



City of Pacific Grove
Architectural Review Board Report

March 8, 2016

To: Chair Steres and Members of the Architectural Review Board

Submitted By: Wendy Lao, Assistant Planner

Subject: Consideration of Architectural Permit and Tree Permit with Development (AP TPD 16-020) to demolish a one-story single-family residence of 1,375 square feet, and to create a two-story single-family residence of 2,753 gross square feet, including the removal of one *Metrosideros tomentosa* tree

Recommendation:

Final Approval subject to the attached conditions, including the removal of one tree branch and tree trimming.

Background and Project Description:

Application: Architectural Permit and Tree Permit With Development #16-020

Location: 1269 Surf Ave. Pacific Grove, CA 93950

APN: 006-014-002

Applicant: Jeanne C. Byrne, FAIA, Architect

The project consists of a demolition of a single-story single-family residence of 1,375 square feet. The project proposes a 1,483 square foot first floor with a 502 square foot garage, and a 920 square foot second floor including a balcony facing the front, creating a 2,753 gross square foot residence on an 8,180 square foot lot. The new structure will have shingle siding and a composition shingle roof. The applicant is also requesting the removal of one *Metrosideros Tomentosa* tree on the site.

Staff Analysis:

R-1-H Zoning Regulations: The proposed project is in conformance with all requirements of the R-1-H zone including, but not limited to, setbacks, height limits, and site coverage.

Architectural Review Guidelines: In staff's findings, the project proposal is consistent with numerous Architectural Design Guidelines. One Architecture Review Guidelines the project appears to be consistent with includes:

Guideline #36: Design a façade to provide visual interest to the street.

Staff commends the design of the architecture in a neighborhood which consists of both one-story and two-story residences.

Tree Removal within Architecture Review Guidelines: In staff's findings, the project proposal appears to be inconsistent with several other Architecture Design Guidelines, particularly regarding trees:

Guideline #21: The design and sitting of a dwelling should take into consideration all existing trees in order to avoid unneeded cutting and trimming.

Guideline #22: Protect root systems of significant trees.

Guideline #23: Consult the City Forester regarding tree protection measures during construction.

Guideline #21 calls to avoid unneeded tree removal and tree trimming. As part of the project, the applicant is requesting the removal of one multi-stemmed *Metrosideros Tomentosa* tree. A tree assessment was completed by Frank Ono, a Certified Arborist, to assess the impacts of the development to the existing trees on the site. Mr. Ono recommended substantial root removal of the *Metrosideros Tomentosa* tree, and concluded that a removal would not significantly affect air movement or erosion. Mr. Ono also found that the root of the tree to be damaging the concrete driveway, and provided a hazard rating of 8. *(Please see Attachment C.)*

The City's Arborist reviewed the project proposal and has concerns with the applicant's tree report. The City's Arborist has denied the application request to remove the tree. According to the City Arborist, the tree, although not native, is considered mature, established, has a Low Risk rating of 4, and is in the Risk Category of 2. Furthermore, the project will replace the existing driveway with vegetation, and create a new driveway approximately 40 feet away from the tree. Therefore, there will be no impact on the newly proposed driveway. The City's Arborist is allowing one branch of the *Metrosideros Tomentosa* tree to be removed, as well as minimal crown reduction and tree trimming. *(Please see Attachment D.)*

Guideline #22 calls to protect root systems of significant trees. The site includes construction and paving of a new driveway near a 66" Monterey Cypress and a 48" Monterey Cypress tree. The applicant's arborist, Mr. Ono, has provided protection measures which will be

a condition of approval and required prior to issuance of building permits. Furthermore, the driveway will have pervious pavers, which will help alleviate the impact to the Cypress trees by allowing for tree root expansion.

Guideline #23 calls to consult the City Arborist regarding tree protection measures during construction. The City Arborist is concerned that tree trimming of sub-par quality occurred without permits, likely during construction of the story poles. This was evidenced at a site visit on February 24, 2016. The City Arborist reminds the applicant that permits are required for all tree trimming.

Historic Review: The subject property was built in 1949. A Phase I Historic Assessment was completed by Kent L. Seavey on June 5, 2015 and determined the proposed project does not qualify as an individual historic resource under National, State, or City register criteria.

Archaeological Review: The subject property is located in the Archaeologically Sensitive Area. The Preliminary Archaeological Assessment completed on October 15, 2015 by Gary S. Breschini, Ph.D. concluded that the project site provides no surface evidence of potentially significant cultural resources. A condition of approval in the permit requires work to be halted if any archaeological resources are discovered during construction.

Public Comments: Staff received one comment from a neighbor expressing concern of the building height and tree removal during a site visit on 2/8/16.

Alternatives:

The draft permit allows the proposed project, with the requirement that the *Metrosideros Tomentosa* tree may only have one branch removed (as noted in the City Arborist's letter) as well as minimal crown reduction and trimming. The Architectural Review Board may recommend an alternative design or may include a condition to change minor aspects design. The board may refer the approval back to staff or request a subcommittee made up of Architectural Review Board members for final approval. The board may also deny the application.

Environmental Review:

The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301(l)(1) Class 1 – Existing Facilities and Section 15303(a) – New Construction of Small Structures. The proposed alterations do not present any unusual circumstances that would result in a potentially significant environmental impact.

Attachments:

- Attachment A – Permit Application
- Attachment B – Draft Permit
- Attachment C – Applicant’s Arborist Report
- Attachment D – City’s Arborist Report
- Attachment E – Phase I Historic Report
- Attachment F – Project Data Sheet
- Attachment G – Water Credit Form
- Attachment H – Project Plans



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Application # AP16-020

Date: 11/16

Total Fees: 3046.00

Received by: WL

APPLICANT/OWNER:	Project Address: <u>1269 SURF AVE.</u> APN: <u>006-014-002</u>										
	Project Description: <u>NEW 2-STORY SINGLE FAMILY RESIDENCE.</u> <u>(REMOVE EXISTING NON-HISTORY HOUSE)</u>										
	<table border="0"> <tr> <td style="text-align: center;">Applicant</td> <td style="text-align: center;">Owner</td> </tr> <tr> <td>Name: <u>JEANNE C. BYRNE, FAIA ARCHITECT</u></td> <td>Name: <u>ALAN & DEBRA ROCHE</u></td> </tr> <tr> <td>Phone: <u>831-372-6585</u></td> <td>Phone: <u>626-232-9275</u></td> </tr> <tr> <td>Email: <u>JCBARCHFAIA@ATT.NET</u></td> <td>Email: <u>DROCHE1@YAHOO.COM</u></td> </tr> <tr> <td>Mailing Address: <u>591 LIGHTHOUSE AVE. #5</u> <u>PACIFIC GROVE, CA 93950</u></td> <td>Mailing Address: <u>894 N. MONTEREY ST.</u> <u>ALHAMBRA, CA 91801</u></td> </tr> </table>	Applicant	Owner	Name: <u>JEANNE C. BYRNE, FAIA ARCHITECT</u>	Name: <u>ALAN & DEBRA ROCHE</u>	Phone: <u>831-372-6585</u>	Phone: <u>626-232-9275</u>	Email: <u>JCBARCHFAIA@ATT.NET</u>	Email: <u>DROCHE1@YAHOO.COM</u>	Mailing Address: <u>591 LIGHTHOUSE AVE. #5</u> <u>PACIFIC GROVE, CA 93950</u>	Mailing Address: <u>894 N. MONTEREY ST.</u> <u>ALHAMBRA, CA 91801</u>
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PLANNING STAFF USE ONLY:	Permit Request:																				
	<input type="checkbox"/> CRD: Counter Determination <input type="checkbox"/> AUP: Administrative UP <input type="checkbox"/> IHS: Initial Historic Screening <input type="checkbox"/> AVAR: Administrative VAR <input checked="" type="checkbox"/> AP: Architectural Permit <input type="checkbox"/> UP-A: UP Amendment <input type="checkbox"/> HPP: Historic Preservation <input type="checkbox"/> VAR-A: VAR Amendment <input type="checkbox"/> AAP: Administrative AP <input type="checkbox"/> AUP-A: AUP Amendment <input type="checkbox"/> HD: Historic Determination <input type="checkbox"/> AVAR-A: AVAR Amendment <input type="checkbox"/> ADC: AP Design Change <input type="checkbox"/> SU: Second Unit <input checked="" type="checkbox"/> STPD: Tree Permit W/ Dev't <input type="checkbox"/> MMP: Mitigation Monitoring <input type="checkbox"/> SP: Sign Permit <input type="checkbox"/> LLA: Lot Line Adjustment <input type="checkbox"/> PUU: Undocumented Unit <input type="checkbox"/> Stormwater Permit <input type="checkbox"/> UP: Use Permit <input type="checkbox"/> LM: Lot Merger <input type="checkbox"/> VAR: Variance <input type="checkbox"/> Other:																				
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Property Information Lot: <u>13B, 1M</u> Block: <u>319</u> Tract: _____ ZC: <u>R1B3</u> GP: <u>LOW DEN. 5.4</u> Lot Size: <u>12007</u> <input type="checkbox"/> Historic Resources Inventory <input type="checkbox"/> Archaeologically Sensitive Area																					
	Staff Use Only: <u>CEQA exempt. §15301(L)(1)</u>																				

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

Applicant Signature: Jeanne C. Byrne FAIA

Date: 12/29/15

Owner Signature (Required): Debra W Roche

Date: 12-29-2015



CITY OF PACIFIC GROVE

Community & Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T :: 831.648.3183 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

Permit & Request Application for Tree Permit (TP)

Post:	Item 7b
Pull:	_____
Replant:	_____
Tree Health:	_____
Arborist Report Required:	_____
App.#:	_____
Fee:	_____

Tree Inspection Liability Disclosure: The City shall not be responsible for any damage to property or persons caused by, or related to, trees located on private property. It is the owner's responsibility to maintain all trees on their property in a reasonable and safe manner, and any inspection performed by the City is a limited advisory assessment only. For a more thorough inspection, the owner should contact a certified arborist. All tree work within the City of Pacific Grove requires an application to be on file. A permit will be issued based on the City of Pacific Grove Tree Ordinance 12.20.040 Pruning and Removal of Protected trees.

Property Address: 1269 SURF AVE.

Owner: ALAN & DEBRA ROCHE Applicant: JEANNE C. BYRNE, FAIA - ARCHITECT
 Phone: 626 232 9275 Phone: 831 372 6585
 E-mail: DROCHE1@YAHOO.COM E-mail: JCBARCHFAIA@ATT.NET

Tree #	Type/Species	Requested Action: (trim, remove)
#1	44" TREE CLUSTER - LANDSCAPE	REMOVE - NON-NATIVE - FOR DEVELOPMENT
#2	6" LANDSCAPE TREE	REMOVE - NON-NATIVE - FOR DEVELOPMENT

*Attach additional sheets if required for above listings. Trimming less than 25% of tree OR branches are less than 6" Dead Tree

Reason for Request (Please provide brief description. Details may follow in the report)
 REMOVE NON-NATIVE LANDSCAPE TREES AS PART OF
 NEW 2-STORY SINGLE FAMILY RESIDENCE DEVELOPMENT.

Is there an active Planning/Building permit for this property? Yes No

- The following conditions must be met prior to any tree removal or trimming:
1. NO WORK IS PERMITTED until you have picked up and paid the application fee for an approved permit for tree work.
 2. A live tree request for removal requires an arborist report and tree hazard evaluation form completed by a Certified Arborist and submitted with this application.
 3. All tree work activity shall comply with the provisions of the PGMC Title 12, Trees and the Urban Forest.
 4. A site plan must accompany the application showing the location of the trees to be worked on and the location of replants.
 5. Substantial Pruning or Removal of any Protected Tree requires a permit except in an Emergency, in compliance with PGMC 12.20.040
 6. All trees to be removed must be marked with a bright ribbon around the trunk of the tree.
 7. After the permits have been received and processed, the City Arborist will do a site visit and post the permit at the job site for 10 working days.
 8. Any protected tree removed must be replaced with a 1:1 ratio of species approved by the City Arborist within 60 days of removal.
 9. Permits expire 60 days after its effective date. The City Arborist may grant up to one extension not to exceed 30 days.
- *This list is not comprehensive of all conditions that may be required for tree removal and trimming work.
 This particular tree permit is Exempt - CEQA Exemption Class 4s.15304 Minor Alterations to Land.

