT WALKWAY (CONCRETE) = 167 S.F.
 - DRIVEWAY (ASPHALT) = 1,324 S.F.
- TOTAL (E) IMPERVIOUS SITE COVERAGE = 3,457 S.F. (25.25% SITE COVERAGE)**



Entire Site & Grading Plan

3/32" = 1'-0"



AST
 DESIGN GROUP
 937 ANGELUS WAY
 DEL REY OAKS, CA 93940
 PHONE: (619) 571-3480

NEW RESIDENCE FOR:

DRAPER RESIDENCE

925 JEWELL AVENUE
 PACIFIC GROVE, CALIFORNIA
 A.P.N.: 008-131-008

DRAWINGS:
 ENTIRE SITE PLAN
 NOTES

DRAWN BY: AST
 DRAWING DATE: Mar 15, 2016
 REVISION DATE: Apr 5, 2016 (Planning Revisions)

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. ANY OTHER USE IS HEREBY EXPRESSLY LIMITED TO SUCH USE. NO REPRODUCED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT AND DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT AND DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

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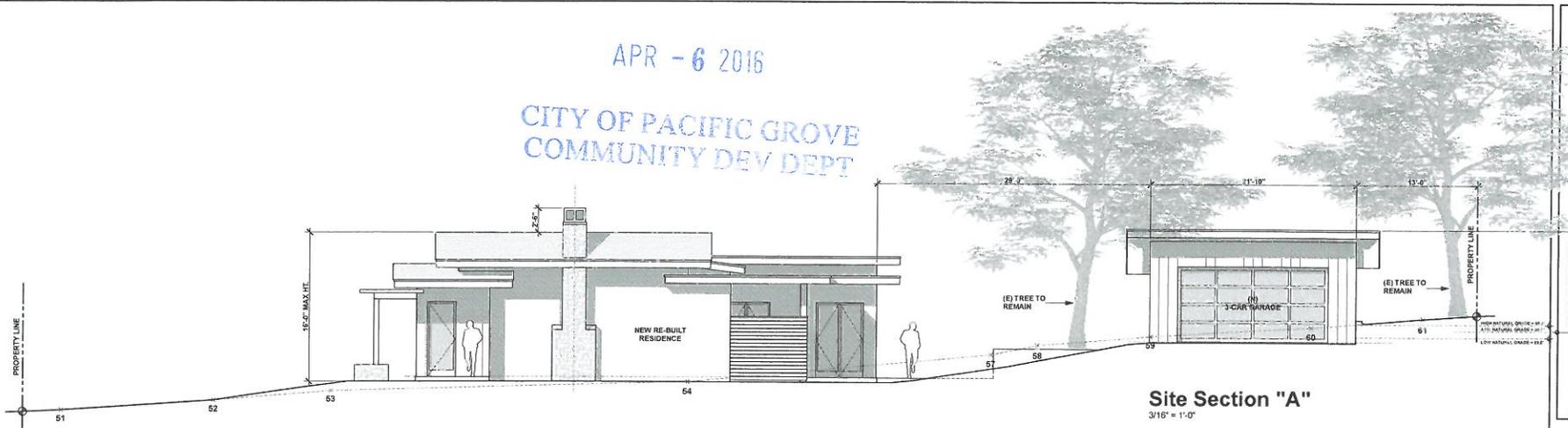
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COMMUNITY DEV DEPT

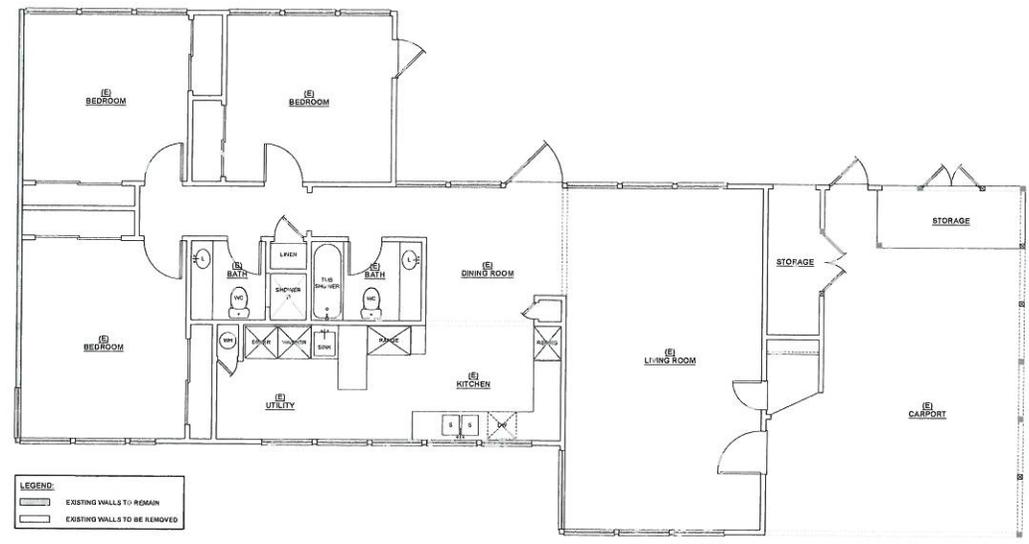
AST

DESIGN GROUP
957 ANGELES WAY
DEL REY OAKS, CA 93940
PHONE: (831) 978-3450



Site Section "A"
3/16" = 1'-0"

ARTHUR B. TOLLEFSON, DESIGNER



LEGEND:
— EXISTING WALLS TO REMAIN
- - - EXISTING WALLS TO BE REMOVED



Demolition & Existing Floor Plan
1/4" = 1'-0"

NEW RESIDENCE FOR:
DRAPER RESIDENCE
925 JEWELL AVENUE
PACIFIC GROVE, CALIFORNIA
A.P.N.: 008-131-008

DRAWING:
EXISTING FLOOR PLAN
DEMOLITION FLOOR PLAN
SITE SECTION "A"
NOTES

DRAWN BY: AST
DRAWING DATE: Mar 16, 2016
REVISION DATES:
Apr 5, 2016 (Planning Revisions)

THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE PROJECT, SITE AND THESE TERMS, CONDITIONS AND PUBLIC NOTICE THEREOF IS EXPRESSLY LIMITED TO THE ONE SINGLE PROJECT IN WHOLE OR IN PART AS SHOWN HEREIN. THIS IS THE DATE AND SPECIFICATIONS DRAWINGS WITH THE ARCHITECT OR ENGINEER AND SHALL CONSTITUTE THE ONLY EVIDENCE OF ALL CONTRACTS AND CONDITIONS OF SERVICE HERETOFORE.

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CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

NOTES:

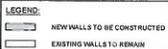
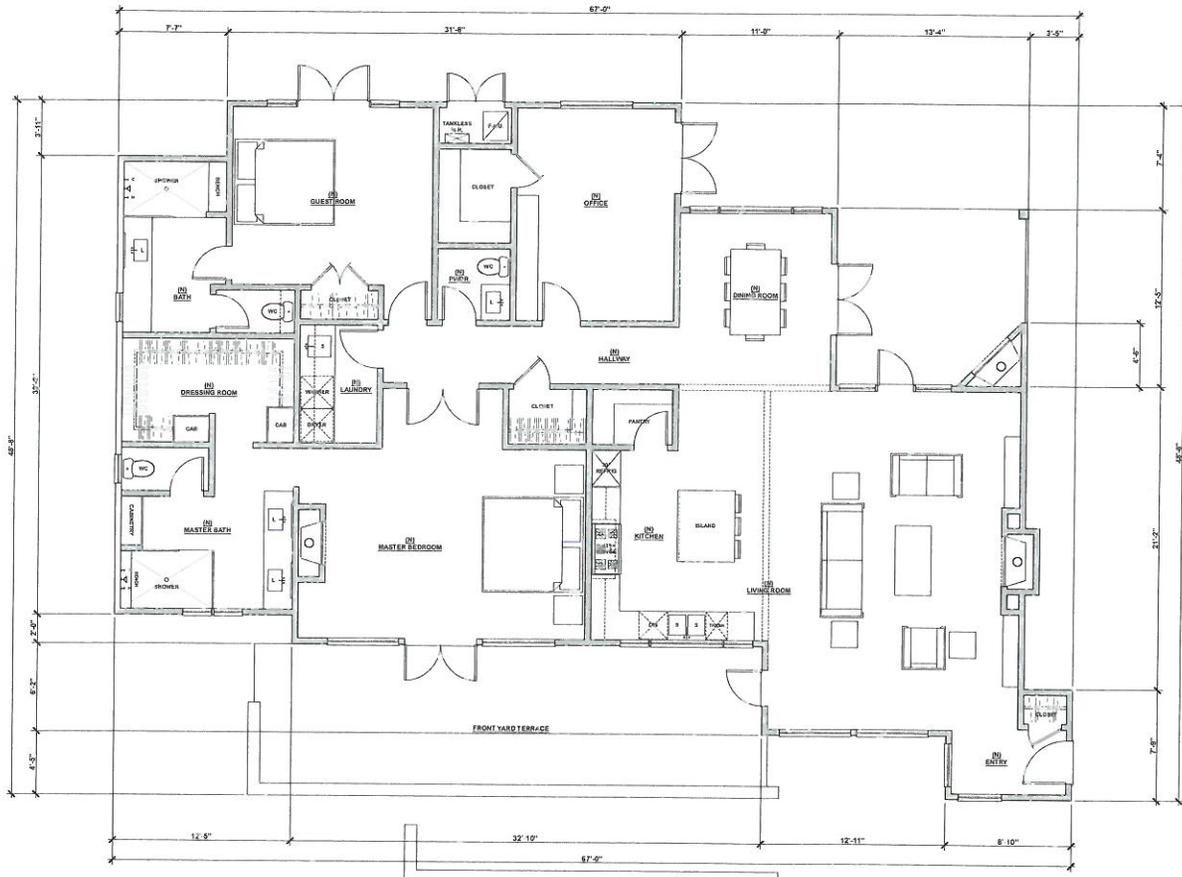
1. PROVIDE STRAPPING FOR WATER HEATER PER CODE REQUIREMENTS. INSTALL ON PAD 1/2" MINIMUM ABOVE FLOOR IN OCCUPATION AREAS.
2. SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH, HARD, NON-ABSORBENT SURFACE TO A HEIGHT OF 70" MIN ABOVE THE DRAIN RILET (SECTION 4371.3.08).
3. BATHROOM FANS TO PROVIDE A MINIMUM AIR CHANGE PER HOUR.
4. WALLS TO JOIST WALLS AND CEILING TO BE PROTECTED WITH 1-HOUR FIRE RATED MATERIALS ON THE OUTSIDE SIDE. USE 5/8" (1/2" MIN) BOARD TYPE "X".
5. ATTIC JOISTS TO BE 24" X 32" MINIMUM.
6. GLAZING IN AREAS SUBJECT TO HUMAN IMPACT, LESS THAN 2' TO DOORS AND LESS THAN 18" FROM GLAZING WINDOWS SHALL BE SAFETY GLAZING MATERIAL SUCH AS WIRE GLASS LAMINATED GLASS, TEMPERED GLASS OR SAFETY PLASTIC. GLAZING UNDER DOORS AND PANELS OF SHOWERS AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS.
7. DRYER TO BE VENTED TO EXTERIOR WITH 4" DUCT LINE (14" O" MAXIMUM RUN).
8. PROVIDE A NON-REMOVABLE BACKFLOW PREVENTION DEVICE AT HIVE SIZE.
9. WINDOWS IN SLEEPING ROOMS SHALL PROVIDE:
MINIMUM NET CLEAR OPENABLE DIMENSION OF 5' 8" IN AREA
MINIMUM NET CLEAR OPENABLE DIMENSION OF 24 INCHES IN HEIGHT
MINIMUM NET CLEAR OPENABLE DIMENSION OF 20 INCHES IN WIDTH
OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 4" MEASURED FROM THE FLOOR
10. THE REQUIRED NATURAL LIGHT FOR EVERY SPACE INTENDED FOR HUMAN OCCUPANCY WITH GLAZED OPENINGS WITH AN AREA OF NOT LESS THAN 8% OF ROOM FLOOR AREA (CGC 1205.2)
11. THE REQUIRED NATURAL VENTILATION IN OCCUPIED SPACES THROUGH OPENABLE EXTERIOR WALL OPENINGS WITH AN AREA NOT LESS THAN 4% OF THE AREA VENTILATED (CGC 1204.1)
12. WATER CLOSURES SHALL NOT USE MORE THAN 1/2" GALLONS PER FLUSH PER STATE HEALTH AND SAFETY CODE (SECTION 17021.10)
13. USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE AT THE SHOWERS AND TUB SHOWERS COMBINATIONS.
14. SMOKE DETECTOR(S) ARE TO SOUND AN ALARM AUDIBLE IN ALL BEDROOMS OF THE RESIDENCE.
15. SMOKE DETECTOR(S) SHALL RECEIVE THEIR POWER FROM THE HOUSE PRIMARY WIRE AND SHALL ALSO HAVE BATTERY BACK-UP.
16. INSTALL UPB RIFULMING FOR THE 200 AMP ELECTRICAL SERVICE PER IEC 250-70(2).
17. NOT THEN COUNTER OUTLETS SHALL BE SPACED SO THAT NO POINT ALONG THE WALL LINE OF THE COUNTER IS MORE THAN 2' FROM AN ELECTRICAL OUTLET.
18. THE MASTER BATHROOM OUTLET(S) SHALL HAVE APPROVED GROUND FAULT CIRCUIT PROTECTION.
19. OUTDOOR OUTLET(S) (WAGO) SHALL BE INSTALLED AT THE FRONT AND REAR OF THE RESIDENCE.
20. AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS, OTHER EQUIPMENT LIGHTING, EXHAUST FAN(S), WITHIN THE SUIVE BATHROOM, AND BE SUPPLIED BY THE SUIVE BRANCH CIRCUIT WHERE THE BRANCH CIRCUIT SUPPLIES SHALL BE BATHROOM ONLY.
21. AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS.
22. OUTLETS DRYER AND ELECTRIC RANGES SHALL HAVE A WIRE GROUNDING ELECTRICAL OUTLET.
23. PROVIDE WEED SCREENS AROUND PERIMETER OF RESIDENCE WHERE CEMENT PLASTER FINISH OCCURS. PROVIDE 4" CLEAR ABOVE BATHING 2" CLEAR ABOVE PAVED AREAS.