I request to pay in lieu fees (\$687/tree) in place of replanting _____ trees, in the amount of \$ _____.
 *Request will be approved or denied by the City Arborist

I have read and agree with the conditions of this application and hereby grant permission for City Personnel to inspect the trees on my property.

I, Debra Roche (Owner Name) authorize JEANNE C. BYRNE, FAIA (Agent Name) to represent me in the application and processing of this permit.

Owner Signature: [Signature] Date: 12-28-2015



CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

ARCHITECTURAL PERMIT AND TREE PERMIT WITH DEVELOPMENT #16-020

FOR A PROPERTY LOCATED AT 1269 SURF AVENUE TO DEMOLISH AN EXISTING SINGLE-STORY SINGLE-FAMILY RESIDENCE OF 1,375 SQUARE FEET, AND TO CREATE A NEW TWO-STORY SINGLE-FAMILY RESIDENCE OF 2,753 GROSS SQUARE FEET, INCLUDING THE REMOVAL OF ONE METROSIDEROS TOMENTOSA TREE BRANCH, MINIMAL CROWN REDUCTION, AND TREE TRIMMING.

FACTS

1. The subject site is located at 1269 Surf Ave., Pacific Grove, 93950 (APN 006-014-002)
2. The subject site has a designation of Medium Density Residential 17.4 DU/ac on the adopted City of Pacific Grove General Plan Land Use Map.
3. The subject site is approximately 8,180 gross square feet.
4. The subject site is developed with a single-story, single-family residence of 1,375 square feet.
5. The project site is located in the R-1-H zoning district.
6. The subject site is located in the Archaeologically Sensitive Area.
7. The subject site is located in the Area of Special Biological Significance Watershed.
8. The subject property was built in 1949 and is not on the City's Historic Resources Inventory.
9. A Phase I Historic Assessment was completed by Kent L. Seavey on June 5, 2015 and determined the proposed project does not qualify as an individual historic resource under National, State, or City of Pacific Grove register criteria.
10. This project has been determined to be CEQA Exempt under CEQA Guidelines, Section 15301, Class 1.

FINDINGS

1. The proposed development is in conformance with the Monterey Peninsula Water Management District (MPWMD) regulations, as the unit count will be reduced from 15.6 to 15.4, and;
2. The Preliminary Archaeological Assessment completed on October 15, 2015 by Gary S. Breschini, Ph.D. concluded that the project site provides no surface evidence of potentially significant cultural resources, and;
3. The proposed development will meet the development regulations set forth in the R-1-H zoning district including setbacks and height requirements, and;
4. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal will be consistent with Architectural Review Guidelines No. 36, and;
5. The removal of one *Metrosideros Excelsa* tree branch, minimal crown reduction, and pruning/trimming, as approved by the City Arborist on 2/24/16, will be consistent with Architecture Review Guidelines No. 21, and;
6. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;

7. The Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

PERMIT

Architectural Permit (AP) and Tree Permit with Development (TPD) #16-020 to allow:

1. The demolition a single-family residence of 1,375 square feet.
2. The creation of a two-story single-family residence of 2,753 gross square feet.
3. The removal of one tree branch, minimal crown reduction, and tree trimming of a *Metrosideros Tomentosa* tree, as approved by the City Arborist on .

CONDITIONS OF APPROVAL

1. **Conditions of Approval in Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department
2. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
3. **Archaeological Resources:** If archaeological resources or human remains are unexpectedly discovered during construction, work shall be halted on the project parcel until it can be evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated, with the approval of the lead agency, and implemented.
3. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
4. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
5. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
6. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.

- 7. **Conformance to Plans.** Development of the site shall conform to approved plans for “Roche Residence” dated 1/7/2016, on file with the Community Development Department, with the exception of any subsequently approved changes.
- 8. **Lighting:** All exterior lighting must conform to Architectural Review Guidelines Nos. 10,11,12

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

- 1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
- 2. The Board authorizes Approval of AP TPD 16-020 to permit the demolition a single-family residence of 1,375 square feet., create a two-story single-family residence of 2,753 gross square feet, and removal of one tree branch, minimal crown reduction, and trimming of a Metrosideros Tomentosa tree.
- 3. This permit shall become effective upon the expiration of the 10-day appeal period.
- 4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

PASSED AND ADOPTED AT A REGULAR MEETING OF THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE ON THE 8TH DAY OF MARCH, 2016, BY THE FOLLOWING VOTE:

AYES:

NOES:

ABSENT:

APPROVED:

Rick Steres, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Alan & Debra Roche, Property Owner

Date

Frank Ono
International Society of Arboriculture
Certified Arborist # 536
Society of American Foresters Professional Member 48004
1213 Miles Avenue
Pacific Grove CA, 93950
Telephone (831) 373-7086

February 18, 2016

Jeanne C. Byrne FAIA, Architects
Mrs. Jeanne Byrne
591 Lighthouse Avenue #5
Pacific Grove, CA 93950

RE: 1269 Surf Tree Removal - Proposed Construction
APN: 006-014-002-000

Mrs. Byrne;

I have been requested to prepare a report regarding proposed construction at 1269 Surf Avenue, Pacific Grove, CA. The report is requested because of several trees located adjacent to the proposed new building; one will be removed the other two will require some encroachment onto their root zones. The report is background information for use by the City of Pacific Grove to determine under what circumstances a permit may be issued.

PROJECT DESCRIPTION

The project consist of demolishing an existing non-historic structure and building a new two story single family residence to replace the house. One tree is proposed for removal with potential root pruning of several adjacent cypress trees.

SITE CONDITIONS

The site is located on soils identified by the Natural Resource Conservation Service as Baywood sand. Baywood soils are a gently sloping to rolling soil found on stabilized sand dunes. Runoff is slow to medium, and the erosion hazard is considered slight to moderate. Permeability is rapid, and the available water capacity is 2.5 to 3 inches. Vegetation on the site is mixed ornamental which is mostly planted. Proposed is the removal of one non-native tree and there are two mature Cypresses located along the west property line adjacent the new proposed driveway.

TREE CHARACTERISTICS

There are several trees of concern. One tree is proposed for removal; a New Zealand Christmas tree (*Metrosideros tomentosa*) composed of multiple stems (18", 11", 8", 6", 6", 5", and 4" diameters). The tree has stems which are weakly attached to a common base or root crown. The relative healthy tree problematic having a very full crown but with weakly attached stems; the root crown is also lifting in the soil and currently creating property damage. The buttressed root crown is lifting adjacent areas; most notable is where the concrete driveway is cracked from large surface root uplift and appears to be headed toward the garage floor. The two mature Monterey cypresses (*Cupressus macrocarpa*) are also located fairly close to the new proposed driveway area. These are well established trees appearing to be in fair or better health. Roots are observed lifting the rolled curb and gutter portion of the street where the new driveway is proposed. The trees are to be retained but may need root pruning to correct the lifted rolled curb and gutter. It appears that some root pruning or shaving may also be necessary to install the new driveway.

ASSESSMENT AND RECOMMENDED MEASURES

The New Zealand Christmas tree is a non-native tree which was planted as part of the landscape. It appears from its multiple stem growth, the tree may have been originally a shrub that over the years has escaped containment by pruning (most New Zealand Christmas trees if intended as a tree are usually planted as standard single stemmed tree, not a shrub). The new structure and driveway requires substantial root removal of the New Zealand Christmas tree, therefore its removal and replacement is recommended as its removal will not significantly affect air movement or erosion. The Cypresses are much larger mature trees appearing well rooted in the soil. In this case necessary root pruning does not appear it will significantly affect the tree. As a pre-caution root pruning should be monitored to insure that only those roots necessary are to be pruned correctly.

The City of Pacific Grove through Its General Plan and City Ordinances has tree replacement conditions as part of a tree removal permit when sufficient space exists to replant that does not create an overcrowded vegetated situation. It is recommended that replanting be with five gallon Monterey cypress. In addition, the City also requires independent monitoring of replanted trees to insure replanting is successful (the term of monitoring is at City discretion, typically one –three years dependent on the type of permit).

The Monterey cypresses adjacent to the new building site will require protection from potential construction affects as follows:

Prior to the commencement of construction activities:

- Trees located adjacent to the construction area shall be protected from damage both by construction equipment by the use of temporary fencing and through wrapping of trunks with protective materials.
- Fencing shall consist of chain link, heavy duty plastic mesh, hay bales, or field fence.
- Fencing is not to be attached to the tree but free standing or self-supporting so as

not to damage trees. Fencing shall be rigidly supported, shall stand a minimum of 7b height of four feet above grade and extend out to the trees dripline of critical root zone (CRZ) whichever is greater unless preapproved by the arborist.

- CRZ areas are to have a 4" deep mulch area placed onto the ground within the tree protection zone to signify tree protected root zones. Only 1 to 2 inches of mulch should be applied within 1 to 2 feet of the trunk, and under no circumstances should any soil or mulch be placed against the root crown (base) of trees. In the case that the root zone area must be encroached or traveled across, plates may be installed to spread load over roots.
- Soil compaction, parking of vehicles or heavy equipment, stockpiling of construction materials, and/or dumping of materials is not allowed within fenced areas or area adjacent to trees on the property.
- Fenced areas and the trunk protection materials are to remain in place during the entire construction period.

Care to be taken during grading and excavation activities include but are not limited to the following:

- All trenching, grading or any other digging or soil removal that is expected to encounter tree roots should be monitored by a qualified arborist or forester to ensure against drilling or cutting into or through major roots.
- A qualified arborist should be on site during excavation activities to direct any minor field adjustments that may be needed.
- Trenching for the retaining wall and driveway located adjacent to any tree must be done by hand where practical and any roots greater than 3-inches diameter should be bridged or pruned appropriately.
- Any roots that must be cut should be cut by manually digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root pruning equipment.
- Any roots damaged during grading or excavation should be exposed to sound tissue and cut cleanly with a saw.

Following construction, a qualified arborist should monitor trees adjacent to the improvements area and if any decline in health that is attributable to the construction is noted, additional trees should be planted on the site.

Sincerely,



Frank Ono

Certified Arborist #536

(Disclaimer) This report is based on a visual inspection of tree condition and for obvious defects. It is not intended to constitute a complete health and hazard evaluation. Further investigation would be required to more definitively evaluate the health and hazards posed by the subject trees, some of which may not be disclosed by visual inspections. Investigations include but are not limited to core samples, root crown excavation, and visual inspection of the entire trees by climbing. Please be advised that healthy trees and/or limbs may fail under certain conditions, and that the above recommendations are based on industry standards of tree care. This report is made with the understanding that no representations or warranties, either expressed or implied are made that any trees referred to in the report or located on or adjacent to the subject property are sound or safe.



New Zealand Christmas Tree to be removed

Cracked driveway from root uplift

Item 7b

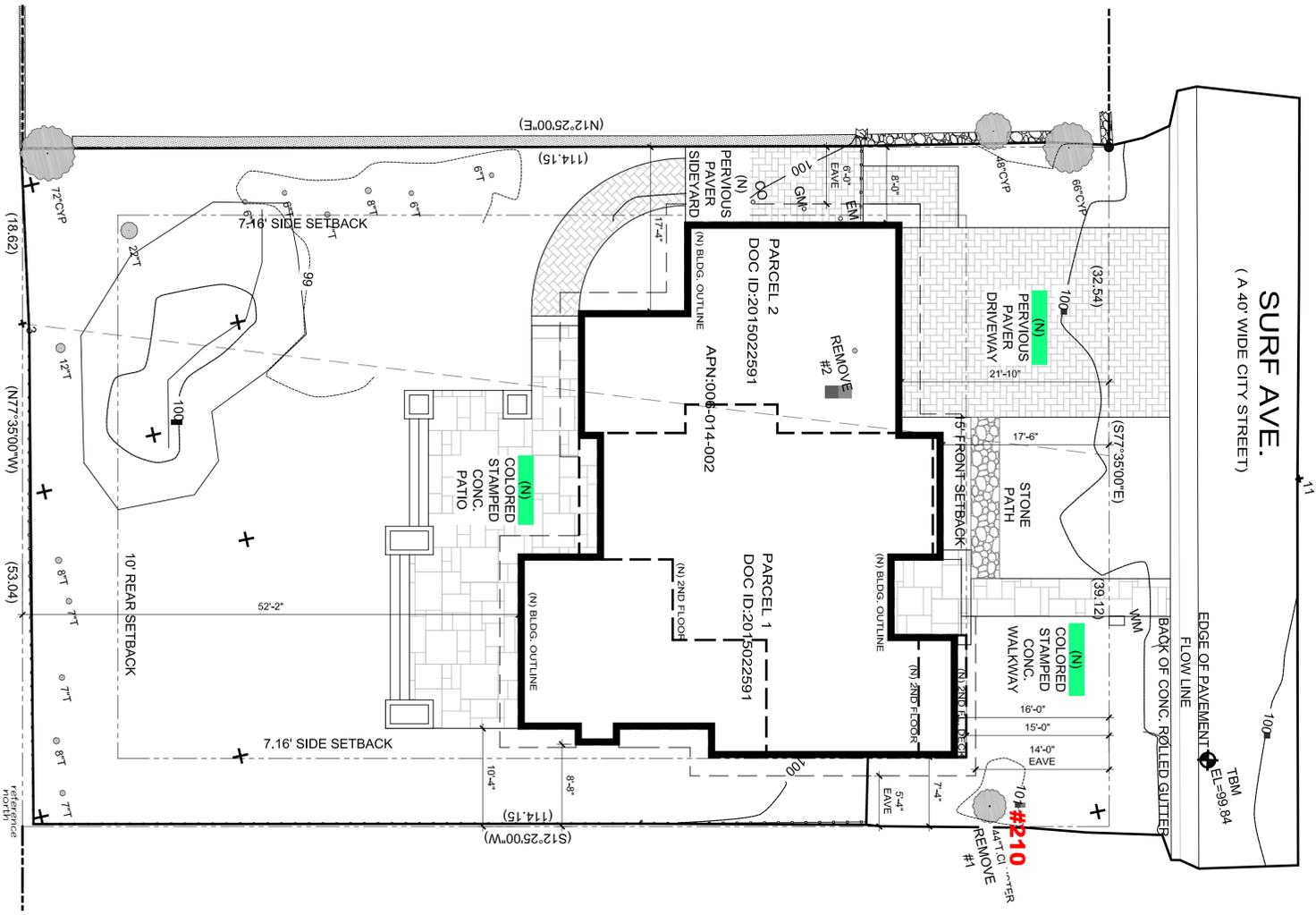
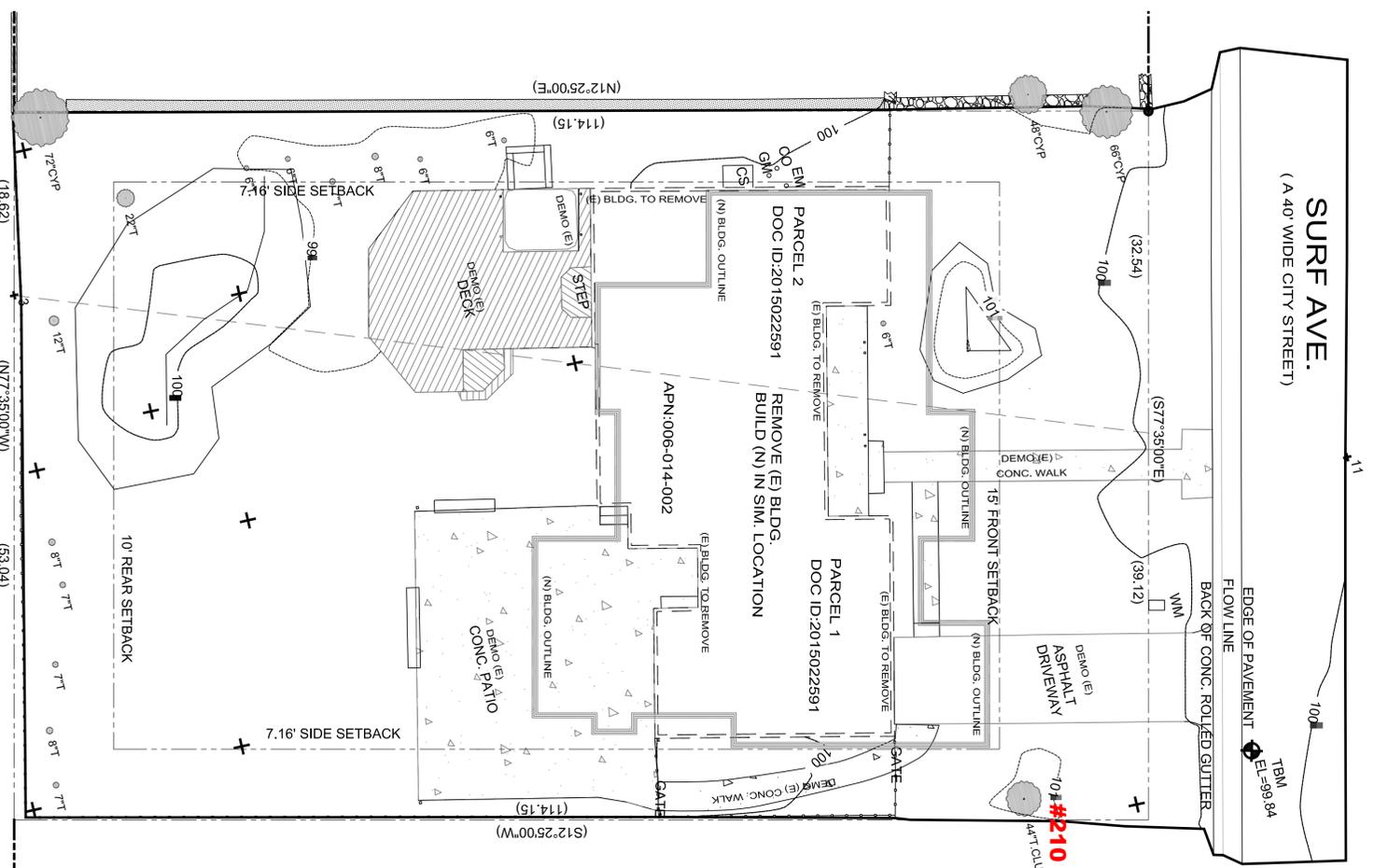


Weakly attached stems

ROCHE RESIDENCE

SURF AVE.
(A 40' WIDE CITY STREET)

SURF AVE.
(A 40' WIDE CITY STREET)



(E) SITE PLAN

PROPOSED SITE PLAN

SCALE: 1/8"=1'-0"

SCALE: 1/8"=1'-0"

PROJECT DATA:

OWNER: ALAN & DEBRA ROCHE
 PROJECT ADDRESS: 1269 SURF AVE.
 PACIFIC GROVE, CA 93950
 A.P.N.: 006-014-002
 MAILING ADDRESS: 894 N. MONTEREY ST.
 ALHAMBRA, CA 91801
 TELEPHONE: 626-232-9275

ZONING INFORMATION:

LOT SIZE: 8,180 SQ. FT.
 ZONING: R-1H
 SETBACKS: FRONT YARD: 15'
 SIDE YARD (EAST): 7'-2"
 SIDE YARD (WEST): 7'-2"
 REAR YARD: 10'

HEIGHT LIMIT: 25'
 LOT COVERAGE: 35% = 2,863 SQ. FT.
 F.A.R.: 3,596 SQ. FT.

CODES: ALL CONSTRUCTION WORK SHALL COMPLY WITH 2013 CRC, DEC, CFC, CMC, CPC, & TITLE 24.

EXISTING RESIDENCE-(REMOVE)

(E) MAIN HOUSE (REMOVE): 1,375 SQ.FT.
 BUILDING LOT COVERAGE: 1,375 SQ.FT. = 16.8%

PROPOSED PROJECT

1ST FLOOR - LIVING AREA: 1,483 SQ.FT.
 1ST FLOOR - GARAGE: 502 SQ.FT.
 (N) 2ND FLOOR - OUTLINE: 920 SQ.FT.
 < LESS STAIR & OPEN AREA >
 TOTAL HOUSE: 2,783 SQ.FT.
 TOTAL LIVING AREA: 2,251 SQ.FT.
 TOTAL BUILDING LOT COVERAGE: 1,986 SQ.FT. = 24.3%
 TOTAL F.A.R.: 2,783 SQ. FT.
 (N) PERVIOUS PAVING COVERAGE: 593 SQ.FT.
 (N) PATIOWALKWAY COVERAGE: 657 SQ.FT.
 (N) TOTAL ADJUSTED PAVING COVERAGE: 1,350 SQ.FT. = 15.3%

PROJECT DESCRIPTION:

REMOVE EXISTING NON-HISTORIC HOUSE AND RELATED SITE IMPROVEMENTS (i.e. DECKS & WALKWAY). BUILD NEW 2-STORY, SINGLE FAMILY RESIDENCE WITHIN CURRENT ZONING REQUIREMENTS TO REPLACE THE REMOVED HOUSE.

FIRE SPRINKLER NOTE:

PROVIDE NFPA-13D APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT STRUCTURE AS REQUIRED BY THE PACIFIC GROVE FIRE DEPARTMENT. DESIGN AND LAYOUT TO BE SUBMITTED BY FIRE SPRINKLER CONTRACTOR TO THE FIRE MARSHAL FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. FIRE SPRINKLER CONTRACTOR TO TEST WATER PRESSURE FOR REQUIRED FLOW PRIOR TO SPRINKLER DESIGN.

NOTES:

- AIR POLLUTION CONTROL CLEARANCE IS REQUIRED FOR DEMOLITION OF EXISTING HOUSE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE REQUIRED CLEARANCE AND SUBMIT IT TO THE CITY BUILDING DEPARTMENT PRIOR TO DEMOLITION.
- A SURVEYOR'S LETTER IS REQUIRED BY THE CITY PRIOR TO FOUNDATION POUR. BUILDING CORNERS TO BE SET BY SURVEYOR PRIOR TO STARTING FOUNDATION WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A LETTER FROM THE SURVEYOR TO VERIFY THAT BUILDING CORNERS ARE WITHIN ALL REQUIRED SETBACKS AND MEET THE INTENT OF THE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL PROVIDE LETTER AT TIME OF INSPECTION. A COPY OF THE LETTER SHALL BE GIVEN TO ARCHITECT'S OFFICE.

210



A Photographic Guide to the Evaluation of Hazard Trees in Urban Areas

Item 7b

TREE HAZARD EVALUATION FORM 2nd Edition

Site/Address: 1269 SURF
 Map/Location: FRONT YARD
 Owner: public private unknown other
 Date: 2/17/18 Inspector: OND
 Date of last inspection: _____

HAZARD RATING:						
<u>2</u>	+	<u>2</u>	+	<u>4</u>	=	<u>8</u>
Failure Potential		Size of part		Target Rating	=	Hazard Rating
_____ Immediate action needed						
_____ Needs further inspection						
_____ Dead tree						

TREE CHARACTERISTICS

Tree #: 210 Species: METROSIDEROS
 DBH: 7+11+8+6+6+5+4 # of trunks: _____ Height: 25 Spread: 30
 Form: generally symmetric minor asymmetry major asymmetry stump sprout stag-headed
 Crown class: dominant co-dominant intermediate suppressed
 Live crown ratio: 60 % Age class: young semi-mature mature over-mature/senescent
 Pruning history: crown cleaned excessively thinned topped crown raised pollarded crown reduced flush cuts cabled/braced
 none multiple pruning events Approx. dates: UNKNOWN
 Special Value: specimen heritage/historic wildlife unusual street tree screen shade indigenous protected by gov. agency

TREE HEALTH

Foliage color: normal chlorotic necrotic Epicormics? Y N
 Foliage density: normal sparse Leaf size: normal small
 Annual shoot growth: excellent average poor Twig Dieback? Y N
 Woundwood development: excellent average poor none
 Vigor class: excellent average fair poor
 Major pests/diseases: _____

SITE CONDITIONS

Site Character: residence commercial industrial park open space natural woodland/forest
 Landscape type: parkway raised bed container mound lawn shrub border wind break
 Irrigation: none adequate inadequate excessive trunk wetted
 Recent site disturbance? Y N construction soil disturbance grade change line clearing site clearing
 % dripline paved: 0% 10-25% 25-50% 50-75% 75-100% Pavement lifted? Y N
 % dripline w/ fill soil: 0% 10-25% 25-50% 50-75% 75-100%
 % dripline grade lowered: 0% 10-25% 25-50% 50-75% 75-100%
 Soil problems: drainage shallow compacted droughty saline alkaline acidic small volume disease center history of fail
 clay expansive slope _____° aspect: _____
 Obstructions: lights signage line-of-sight view overhead lines underground utilities traffic adjacent veg.
 Exposure to wind: single tree below canopy above canopy recently exposed windward, canopy edge area prone to windthrow
 Prevailing wind direction: NW Occurrence of snow/ice storms: never seldom regularly

TARGET

Use Under Tree: building parking traffic pedestrian recreation landscape hardscape small features utility lines
 Can target be moved? Y N Can use be restricted? Y N
 Occupancy: occasional use intermittent use frequent use constant use

The International Society of Arboriculture assumes no responsibility for conclusions or recommendations derived from use of this form.