ROOM FINISH MATERIAL NOTES:

1. ALL WALLS AND CEILING OF ALL ROOMS ARE TO BE THIN COAT PLASTER (SMOOTH FINISH UNLESS OTHERWISE NOTED) AND ARE IN COMPLIANCE WITH THE DEAD LOAD(S) SPECIFIED BY THE STRUCTURAL ENGINEER.
2. ALL FLOORS ARE TO BE 3/4" HARDWOOD TILE OR CARPET UNLESS OTHERWISE NOTED AND ARE IN COMPLIANCE WITH THE DEAD LOAD(S) SPECIFIED BY THE STRUCTURAL ENGINEER.

GREEN BUILDING REQUIREMENTS:

1. ALL WATER CLOSURES SHALL HAVE A MAXIMUM FLOW VOLUME OF 1.20 GALLONS AND SHALL MEET OR EXCEED THE MINIMUM PERFORMANCE CRITERIA DEVELOPED FOR CERTIFICATION OF HIGH-EFFICIENCY TOILETS UNDER THE WATER SENSE PROGRAM ADOPTED BY THE EPA.
2. PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN CODE SECTION 4103.3.
3. IN AUTOMATIC IRRIGATION SYSTEMS CONTROLLED BY REMOTE CONTROLS PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION, THEY SHALL COMPLY WITH THE REQUIREMENTS OF CODE SECTION 4104.1.
4. MINIMUM 50% OF THE NON-HAZARDOUS CONSTRUCTION OR DEMOLITION DEBRIS SHALL BE RECYCLED AND/OR SALVAGED UNLESS A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE IN MORE STRINGENT WHERE THE LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION WASTE MANAGEMENT ORDINANCE. CONSTRUCTION AND WASTE MANAGEMENT PLAN COMPLYING WITH CODE SECTION 4405.2 SHALL BE SUBMITTED FOR APPROVAL.
5. AT THE TIME OF FINAL INSPECTION, AN "OPERATION AND MAINTENANCE MANUAL" SHALL BE PLACED IN THE BUILDING THAT CONTAINS THE APPLICABLE ITEMS LISTED IN CODE SECTION 4405.1.
6. INSTALLED GAS FITTINGS SHALL BE DIRECT VENT SEALED COMBUSTION TYPE (CGC 4102.1).
7. LISTS AND OTHER RELATED AIR DISTRIBUTION EQUIPMENT SHALL HAVE OPENINGS COVERED WITH TAPL, PLASTIC, SHEET METAL OR OTHER ACCEPTABLE METHODS (CGC 4106.1).
8. FLOOR MATERIALS, CARPET SYSTEMS, EFFICIENT FLOORING AND COOKTOPS HOOD PRODUCTS SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS OF CODE SECTION 4502.2 AND 4504.3:
CARPET ADHESIVE = 50 (OCC LIMIT)
CARPET PAD ADHESIVE = 20 (OCC LIMIT)
WOOD FLOORING ADHESIVE = 100 (OCC LIMIT)
SUBFLOOR ADHESIVE = 25 (OCC LIMIT)
CEILING ADHESIVE = 50 (OCC LIMIT)
9. HUMIDITY CONTROL OF WALL AND CEILING FINISHES SHALL BE NOTIFIED PRIOR TO ENCLOSURE FINISHES. FINISHES SHALL NOT BE ENCLOSED WHEN HUMIDITY CONTROL IS REQUIRED (CGC 4105.2).
10. EXHAUSTION EXHAUST FANS SHALL COMPLY WITH THE FOLLOWING:
ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE OF BUILDING. UNLESS FUNCTIONING AS PART OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY SENSING SYSTEM THAT IS READILY ACCESSIBLE. HUMIDITY CONTROL SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 30-60%.



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ARTHUR B. TALLEPPOON, DESIGNER

NEW RESIDENCE
FOR:
DRAPER
RESIDENCE

925 JEWELL AVENUE
PACIFIC GROVE, CALIFORNIA
A.P.N.: 006-131-008

DRAWING:
NEW FLOOR PLAN
NOTES

DRAWN BY: AST
DRAWING DATE: Mar 15, 2015
REVISION DATE:
Apr 9, 2015 (Planning Revisions)

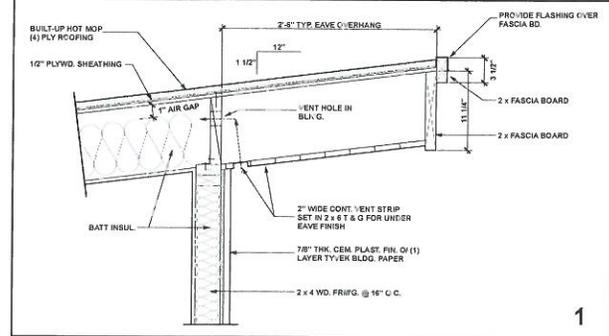
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SHEET
A1.5