7-8-10° NW 0.2m

TREE DEFECTS

ROOT DEFECTS:

Suspect root rot: Y N Mushroom/conk/bracket present: Y N ID: _____
 Exposed roots: severe moderate low Undermined: severe moderate low
 Root pruned: _____ distance from trunk Root area affected: _____ % Buttress wounded: Y N When: _____
 Restricted root area: severe moderate low Potential for root failure: severe moderate low
 LEAN: _____ deg. from vertical natural unnatural self-corrected Soil heaving: Y N
 Decay in plane of lean: Y N Roots broken Y N Soil cracking: Y N
 Compounding factors: CRACKING DRIVEWAY + SLAB Lean severity: severe moderate low

CROWN DEFECTS: Indicate presence of individual defects and rate their severity (s = severe, m = moderate, l = low)

DEFECT	ROOT CROWN	TRUNK	SCAFFOLDS	BRANCHES
Poor taper				
Bow, sweep				
Codominants/forks				
Multiple attachments				
Included bark				
Excessive end weight				
Cracks/splits				
Hangers				
Girdling				
Wounds/seam				
Decay				
Cavity				
Conks/mushrooms/bracket				
Bleeding/sap flow				
Loose/cracked bark				
Nesting hole/bee hive				
Deadwood/stubs				
Borers/termites/ants				
Cankers/galls/burls				
Previous failure				

HAZARD RATING

Tree part most likely to fail: _____

Inspection period: _____ annual _____ biannual _____ other _____

Failure Potential + Size of Part + Target Rating = Hazard Rating

2 + 2 + 4 = 8

Failure potential: 1 - low; 2 - medium; 3 - high; 4 - severe

Size of part: 1 - <6" (15 cm); 2 - 6-18" (15-45 cm);

3 - 18-30" (45-75 cm); 4 - >30" (75 cm)

Target rating: 1 - occasional use; 2 intermittent use;

3 - frequent use; 4 - constant use

HAZARD ABATEMENT

Prune: remove defective part reduce end weight crown clean thin raise canopy crown reduce restructure shape

Cable/Brace: _____ Inspect further: root crown decay aerial monitor

Remove tree: Y N Replace? Y N Move target: Y N Other: _____

Effect on adjacent trees: none evaluate

Notification: owner manager governing agency Date: 2/17/16

COMMENTS



CITY OF PACIFIC GROVE

Item 7b

Department of Public Works

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.5722 • F : 831.648.3184 • www.cityofpacificgrove.org

TO: Jeanne Byrne, Applicant *sent via email*

FROM: Albert Weisfuss, City Arborist

DATE: February 24, 2016

RE: Request for *Metrosideros excelsa* tree removal at 1269 Surf Ave. (AP TDP 16-020)

The request for removal has been denied based on the following reasons:

- A. The tree in question does not meet the criteria of high-risk tree per the City’s tree ordinance, per Pacific Grove Municipal Code Section 12.40.010.
- B. The tree in question is considered to be in the Low Risk rating (4) and Risk Category of (2). A risk category of (2) is defined as insignificant-very minor issues. Please see the table “Overall Risk Rating and Action Thresholds” below, which is defined in the City of Pacific Grove’s Urban Forestry Standards, Section 2.2.1, Levels of Assessment:

The Overall Risk Rating and Action Thresholds

<i>Risk Rating</i>	<i>Risk Category</i>	<i>Interpretation and Implications</i>
3	Low 1	Insignificant - no concern at all.
4	Low 2	Insignificant - very minor issues.
5	Low 3	Insignificant - minor issues not of concern for many years yet.
6	Moderate 1	Some issues but nothing that is likely to cause any problems for another 10 years or more.
7	Moderate 2	Well defined issues - retain and monitor. Not expected to be a problem for at least another 5 - 10 years.
8	Moderate 3	Well defined issues - retain and monitor. Not expected to be a problem for at least another 1 - 5 years.
9	High 1	The assessed issues have now become very clear. The tree can still reasonably be retained as it is not likely to fall apart right away, but it must now be monitored annually. At this stage it may be reasonable for the risk manager/owner to hold public education sessions to inform people of the issues and prepare them for the reality that part or the entire tree has to be removed.
10	High 2	The assessed issues have now become very clear. The probability of failure is now getting serious, or the target rating and/or site context have changed such that mitigation measures should now be on a schedule with a clearly defined timeline for action. There may still be time to inform the public of the work being planned, but there is not enough time to protracted discussion about whether or not there are alternative options available.
11	High 3	The tree, or a part of it has reached a stage where it could fail at any time. Action to mitigate the risk is required within weeks rather than months. By this stage there is not time to hold public meetings to discuss the issue. Risk reduction is a clearly defined issue and although the owner may wish to inform the public of the planned work, he/she should get on with it to avoid clearly foreseeable liabilities.
12	Extreme	This tree, or a part of it, is in the process of failing. Immediate action is required. All other, less significant tree work should be suspended, and roads or work areas should be closed off, until the risk issues have been mitigated. This might be as simple as removing the critical part, drastically reducing overall tree height, or taking the tree down and cordoning off the area until final clean up, or complete removal can be accomplished. The immediate action required is to ensure that the clearly identified risk of harm is eliminated. For areas hit by severe storms, where many extreme risk trees can occur, drastic pruning and/or partial tree removals, followed by barriers to contain traffic, would be an acceptable first stage of risk reduction. There is no time to inform people or worry about public concerns. Clearly defined safety issues preclude further discussion.

The Table shown above outlines the interpretation and implications of the risk ratings and associated risk categories. This table is provided to inform the reader about these risk categories so that they can better understand any risk abatement recommendations made in the risk assessment report.

Please also see “High-Risk Trees” defined in P.G.M.C. Section 12.40.010:

“A Tree with: (a) one or more defects (e.g., disease, significant lean, large cracks, a shallow root system); and (b) one or more targets (e.g., a use area or structure that would be struck or otherwise damaged in the event the Tree fell) imposes risks upon the community; or (c) because of age, is nearing mortality. Risk levels shall be determined using the International Society of Arboriculture (ISA) Hazard Tree Evaluation rating system, as detailed in the Urban Forestry Standards.

Protected Trees in the moderate risk category, with a potential failure rating of six to eight, shall be monitored by the property owner at least annually, as well as upon any significant change in condition. Actions should be considered that will ameliorate the risk and that may extend the life of the Tree. The property owner shall develop a course of action for any Protected Tree in the High-Risk category, with a potential failure rating of nine or higher. [Ord. 13-013 § 3, 2013; Ord. 12-017 § 6, 2012].”

Conclusion

Minimal crown reduction is recommended, and removal of one branch (marked with a green ribbon on 2/25/16) is allowed. (Please see the photo below.) The canopy does slightly extend into the project and can be mitigated with proper pruning. The tree itself is not within the footprint of proposed development.

Metrosideros can be a standard or multi-stemmed tree. This multi-stemmed tree is significant to the neighborhood as well as the property it develops on.

Furthermore, plans indicate that the existing driveway is to be removed and replaced with vegetation and landscaping. Because the driveway is to be removed and replaced with vegetation, it therefore will not damage the root system of the tree. The damage to the driveway likely caused by roots of the subject tree will be mitigated by removal of the hardscape and replaced with natural landscape, in return benefiting the tree.



KENT L. SEAVEY

Item 7b

310 LIGHTHOUSE AVENUE
PACIFIC GROVE, CALIFORNIA 93950
(831)375-8739

June 5, 2015

Jeanne C. Byrne, FAIA
Architects
591 Lighthouse Ave. Suite 5
Pacific Grove, CA 93950

Dear Ms. Byrne:

Thank you for the opportunity to prepare a Phase I Historic Review of the residential property at 1269 Surf Ave. (APN# 006-014-002) in Pacific Grove, as required by the California Environmental Quality Act (CEQA) and the City of Pacific Grove.

Monterey County Assessor's records show a date of construction for the subject property of 1949. Additions were made to the building envelope in 1953 (MCBP# 265) and in 2003 (MCBP# 03-303) for a bay addition off the SW corner of the rear (south) elevation. The original owner may have been a Mr. Rinaldo, however the record is mute on this individual, and the first owner listed in local directories is Richard B. Bridges, US Navy. No architect or builder has been identified.

The subject property is a one-story wood-framed, California Ranch Style residence, irregular in plan, resting on a concrete foundation. The exterior wall-cladding is a combination of smooth cement stucco above the window sills, and medium-width horizontal "V" wood siding below the windows. The raised, recessed front porch entry has the same "V" wood siding placed vertically on the building envelope.

The roof system is an intersecting gable type, with two bays at the west end of the building envelope, one facing Surf Ave., towards the north, and the second, added in 2003, on the rear elevation facing south. The roof overhangs the eave line with exposed rafter-tails. Maintaining the same eave line, the roof covers the recessed open front porch. A pair of light wood posts carry this portion of the roof on a large, engineered wood beam. The roof also covers an enclosed garage, with overhead door, at the east end of the north facing facade. The primary entry door, on the east side of the recessed porch, is a stock Colonial fanlight type, probably added at a later date.

There is one, brick eave-wall chimney present. It is centered on the rear (south) elevation about midway along the building envelope. The roof system is covered in deteriorated composition shingles.

Fenestration is irregular, with a combination of single, 1 / 1 double-hung wood, and vinyl-clad windows. A large, fixed plate glass focal window is found in the middle of the front elevation, covered by the recessed open porch, and a more recent large, vinyl-clad tripartite window, between the garage and front entry porch having tall, narrow 1 / 1 double-hung windows as its sidelights. Some decorative wood shutters are present.

The residence is sited on the south side of Surf Ave., set back from the street in an informal landscape setting of low drought resistant plants and shrubbery. It is located in a residential neighborhood of one and two-story residences of varying ages, sizes and styles.

The subject property is one of a number of California Ranch Style residences consistent with post-WWII development in Monterey County and most of the nation as, perhaps the most popular residential architectural style of the period. California Ranch homes became the standard American domicile during the period of mid-century post-war expansion and rapid sub urbanization into the 1960s, most characterized by the proliferation of tract housing. Because of their numbers, such properties, to qualify for architectural significance, need to demonstrate particularly strong artistic merit, clearly demonstrate the influence of a particular architect or builder, and should be excellent examples of types / or styles.

No architect or builder has been identified with the residence. The basic design, with its partial replacement of original fenestration, especially the large tripartite window on the north facing facade, does not rise to a level of high artistic value. Alterations to the property, over time have somewhat compromised the physical integrity of the original 1949 design.

The California Environmental Quality Act (CEQA), PRC Sec. 21084.1 requires all properties fifty years of age or older to be reviewed for potential historic significance. Criteria for that significance is addressed in PRC Sec. 5024.1(a). It asks, did any event of importance to the region, state or nation occur on the property? Did anyone of great importance to the region, state or nation occupy the property during the productive period of their lives? Does the building represent an important architectural type, period or method of construction, or is it a good example of the work of a noted architect or master-builder?