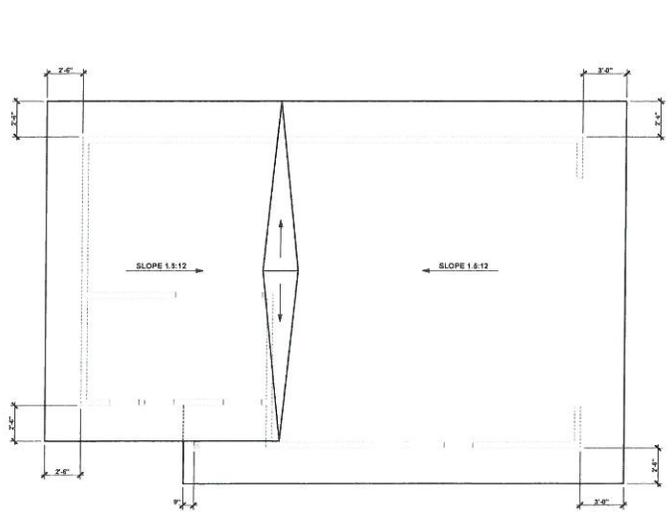
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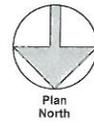
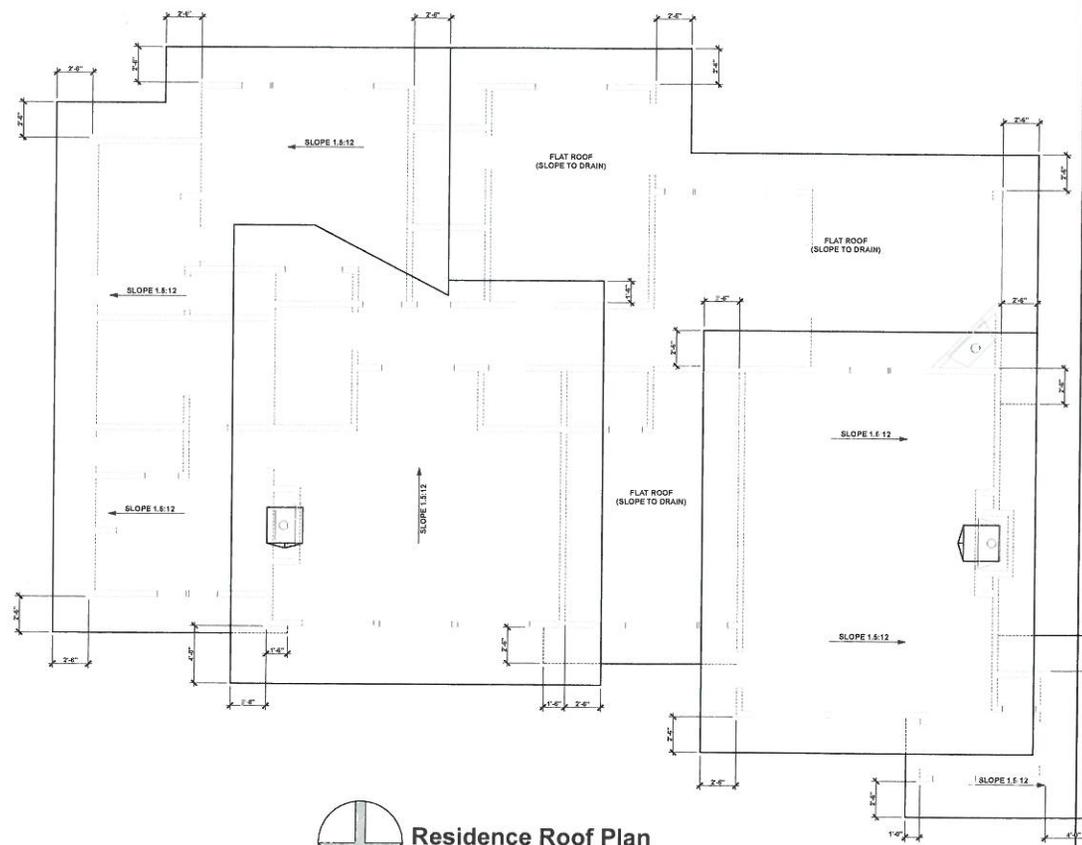
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COMMUNITY DEV DEPT



1



Garage Roof Plan
1/4" = 1'-0"



Residence Roof Plan
1/4" = 1'-0"

AST
DESIGN GROUP
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ARON B. TOLLEFSON, DESIGNER

NEW RESIDENCE
FOR:

**DRAPER
RESIDENCE**

928 JEWELL AVENUE
PACIFIC GROVE, CALIFORNIA
A.P.N.: 008-131-008

DRAWING:
RESIDENCE ROOF PLAN
GARAGE ROOF PLAN

DRAWN BY: AST
DRAWING DATE: Mar 15, 2015
REVISION DATES:
Apr 5, 2016 (Planning Revisions)

THE USE OF THESE PLANS AND INFORMATION IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLIC VIEW THEREOF IS PROHIBITED UNDER PENALTY OF PERSECUTION OR FINE. THIS PLAN IS NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER AND SHALL BE FILED WITH THE COUNTY RECORDS DEPARTMENT.

SHEET

A1.6

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COMMUNITY DEV DEPT

AST

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ANDREW B. TALLEFORD, DESIGNER

NEW RESIDENCE
FOR:

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RESIDENCE**

925 JEWELL AVENUE
PACIFIC GROVE, CALIFORNIA
A.P.N.: 008-131-008

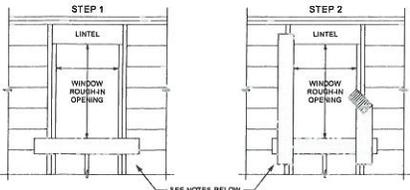
DRAWINGS:
EXTERIOR ELEVATIONS

DRAWN BY: AST
DRAWING DATE: Mar 15, 2015
REVISION DATES:
Apr 8, 2016 (Planning Revisions)

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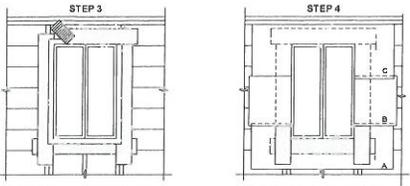
SHEET

A1.7



STEP 1
LINTEL
WINDOW ROUGHEN OPENING
SEE NOTES BELOW

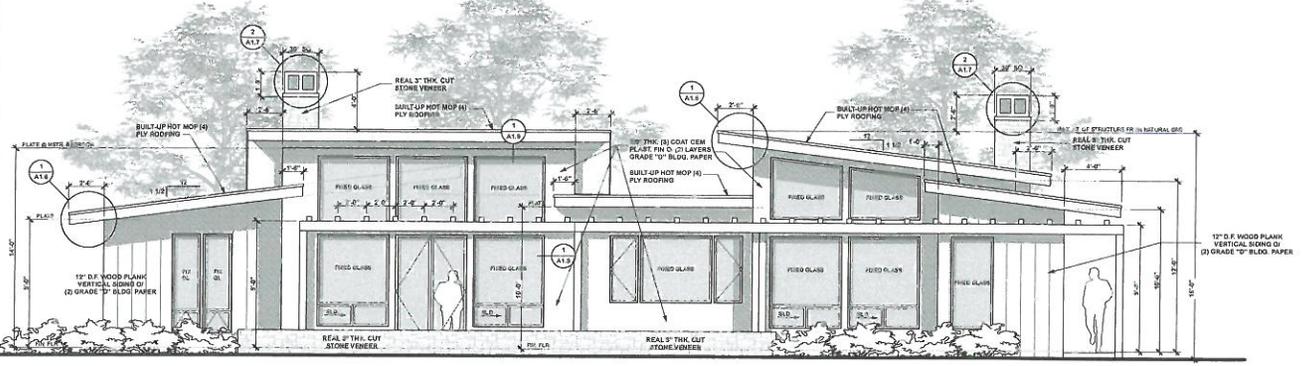
ATTACH SILL STRIP WITH TOP EDGE LEVEL WITH ROUGH SILL. EXTEND BEYOND EDGE OF ROUGH OPENING AT LEAST 6". SECURE ALL MOSTOP OR SIMILAR APPROVED FLASHING MATERIAL WITH GALVANIZED NAILS OR POWER-DRIVEN STAPLES.



STEP 3
INSTALL WINDOW INTO ROUGH OPENING WITH SILL AND JAMB FLANGES OVER PREVIOUSLY INSTALLED FLASHING. ATTACH HEAD FLASHING OVER THE WINDOW FLANGE.

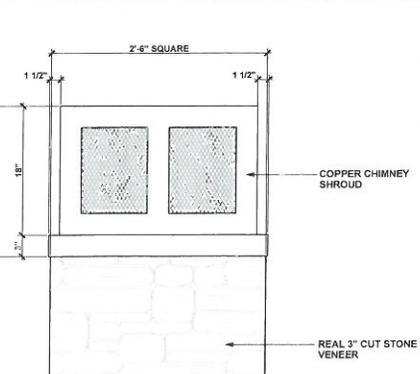
STEP 4
COMMENCING AT THE BOTTOM (DOLE PLATE) OF THE WALL, LAY BUILDING PAPER UNDER SILL STRIP.
NOTE: CUT ANY EXCESS BUILDING PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE LINE ON EACH SIDE OF THE OPENING.
DO NOT SPLICE BUILDING PAPER HORIZONTALLY SO THAT THE PAPER WILL LAP OVER THE JAMB STRIPS. INSTALL EXCESSIVE LINES OF BUILDING PAPER (B, C, D, E, F, G) OVER JAMB AND HEAD FLANGES, LAPPING EACH COURSE.

- NOTES:**
1. LINESHIRE WHEN USED AS BACKING TO SUPPORT BUILDING PAPER BENEATH WIRE LATH (NETTING) FOR PORTLAND CEMENT (STUCCO), SHALL BE INSTALLED AS FOLLOWS:
WIRE GAUGE, SPACING AND ATTACHMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF MANUFACTURER SPECIFICATIONS.
PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENINGS MUST COVER THE WIRE BACKING.
NO ATTACHMENT DEVICES NOR THE WIRE BACKING SHALL COVER OR PENETRATE THE FLASHING MATERIAL.
 2. MOSTOP FLASHING MINIMUM 9" WIDE.
 3. PROVIDE SEALANT AS RECOMMENDED BY WINDOW MANUFACTURER PRIOR TO INSTALLATION OF WINDOW OR SLIDING DOOR.



North Exterior Elevation

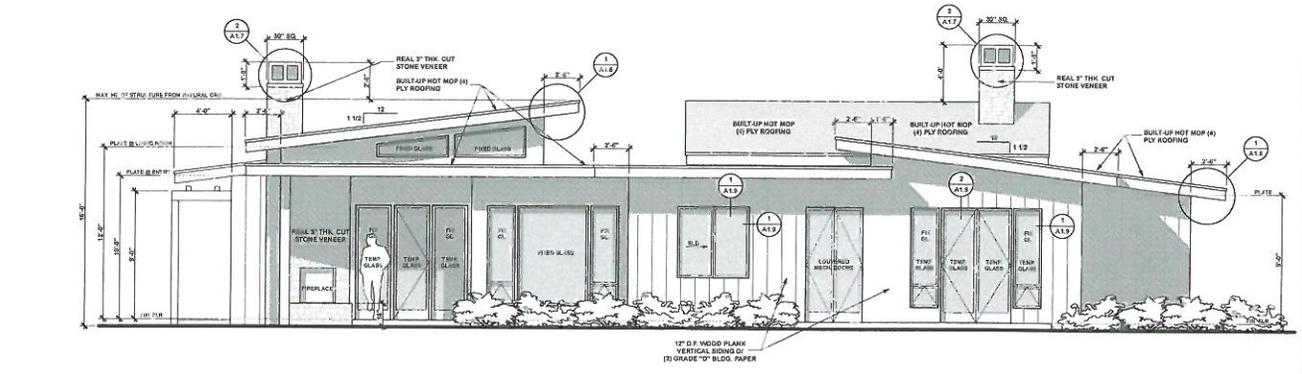
1/4" = 1'-0"