The criteria also asks if the property is likely to yield information significant to the understanding of the areas history.

Eligibility for historic listing of buildings, structures, objects, sites and districts, i.e., rests on the twin factors of historic significance and integrity. Both must be present to be considered for listing in the National Register of Historic Places, the California Register of Historical Resources, and the Pacific Grove Historic Resource Survey. Loss of integrity, if sufficiently great, will overwhelm the historic significance a resource may possess and render it ineligible for historic listing. Likewise, a resource can have complete integrity, but if it lacks significance, it must also be considered ineligible.

Integrity is measured by the application of seven aspects, defined by the National Register Criteria for Evaluation. They include: Location, the place where the historic property was constructed, or an historic event occurred; Design, the combination of elements that create the form, plan, space, structure, and style of the building; Setting, the physical environment of the historic property; Materials, the physical elements that were combined during a particular period of time and in a particular pattern or configuration to form a historic property; Workmanship, the physical evidence of the crafts of a particular culture or people during any given period in history; Feeling & Association are subjective elements that assess a resources ability to evoke a sense of time and place.

The subject property is not included in the California Office of Historic Preservation-maintained "Historic Property Data File for Monterey County" (updated to February of 2015). It is not listed in the California Register, or the National Register of Historic Places, nor is it listed in the Pacific Grove Historic Resource Survey.

No event of significance to the nation, state or region, nor any significant individuals during the productive period of their lives, have been identified with the existing property.

The subject property appears to retain its original location and setting, but its integrity of design, as constructed in 1948, has been compromised by later additions and alterations. Lacking both historic significance, and physical integrity, the subject property does not meet the necessary criterion for listing in the California Register of Historical Resources. Nor does it meet the criterion established by the City of Pacific Grove for inclusion in the Pacific Grove Historic Resource Survey, and therefore cannot be considered an historic resource as defined by CEQA.

Respectfully Submitted,

Kurt S. Seery

1269 Surf Avenue- Pacific Grove



**Photo #1. Looking south at the north facing facade.
June, 2015.**

PROJECT DATA SHEET

Project Address: 1269 SURF AVE.

Submittal Date: _____

Applicant(s): JEANNE C. BYRNE, FAIA

Permit Type(s) & No(s): _____

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-1-H			
Building Site Area	8180			
Density (multi-family projects only)				
Building Coverage	2863	1375	1985	
Site Coverage	4908	2686	3335	
Gross Floor Area	3596	1375	2753	
Square Footage not counted towards Gross Floor Area				
Impervious Surface Area Created and/or Replaced		1311 (E) REMOVE	1350 NEW	ADJUSTED PAVING COV.
Exterior Lateral Wall Length to be demolished in feet & % of total*	_____	_____	___ft/___%	REMOVE CEJ HOUSE
Exterior Lateral Wall Length to be built	_____	_____	φ	
Building Height	25'	14'	24' 4"	
Number of stories	2	1	2	
Front Setback	15'	25' 7"	16' 0"	(15' e DECK)
<u>EAST</u> Side Setback (specify side)	7' 2"	8' 5"	7' 4"	
<u>WEST</u> Side Setback (specify side)	7' 2"	7' 7"	8' 0"	
Rear Setback	10'	58' 0"	52' 2"	
Garage Door Setback	20'	25' 7"	21' 10"	
Covered Parking Spaces	1	1	2	
Uncovered Parking Spaces	1	1	2	
Parking Space Size (Interior measurement)	9' x 20'	9 x 20	20 x 20	
Number of Driveways	1	1	1	
Driveway Width(s)		10'	20'	
Back-up Distance		32'	28'	
Eave Projection (Into Setback)	3' maximum		1' 8"	
Distances Between Eaves & Property Lines	3' minimum		5' 4"	
Open Porch/Deck Projections			-	
Architectural Feature Projections			-	
Number & Category of Accessory Buildings			φ	
Accessory Building Setbacks			-	
Distance between Buildings			-	
Accessory Building Heights			-	
Fence Heights	6'	6'	6'	

*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.

MONTEREY PENINSULA WATER MANAGEMENT DISTRICT RESIDENTIAL WATER RELEASE FORM AND WATER PERMIT APPLICATION

NOTE: When approved and signed by the jurisdictions, this form must be submitted with final and complete Construction Plans to:

Monterey Peninsula Water Management District Permit Office
5 Harris Court, Bldg. G ♦ Monterey, CA 93940 ♦ (831) 658-5601 ♦ www.mpwmd.net ♦ Fax (831) 644-9558
Completing the Water Release Form & Water Permit Application does not guarantee issuance of a Water Permit.

ALL SPACES BELOW MUST BE COMPLETED OR THE APPLICATION MAY NOT BE PROCESSED. (Please print firmly)

1. OWNERSHIP INFORMATION:

Name: ALAN & DEBRA ROCHE
Daytime telephone: 626 232 9275
Mailing Address: 89A N. MONTEREY ST.
ALHAMBRA CA 91801

2. AGENT/REPRESENTATIVE INFORMATION:

Name: JEANNE C. BYRNE, FAIA ARCHITECTS
Daytime telephone: 831 372 6585
Mailing Address: 591 LIGHTHOUSE AVE #5
PACIFIC GROVE CA 93950

3. PROPERTY INFORMATION:

What year was the house constructed? _____ Existing Square-footage 1375 Proposed Square-footage 2153
Address: 1269 SURF AVE. PACIFIC GROVE Assessor Parcel Number 006 .014 .002
Is a water meter needed? (Circle one) YES NO If yes, how many meters are requested? _____
Water company serving parcel: CAL AM Account Number: _____

NOTE: Separate water meters are required for each User. Residential uses require separate meters for all auxiliary housing that includes a kitchen.

4. PROJECT DESCRIPTION (Be thorough and detailed):

REMOVE EXISTING STRUCTURE.
BUILD NEW SINGLE FAMILY RESIDENCE.

5. INSTRUCTIONS: Table #1 should list the fixtures on the property as they exist before the project. Table #2 should reflect all fixtures on the property after the project is completed. Only one Master Bathroom can be designated per dwelling unit.

Table No. 1 Existing Property Fixture Count
(All fixtures before project)

Type of Fixture	Fixture	Value	Count
Washbasin	<u>11</u>	x 1.0 =	<u>2.0</u>
Two Washbasins in the Master Bathroom*		x 1.0 =	
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)	<u>11</u>	x 1.8 =	<u>3.6</u>
Toilet, High Efficiency (HET)*		x 1.3 =	
Toilet, Ultra High Efficiency (UHET)*		x 0.8 =	
Urinal, High Efficiency (HEU) (0.5 gallon-per-flush)		x 0.5 =	
Zero Water Consumption Urinal*		x 0.0 =	
Masterbath (one per Dwelling): Tub & Separate Shower*		x 3.0 =	
Large Bathtub (may have Showerhead above)		x 3.0 =	
Standard Bathtub or Shower Stall (one showerhead)	<u>11</u>	x 2.0 =	<u>4.0</u>
Shower, each additional fixture (heads, body spray)		x 2.0 =	
Shower system, Rain Bars or Custom Shower (specs)		x 2.0 =	
Kitchen Sink (with optional Dishwasher)	<u>1</u>	x 2.0 =	<u>2.0</u>
Kitchen Sink with High Efficiency Dishwasher*		x 1.5 =	
Dishwasher, each additional (with optional sink)		x 2.0 =	
Dishwasher, High Efficiency (with opt. sink)*		x 1.5 =	
Laundry Sink/Utility Sink (one per Site)	<u>1</u>	x 2.0 =	<u>2.0</u>
Clothes Washer	<u>1</u>	x 2.0 =	<u>2.0</u>
Clothes Washer, (HEW) 5.0 water factor or less*		x 1.0 =	
Bidet		x 2.0 =	
Bar Sink		x 1.0 =	
Entertainment Sink		x 1.0 =	
Vegetable Sink		x 1.0 =	
Swimming Pool (each 100 sq-ft of pool surface)		x 1.0 =	
Other _____		x _____ =	
Other _____		x _____ =	
Other _____		x _____ =	
Other _____		x _____ =	

* Use this fixture count if a previous Permit was issued under Ordinance 80 to utilize the Master Bathroom Credit. (Tub may be large.) See District staff for more information.

Table No. 2 Post Project Fixture Count
(All fixtures after project)

Type of Fixture	Fixture	Value	Count
Washbasin	<u>11</u>	x 1.0 =	<u>2.0</u>
Two Washbasins in the Master Bathroom	<u>1</u>	x 1.0 =	<u>1.0</u>
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)		x 1.8 =	
Toilet, High Efficiency (HET)*	<u>111</u>	x 1.3 =	<u>3.9</u>
Toilet, Ultra High Efficiency (UHET)*		x 0.8 =	
Urinal, High Efficiency (HEU) (0.5 gallon-per-flush)		x 0.5 =	
Zero Water Consumption Urinal*		x 0.0 =	
Masterbath (one per Dwelling): Tub & Separate Shower		x 3.0 =	
Large Bathtub (may have Showerhead above)		x 3.0 =	
Standard Bathtub or Shower Stall (one showerhead)	<u>11</u>	x 2.0 =	<u>4.0</u>
Shower, each additional fixture (heads, body spray)		x 2.0 =	
Shower system, Rain Bars or Custom Shower (specs)		x 2.0 =	
Kitchen Sink (optional dishwasher)		x 2.0 =	
Kitchen Sink with High Efficiency Dishwasher*	<u>1</u>	x 1.5 =	<u>1.5</u>
Dishwasher, each additional (optional sink)		x 2.0 =	
Dishwasher, High Efficiency (with opt. sink)*		x 1.5 =	
Laundry Sink/Utility Sink (one per Site)		x 2.0 =	
Clothes Washer	<u>1</u>	x 2.0 =	<u>2.0</u>
Clothes Washer, (HEW) 5.0 water factor or less*	<u>1</u>	x 1.0 =	<u>1.0</u>
Bidet		x 2.0 =	
Bar Sink	<u>1</u>	x 1.0 =	<u>1.0</u>
Entertainment Sink		x 1.0 =	
Vegetable Sink	<u>1</u>	x 1.0 =	<u>1.0</u>
Instant-Access-Hot-Water System (fixture credit)		x <0.5> =	
New Connection - Refer to District Rule 24-A5			
"Exterior Residential Water Demand			
Calculations"		x _____ =	
Subtotal proposed fixtures			
Swimming Pool (each 100 sq-ft of pool surface)		x 1.0 =	

EXISTING FIXTURE UNIT COUNT TOTAL = 15.6

PROPOSED FIXTURE UNIT COUNT TOTAL = 15.4

***DEED RESTRICTION REQUIRED WHEN CREDIT IS APPLIED FOR "HE" APPLIANCES- EXPECT PERMIT PROCESS TO TAKE THREE WEEKS**

In completing the Water Release Form, the undersigned acknowledges that any discrepancy or mistake may cause rejection or delay in processing of the application. Additionally, the undersigned is responsible for accurately accounting for all water fixtures. If the fixture unit count changes without notification to the District, or if a difference in fixtures is documented upon official inspection, Water Permits for the property may be canceled. In addition, water fixtures installed without a Water Permit may be cause for interruption of the water service to the Site, additional fees and penalties, the imposition of a lien on the property, and deduction of water from the local Jurisdiction's Allocation. The property owner/Applicant is required to notify the District and provide Construction Plans as appropriate for each change in the Project made prior to use or occupancy that may affect the Project's Capacity to use water.

6. I certify, under penalty of perjury, that the information provided on this Water Release Form & Water Permit Application is to my knowledge correct, and the information accurately reflects water use presently planned for this property.

Signature of Owner/Agent: PAUL A. SIMPSON, AIA Date: 12-29-15 Location Where Signed: P.G.
Print Name: _____ File or Plan Check Number: _____

AUTHORIZATION FOR WATER PERMIT - JURISDICTION USE ONLY

_____ AF Paralta Allocation _____ AF Public Credits _____ AF Second Bathroom Protocol
_____ AF Pre-Paralta Credits _____ WDS (Private Well) _____ Water Entitlement _____ No water needed

Notes: _____ Authorized by: _____ Date: _____

This form expires one year from date of authorization for this project by the jurisdiction.