COPPER CHIMNEY SHROUD

REAL 3" THK CUT STONE VENEER

2



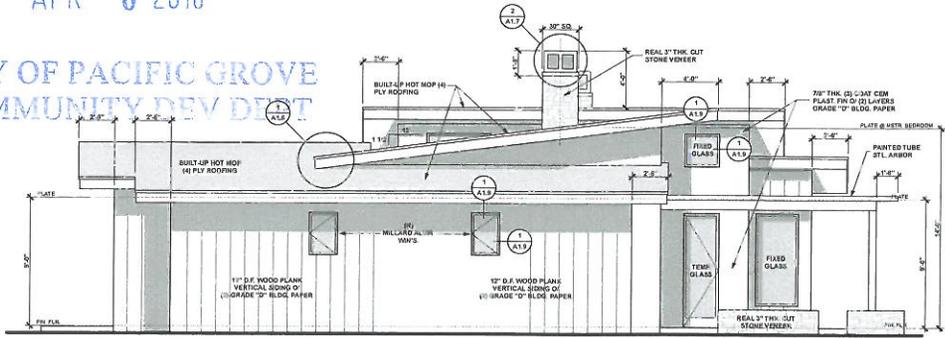
South Exterior Elevation

1/4" = 1'-0"

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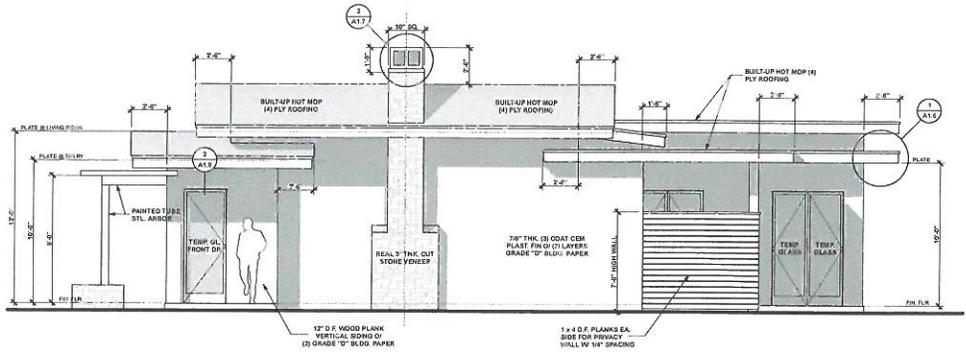
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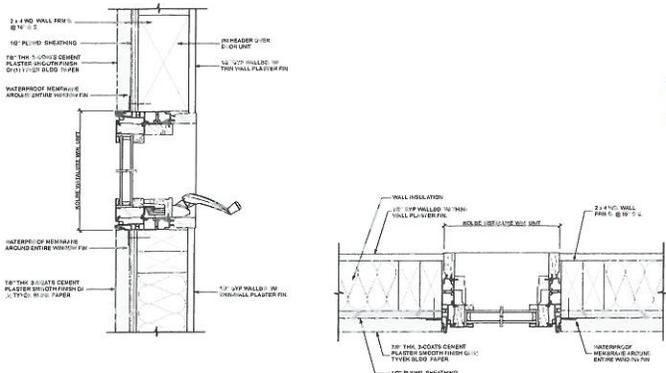
East Exterior Elevation

1/4" = 1'-0"

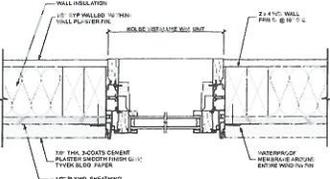


West Exterior Elevation

1/4" = 1'-0"



KOLBE VISTALUXE™ COLLECTION - Flush Style
Cm-X-02 (Sasement) with Double Pane Glass w/with/without screen
Vertical Cross Section

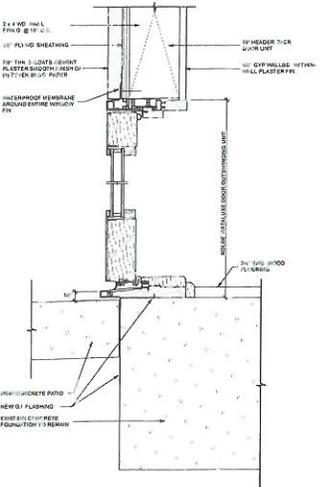


KOLBE VISTALUXE™ COLLECTION - Flush Style
Cm-X-10 (Sasement) with/with/without screen
Horizontal Cross Section

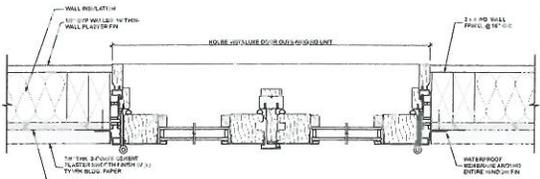
Kolbe - Vistaluxe Collection (Window Details)

3" = 1'-0"

1



KOLBE VISTALUXE™ COLLECTION - Flush Style
A-1 (Sliding Door with Double Pane Glass,
C-1 (Track Panel & Storm) 1/2
1/8" = 1'-0"



KOLBE VISTALUXE™ COLLECTION - Flush Style
Track Panel & Storm (Cm-X-02) with/with/without screen
Horizontal Cross Section

Kolbe - Vistaluxe Collection (Door Details)

3" = 1'-0"

2

AST
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KEVIN S. TOLLEFSON, DESIGNER

NEW RESIDENCE
FOR:

**DRAPER
RESIDENCE**

925 JEWELL AVENUE
PACIFIC GROVE, CALIFORNIA
A.P.N.: 008-131-008

DRAWINGS:
EXTERIOR ELEVATIONS

DRAWN BY: AST
DRAWING DATE: Mar 15, 2016
REVISION DATES:
Apr 6, 2016 (Planning Revisions)

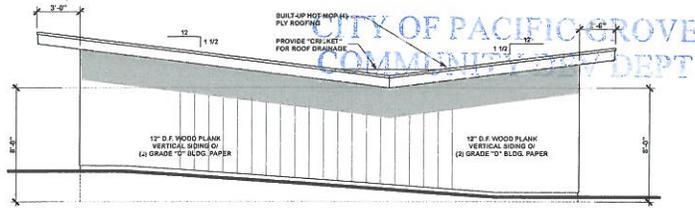
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SHEET
A1.9

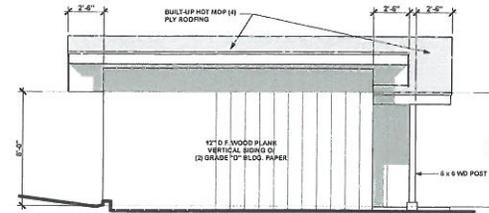
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Item 7a