White copy-MPWMD

Yellow copy-applicant

Pink copy-jurisdiction



ISSUED FOR:	DATE:
CLIENT REVIEW	10/20/15
CLIENT REVIEW	11/15/15
CLIENT REVIEW	12/07/15
APP	01/04/16

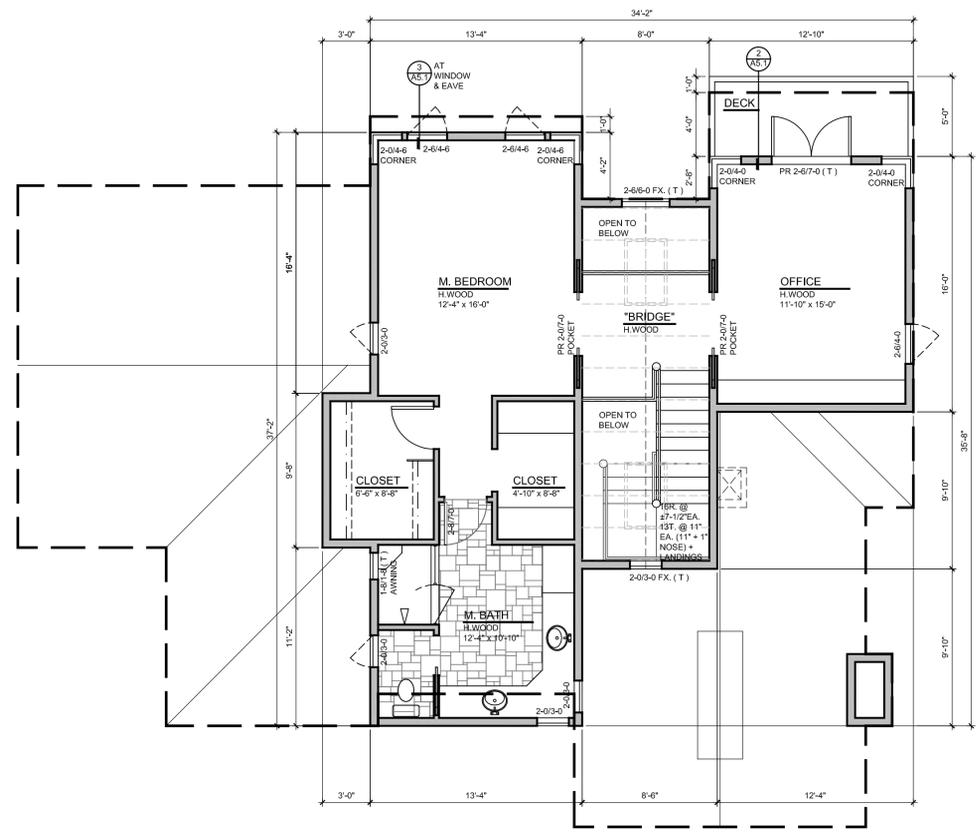
JEANNE C. BYRNE, FAIA
A R C H I T E C T S
 591 LIGHTHOUSE AVENUE, SUITE #5
 PACIFIC GROVE, CALIFORNIA 93950
 (831) 372-6585 FAX (831) 372-8159

FLOOR PLAN

NEW SINGLE FAMILY RESIDENCE FOR:
ROCHE
 1209 JUBA AVENUE
 PACIFIC GROVE, CA 93950
 A.P.A. _____

DATE: _____
 SCALE: A/NOTED
 DRAWN BY: _____
 JOB NUMBER: _____

A2.1

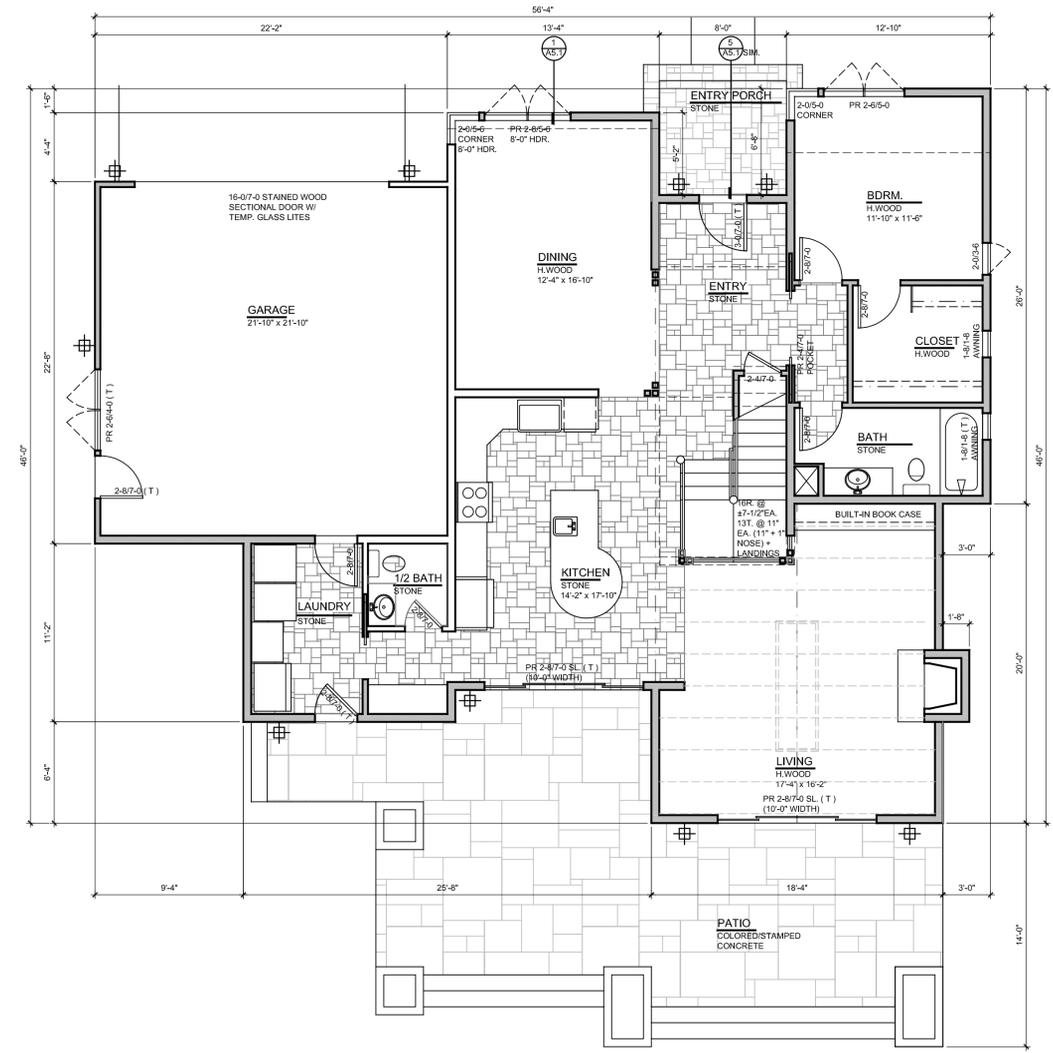


SECOND FLOOR PLAN

SCALE: 3/16"=1'-0"

FLOOR PLAN LEGEND:

- NEW EXTERIOR WALLS. 2X6 STUDS @ 16" O.C. WITH R-19 BATT INSUL. 1/2" GYP. BD. AT INTERIORS, TYP., U.O.N. 2X6 STUDS AT PLUMBING WALLS AS REQUIRED. SEE PLAN.
- NEW CLAD WOOD WINDOWS. STAINED WOOD TRIM PER ELEVATIONS / DETAILS. (T) = TEMPERED GLASS
- DOORS PER PLANS AND ELEVATIONS. (T) = TEMPERED GLASS
- EXTERIOR WALL MOUNTED LIGHT FIXTURE. EXISTING TO REMAIN (NOT SHOWN) NEW PER OWNER SELECTION.



FIRST FLOOR PLAN

SCALE: 3/16"=1'-0"



ISSUED FOR:	DATE:
CLEANT REVIEW	10/20/15
CLEANT REVIEW	11/15/15
CLEANT REVIEW	12/07/15
ARB	01/04/16

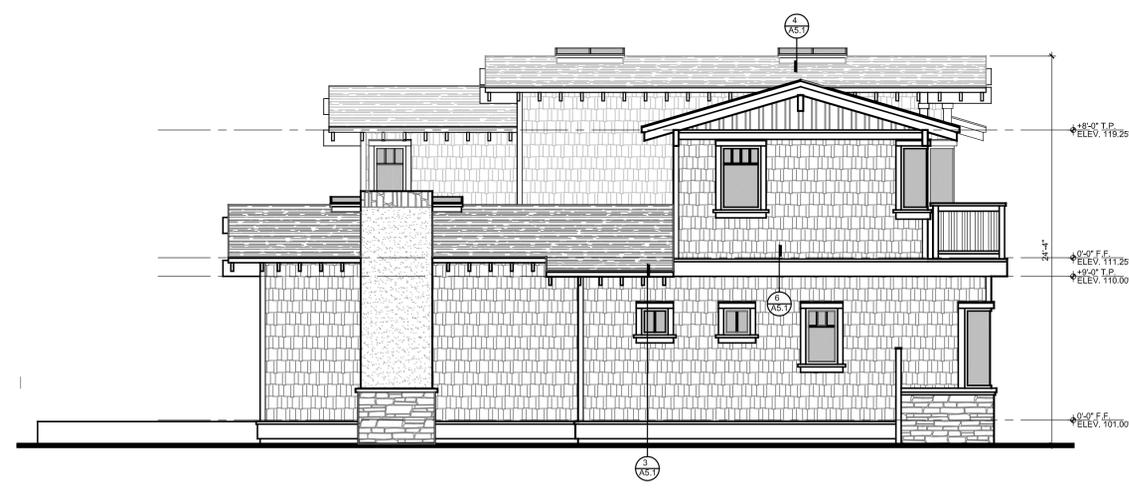
JEANNE C. BYRNE, FAIA
ARCHITECTS
 591 LIGHTHOUSE AVE., SUITE #5
 PACIFIC GROVE, CALIFORNIA 93950
 (831) 372-6585 FAX (831) 372-6159

EXTERIOR ELEVATIONS

NEW SINGLE FAMILY RESIDENTIAL FOR:
ROCHE
 1209 JUB AVENUE
 PACIFIC GROVE, CA 93950
 A.P.A. _____

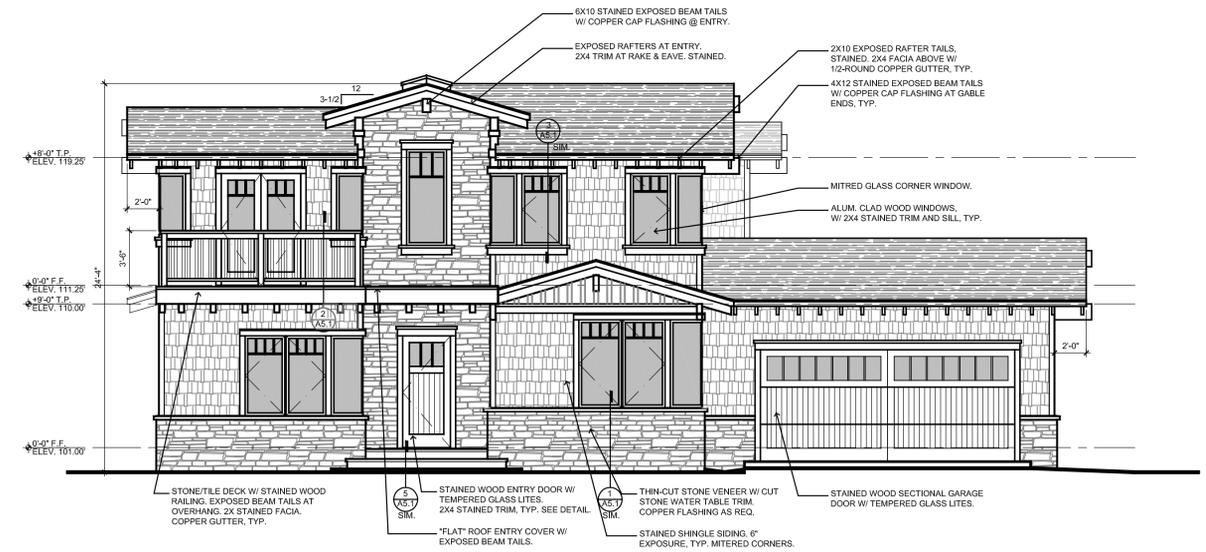
DATE:	BY:	SCALE:

PROJECT NUMBER
A3.1



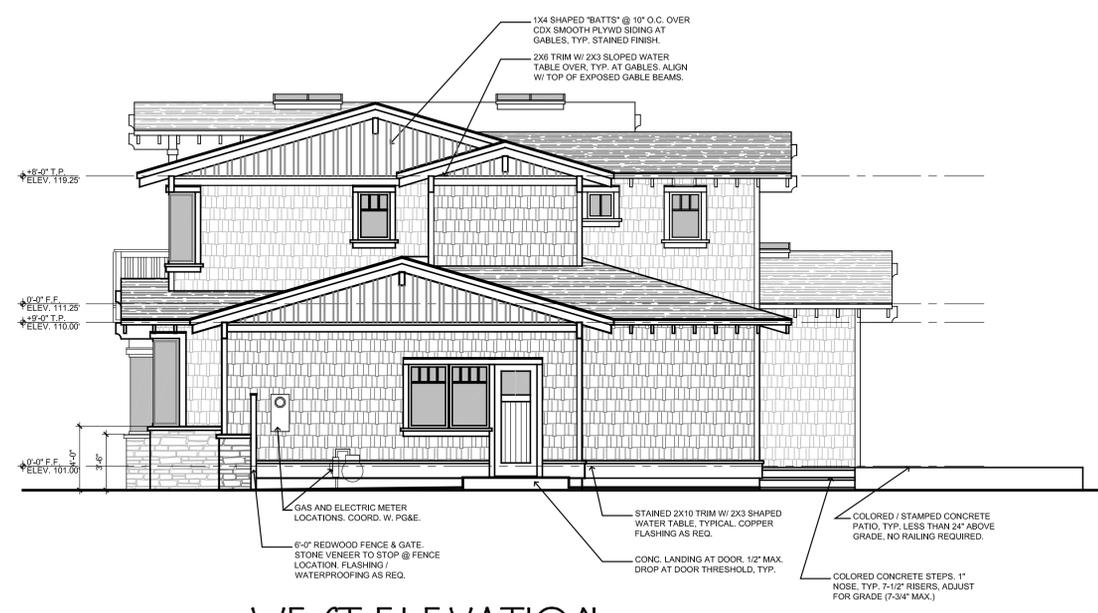
EAST ELEVATION

SCALE: 3/16"=1'-0"



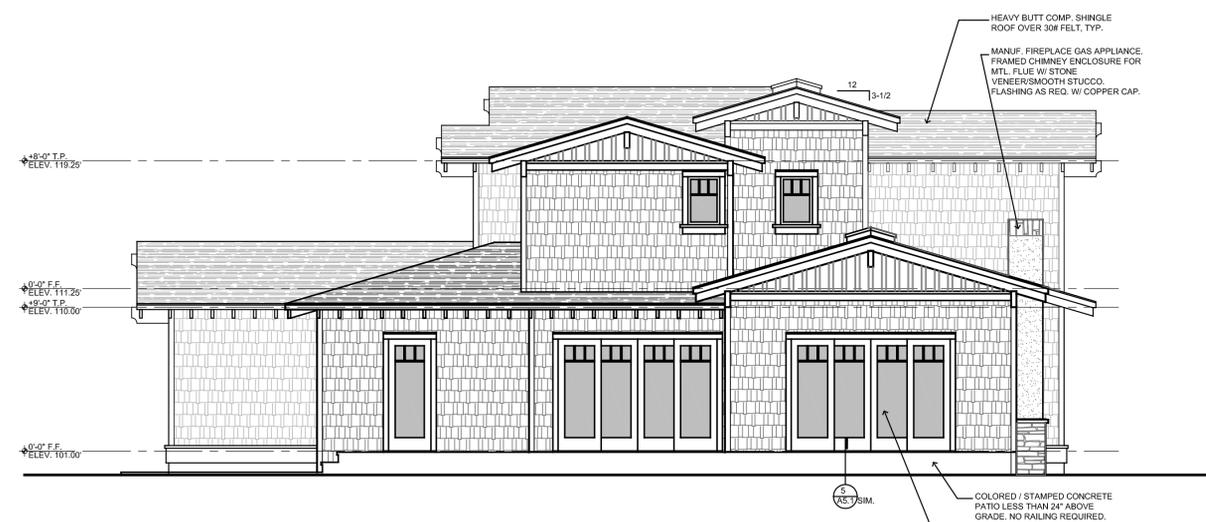
NORTH ELEVATION

SCALE: 3/16"=1'-0"



WEST ELEVATION

SCALE: 3/16"=1'-0"



SOUTH ELEVATION

SCALE: 3/16"=1'-0"

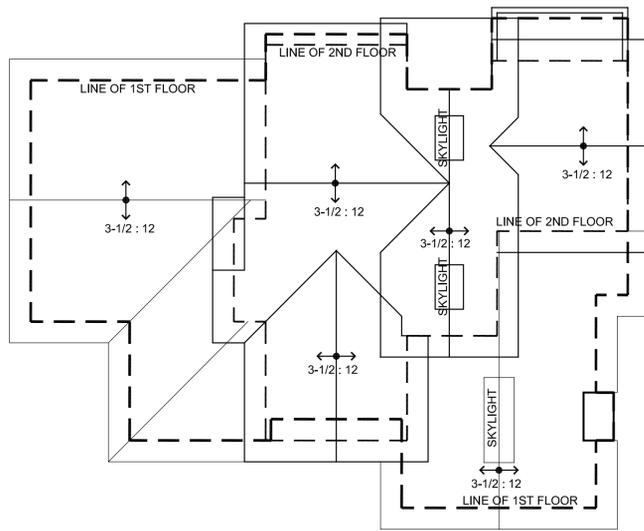
PROJECT DATA SHEET

Project Address: 1269 SURF AVE. Submittal Date: _____
 Applicant(s): JEANNE C. BYRNE, FAIA Permit Type(s) & No(s): _____

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	RC-1-H			
Building Site Area	8180			
Density (multi-family projects only)				
Building Coverage	2863	1375	1985	
Site Coverage	4708	2686	3335	
Gross Floor Area	3576	1375	2753	
Square Footage not counted towards Gross Floor Area				
Impervious Surface Area Created and/or Replaced		1350 EXISTING	1350 NEW	ADJUSTED PERMITS ONLY. REMOVE COFFER
Exterior Lateral Wall Length to be demolished in feet & % of total*				
Exterior Lateral Wall Length to be built				
Building Height	25'	14'	24' 4"	
Number of stories	2	1	2	
Front Setback	15'	25' 7"	16' 3"	(15' R. ORCAL)
EAST Side Setback (specify side)	7'	8' 5"	7' 4"	
WEST Side Setback (specify side)	7'	7'	8' 5"	
Rear Setback	10'	58' 3"	52' 2"	
Garage Door Setback	20'	25' 7"	21' 10"	
Covered Parking Spaces	1	1	2	
Uncovered Parking Spaces	1	1	2	
Parking Space Size (Interior measurement)	9' x 20'	9' x 20'	20' x 20'	
Number of Driveways	1	1	1	
Driveway Width(s)		10'	20'	
Back-up Distance		32'	28'	
Eave Projection (Into Setback)	3' maximum		1' 8"	
Distances Between Eaves & Property Lines	3' minimum		5' 4"	
Open Porch/Deck Projections				
Architectural Feature Projections				
Number & Category of Accessory Buildings			2	
Accessory Building Setbacks				
Distance between Buildings				
Accessory Building Heights				
Fence Heights	6'	6'	6'	

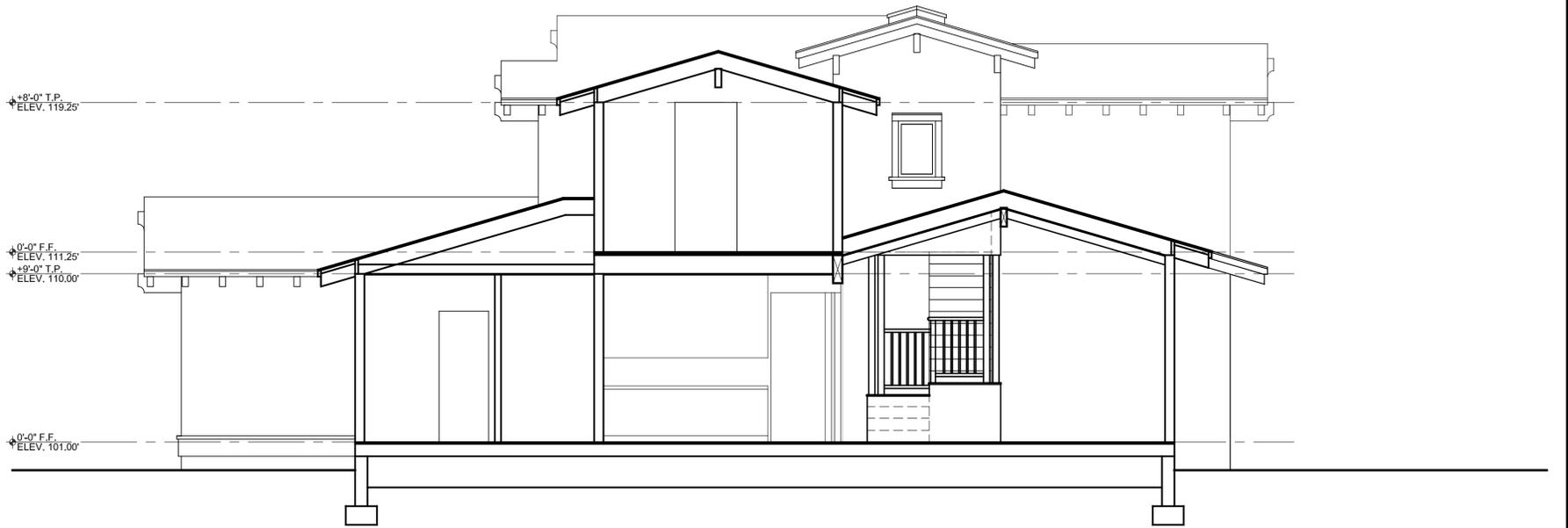
*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.