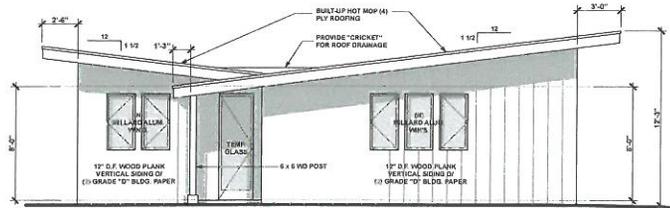
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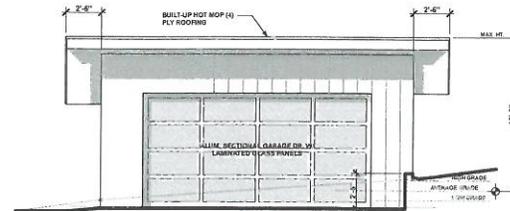
South Exterior Elevation
1/4" = 1'-0"



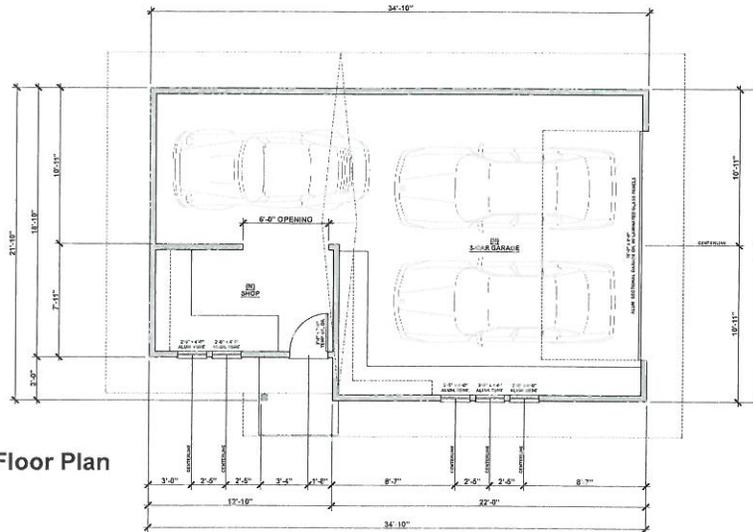
East Exterior Elevation
1/4" = 1'-0"



North Exterior Elevation
1/4" = 1'-0"



West Exterior Elevation
1/4" = 1'-0"



Garage Floor Plan
1/4" = 1'-0"

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AARON B. TOLLEFSON, DESIGNER

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FOR:

DRAPER
RESIDENCE

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A.P.N.: 006-131-008

DRAWING:
GARAGE FLOOR PLAN
GARAGE EXTERIORS

DRAWN BY: AST
DRAWING DATE: Hbr 15, 2016
REVISION DATES:
Apr. 5, 2017 (Planning Revisions)

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SHEET
A1.8

Draper Residence

925 Jewell Avenue
Pacific Grove, California 93950

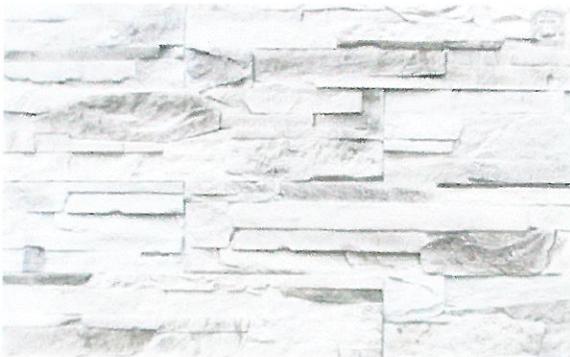
Body of Residence Color (@ Wd. Siding Condition)
Kolbe Vistaluxe - Window & Door Colors



Body of Residence Color (@ Cement Plaster Condition)



Stone Walls on Site (Stacked Stone - Grey Scale Color)



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 CITY OF PACIFIC GROVE
 COMMUNITY DEV DEPT

AST Design Group
Aaron S. Tollefson
(831) 578-3450

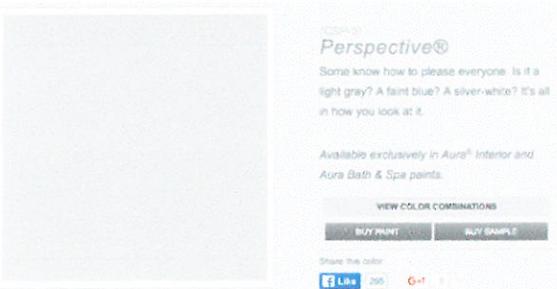
Draper Residence

925 Jewell Avenue
Pacific Grove, California 93950

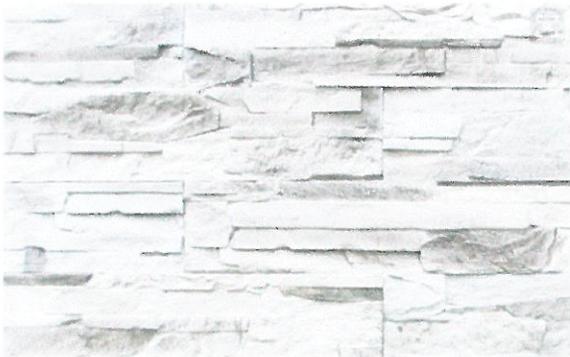
Body of Residence Color (@ Wd. Siding Condition)
Kolbe Vistaluxe - Window & Door Colors



Body of Residence Color (@ Cement Plaster Condition)



Stone Walls on Site (Stacked Stone - Grey Scale Color)



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COMMUNITY DEV DEPT

AST Design Group
Aaron S. Tollefson
(831) 578-3450

**MONTEREY PENINSULA WATER MANAGEMENT DISTRICT
RESIDENTIAL WATER RELEASE FORM AND WATER PERMIT APPLICATION**

NOTE: When approved and signed by the jurisdictions, this form must be submitted with final and complete Construction Plans to:
 Monterey Peninsula Water Management District Permit Office
 5 Harris Court, Bldg. G ♦ Monterey, CA 93940 ♦ (831) 658-5601 ♦ www.mpwmd.net ♦ Fax (831) 644-9558
 Completing the Water Release Form & Water Permit Application does not guarantee issuance of a Water Permit.

ALL SPACES BELOW MUST BE COMPLETED OR THE APPLICATION MAY NOT BE PROCESSED. (Please print firmly)

1. OWNERSHIP INFORMATION:

Name: Mr. Mrs. Randy Draper
 Daytime telephone: (831) 372-4188
 Mailing Address: 925 Jewell Avenue
Pacific Grove, CA 93950
 Name: Aaron Tollefson
 Daytime telephone: (831) 570-3450
 Mailing Address: 957 Angelus Way
Del Rey Oaks, CA 93940

3. PROPERTY INFORMATION:

What year was the house constructed? 7 Existing Square-footage 1364 Proposed Square-footage 2186
 Address: 925 Jewell Ave, Pg, CA 93950 Assessor Parcel Number 006-131-008
 Is a water meter needed? (Circle one) YES (NO) If yes, how many meters are requested? —
 Water company serving parcel: Cal Am Account Number: —

NOTE: Separate water meters are required for each User. Residential uses require separate meters for all auxiliary housing that includes a kitchen.

4. PROJECT DESCRIPTION (Be thorough and detailed): Demolish (E) 1364 SF residence & build (N) 2186 SF SFD w/ (N) 217 SF detached 3-car garage.

5. INSTRUCTIONS: *Table #1 should list the fixtures on the property as they exist before the project. Table #2 should reflect all fixtures on the property after the project is completed. Only one Master Bathroom can be designated per dwelling unit.*

Table No. 1 Existing Property Fixture Count
(All fixtures before project)

Type of Fixture	Fixture	Value	Count
Washbasin	2	x 1.0	= 2.0
Two Washbasins in the Master Bathroom		x 1.0	=
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)	2	x 1.8	= 3.6
Toilet, High Efficiency (HET)		x 1.3	=
Toilet, Ultra High Efficiency (UHET)		x 0.8	=
Urinal, High Efficiency (HEU) (0.5 gallon-per-flush)		x 0.5	=
Zero Water Consumption Urinal*		x 0.0	=
Masterbath (one per Dwelling); Tub & Separate Showers		x 3.0	=
Large Bathub (may have Showerhead above)		x 3.0	=
Standard Bathub or Shower Stall (one showerhead)	1	x 2.0	= 2.0
Shower, each additional fixture (heads, body spray)	1	x 2.0	= 2.0
Shower system, Rain Bars or Custom Shower (specs)		x 2.0	=
Kitchen Sink (with optional Dishwasher)	1	x 2.0	= 2.0
Kitchen Sink with High Efficiency Dishwasher		x 1.5	=
Dishwasher, each additional (with optional sink)		x 2.0	=
Dishwasher, High Efficiency (with opt. sink)	1	x 2.0	= 2.0
Laundry Sink/Utility Sink (one per Site)	1	x 2.0	= 2.0
Clothes Washer		x 1.0	=
Clothes Washer, (HEW) 5.0 water factor or less		x 2.0	=
Bidet		x 1.0	=
Bar Sink		x 1.0	=
Entertainment Sink		x 1.0	=
Vegetable Sink		x 1.0	=
Swimming Pool (each 100 sq-ft of pool surface)		x 1.0	=
Other		x	=
Other		x	=
Other		x	=

• Use this fixture count if a previous Permit was issued under Ordinance 80 to utilize the Master Bathroom Credit. (Tub may be large.) See District staff for more information.

EXISTING FIXTURE UNIT COUNT TOTAL = 15.6

Table No. 2 Post Project Fixture Count
(All fixtures after project)

Type of Fixture	Fixture	Value	Count
Washbasin	2	x 1.0	= 2.0
Two Washbasins in the Master Bathroom	1	x 1.0	= 1.0
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)		x 1.8	=
Toilet, High Efficiency (HET)	3	x 1.3	= 3.9
Toilet, Ultra High Efficiency (UHET)		x 0.8	=
Urinal, High Efficiency (HEU) (0.5 gallon-per-flush)		x 0.5	=
Zero Water Consumption Urinal*		x 0.0	=
Masterbath (one per Dwelling); Tub & Separate Shower		x 3.0	=
Large Bathub (may have Showerhead above)		x 3.0	=
Standard Bathub or Shower Stall (one showerhead)	2	x 2.0	= 4.0
Shower, each additional fixture (heads, body spray)		x 2.0	=
Shower system, Rain Bars or Custom Shower (specs)		x 2.0	=
Kitchen Sink (optional dishwasher)	1	x 2.0	= 2.0
Kitchen Sink with High Efficiency Dishwasher		x 1.5	=
Dishwasher, each additional (optional sink)		x 2.0	=
Dishwasher, High Efficiency (with opt. sink)	1	x 2.0	= 2.0
Laundry Sink/Utility Sink (one per Site)	1	x 2.0	= 2.0
Clothes Washer		x 2.0	=
Clothes Washer, (HEW) 5.0 water factor or less	1	x 1.0	= 1.0
Bidet		x 2.0	=
Bar Sink		x 1.0	=
Entertainment Sink		x 1.0	=
Vegetable Sink		x 1.0	=
Instant-Access-Hot-Water System (fixture credit)		x 1.0	=
New Connection - Refer to District Rule 24-A5		x	=
Exterior Residential Water Demand Calculations*		x	=
Subtotal proposed fixtures		x	=
Swimming Pool (each 100 sq-ft of pool surface)		x 1.0	=

PROPOSED FIXTURE UNIT COUNT TOTAL = 15.4

DEED RESTRICTION REQUIRED FOR ALL WATER PERMITS - PERMIT PROCESS MAY TAKE UP TO THREE WEEKS

In completing the Water Release Form, the undersigned acknowledges that any discrepancy or mistake may cause rejection or delay in processing of the application. Additionally, the undersigned is responsible for accurately accounting for all water fixtures. If the fixture unit count changes without notification to the District, or if a difference in fixtures is documented upon official inspection, Water Permits for the property may be canceled. In addition, water fixtures installed without a Water Permit may be cause for interruption of the water service to the Site, additional fees and penalties, the imposition of a lien on the property, and deduction of water from the local Jurisdiction's Allocation. The property owner/Applicant is required to notify the District and provide Construction Plans as appropriate for each change in the Project made prior to use or occupancy that may affect the Project's Capacity to use water.

6. I certify, under penalty of perjury, that the information provided on this Water Release Form & Water Permit Application is to my knowledge correct, and the information accurately reflects water use presently planned for this property.

Signature of Owner/Agent: [Signature] Date: 4-5-16
 Signature of Owner/Agent: Aaron Tollefson Date: 4-5-16
 Print Name: Aaron Tollefson Location Where Signed: Wooden

File or Plan Check Number _____

AUTHORIZATION FOR WATER PERMIT - JURISDICTION USE ONLY

AF Paralta Allocation _____ AF Public Credits _____ AF Second Bathroom Protocol _____
 AF Pre-Paralta Credits _____ WDS (Private Well) _____ Water Entitlement _____ No water needed _____

Notes: _____ Authorized by: _____ Date: _____

This form expires one year from date of authorization for this project by the jurisdiction.