[Rev. 01/14/14]



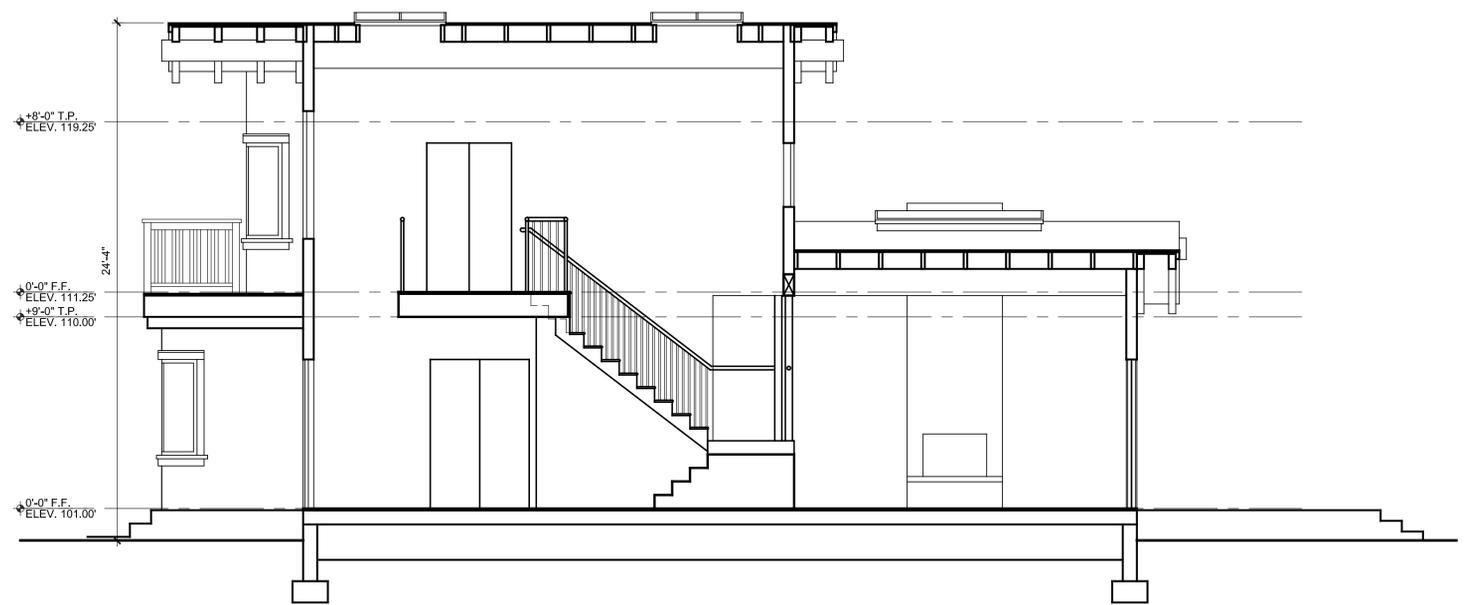
ROOF PLAN

SCALE: 1/8"=1'-0"



SECTION: A

SCALE: 1/4"=1'-0"



SECTION: B

SCALE: 1/4"=1'-0"

ISSUED FOR:	DATE:
CLEAR REVIEW	10/20/15
CLEAR REVIEW	11/15/15
CLEAR REVIEW	12/07/15
ARB	01/04/16

JEANNE C. BYRNE, FAIA
 ARCHITECTS
 591 LIGHTHOUSE LANE, SUITE #5
 PACIFIC GROVE, CALIFORNIA 93950
 (805) 722-0585 FAX (805) 722-8159

SECTION

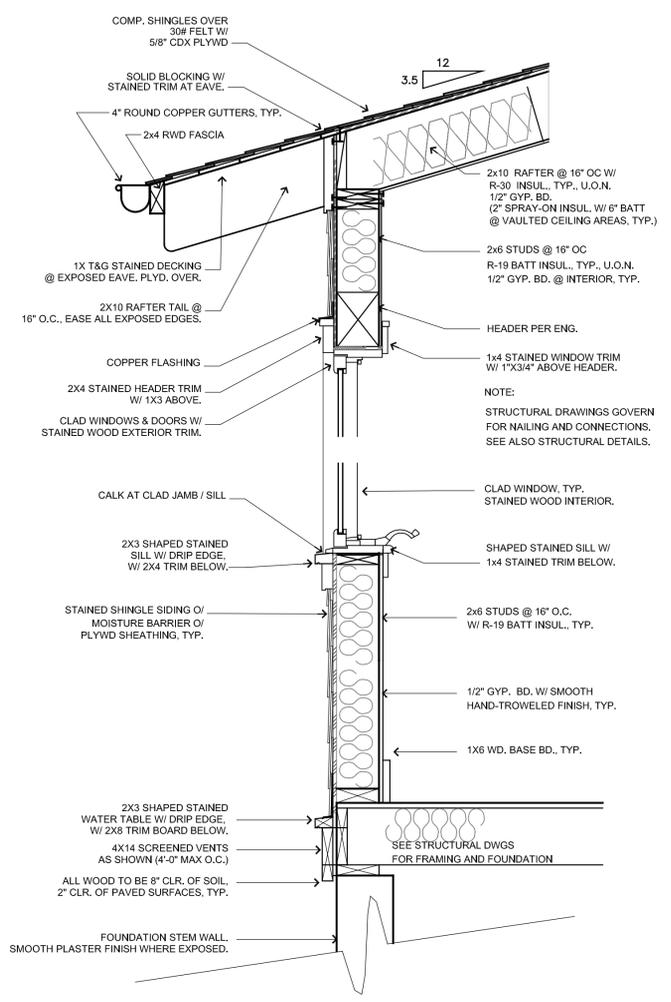
NEW SINGLE FAMILY RESIDENTIAL FOR:
ROCHE
 1269 SURF AVENUE
 PACIFIC GROVE, CA 93950
 A.P.A. _____

DATE	BY/NOTED
	BY/NOTED
	BY/NOTED
	BY/NOTED
	BY/NOTED

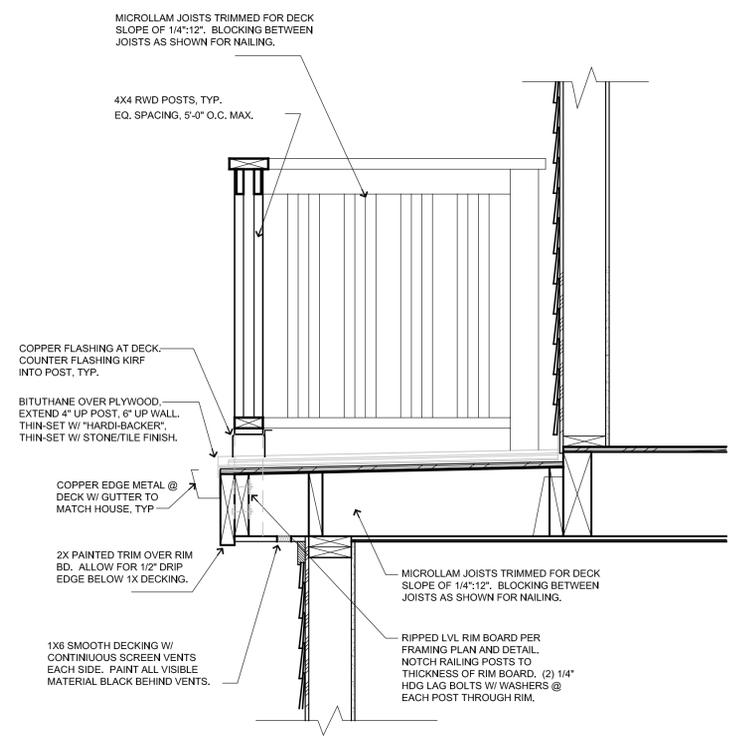
A4.1

ISSUED FOR:	DATE:
CLIENT REVIEW	10/20/15
CLIENT REVIEW	11/15/15
CLIENT REVIEW	12/07/15
ARB	01/04/16

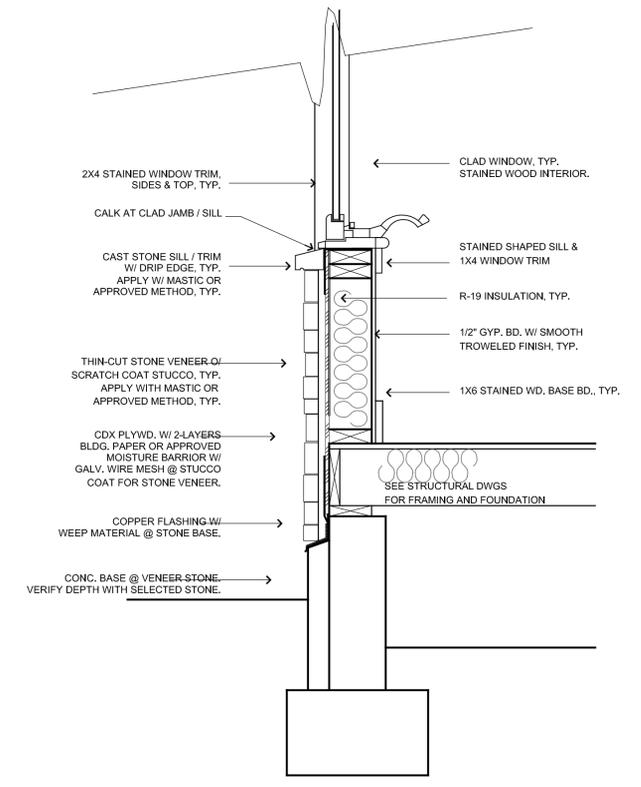
JEANNE C. BYRNE, FAIA
ARCHITECTS
 591 LIGHTHOUSE AVE., SUITE #5
 PACIFIC GROVE, CALIFORNIA 93950
 (805) 724-0585 FAX (805) 724-1959



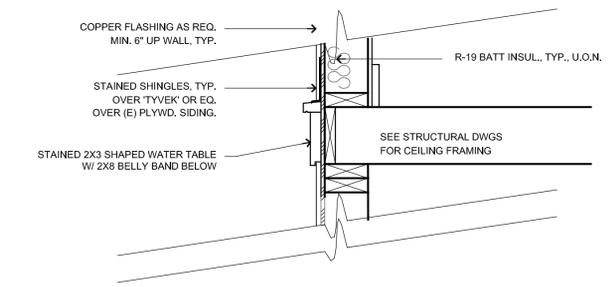
3 **DETAIL: TYPICAL WALL SECTION**
 SCALE: 1"=1'-0"



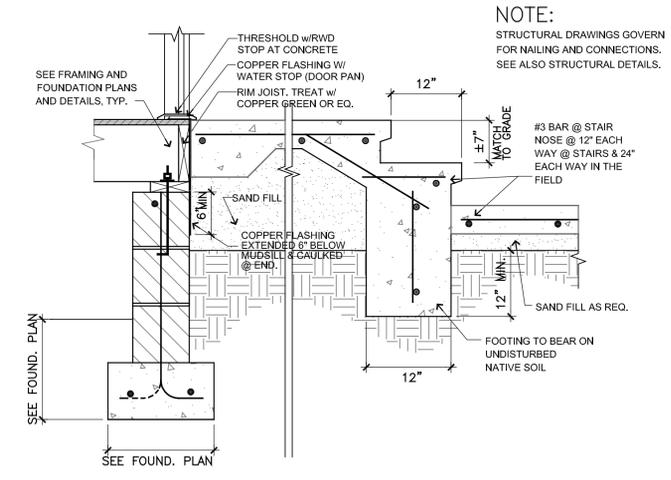
2 **DETAIL: DECK AND RAILING**
 SCALE: 1"=1'-0"



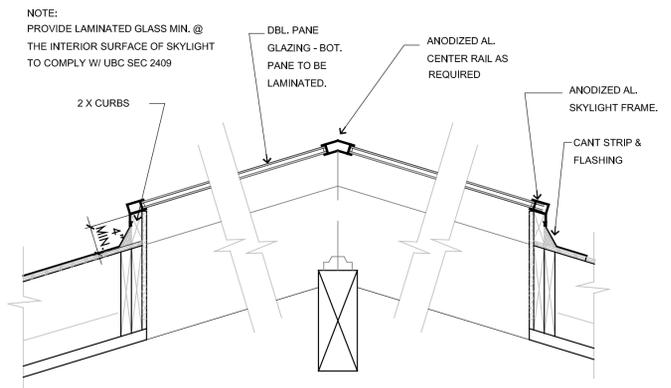
1 **DETAIL: WALL SECTION**
 SCALE: 1"=1'-0"



6 **DETAIL: WALL SECTION**
 SCALE: 1"=1'-0"



5 **DETAIL: CONC. STEPS**
 SCALE: 1"=1'-0"



4 **DETAIL: RIDGE SKYLIGHT**
 SCALE: 1"=1'-0"

ALL PLANS, DOCUMENTS, COMPUTERS FILES, SPECIFICATIONS AND RELATED MATERIAL PREPARED BY JEANNE C. BYRNE, FAIA ARCHITECTS AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THE ARCHITECT SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RIGHTS, INCLUDING COPYRIGHT, THEREIN. THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED.

NEW SINGLE FAMILY RESIDENTIAL FOR:
ROCHE
 1209 JUB AVENUE
 PACIFIC GROVE, CA 93950
 A.P.A. _____

DATE	A/NOTED
SCALE	A/NOTED
DESIGNER	PAJ
JOB NUMBER	

A5.1