



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel : 831.648.3190 • Fax : 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Application # 16-018

Date: 1-7-16

Total Fees: Fee waived

Received by: Laurel O'Halloran

Property/Project Information:

Project Address: 505 CENTRAL APN: 006-175-010

Zoning: C-D Lot: 3 & 4 Block: 38 Tract: PG Retreat

- Historic Resources Inventory Archaeologically Sensitive Area

Project Description: BUILDING CONVERSION FROM MEDICAL ON 3 FLOORS TO RESIDENTIAL ON 2ND & 3RD FLOORS. REPLACE ALL WINDOWS ON ALL FLOORS TO VINYL OR FIBERGLASS.

Applicant/Owner Information:

Applicant Name: NELSON VEGA Phone: 831-236-2535 STEVE 901-9599

Mailing Address: 444 PEARL ST. STE DA, MONTEREY, CA 93940

Email Address: nelsonvega@redshift.com/mickelinc@gmail.com

Owner Name: SANDRA PEPE Phone: _____

Mailing Address: 9401 HOLT RD. CARMEL CA 93923

Email Address: _____

Permit Request:

- | | | | |
|--|---|---|---|
| <input type="checkbox"/> CRD: Counter Determination | <input type="checkbox"/> AUP: Administrative UP | <input checked="" type="checkbox"/> IHS: Initial Historic Screening | <input type="checkbox"/> AVAR: Administrative VAR |
| <input checked="" type="checkbox"/> AP: Architectural Permit | <input type="checkbox"/> UP-A: UP Amendment | <input type="checkbox"/> HPP: Historic Preservation | <input type="checkbox"/> VAR-A: VAR Amendment |
| <input type="checkbox"/> AAP: Administrative AP | <input type="checkbox"/> AUP-A: AUP Amendment | <input type="checkbox"/> HD: Historic Determination | <input type="checkbox"/> AVAR-A: AVAR Amendment |
| <input type="checkbox"/> ADC: AP Design Change | <input type="checkbox"/> SU: Second Unit | <input type="checkbox"/> TPD: Tree Permit W/ Dev't | <input type="checkbox"/> MMP: Mitigation Monitoring |
| <input type="checkbox"/> SP: Sign Permit | <input type="checkbox"/> LLA: Lot Line Adjustment | <input type="checkbox"/> PUU: Undocumented Unit | <input type="checkbox"/> Stormwater Permit |
| <input type="checkbox"/> UP: Use Permit | <input type="checkbox"/> LM: Lot Merger | <input type="checkbox"/> VAR: Variance | <input type="checkbox"/> Other: |

CEQA Determination:

- Exempt
 Initial Study & Mitigated Negative Declaration
 Environmental Impact Report

Review Authority:

- Staff HRC
 ZA PC
 SPRC CC
 ARB _____

Active Permits:

- Active Planning Permit
 Active Building Permit
 Active Code Violation
 Permit #: _____

Overlay Zones:

- Butterfly Zone
 Coastal Zone
 Area of Special Biological Significance (ASBS)
 Environmentally Sensitive Habitat Area (ESHA)

Staff Use Only:

The Director of CEDD has waived the fees for the IHS and AP

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

Applicant Signature: _____

Date: 1-6-16

Owner Signature (Required): _____

Date: 1-6-16



CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

ARCHITECTURAL PERMIT (AP) 16-18 FOR A COMMERCIAL PROPERTY LOCATED AT 505 CENTRAL AVENUE TO ALLOW AN UPGRADE OF ALL WINDOWS TO FIBERGLASS BARK COLORED CASEMENT WINDOWS WITH TRUE SIMULATED GRIDS, KEEPING WITH EXISTING DIMENSIONS.

FACTS

1. The subject site is located at 505 Central Avenue, Pacific Grove, 93950 APN 006-175-010
2. The subject site has a designation of Commercial on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the C-D zoning district.
4. The subject site is 2,893 square feet.
5. The subject site is developed with a four story commercial building.
6. The existing structure is not on the Historic Resources Inventory. The Historic Resources Committee could not make a determination of ineligibility as a “Historic Resource”. A historic review was completed by Kent L. Seavey on January 20, 2016, and determined that the building does not meet the necessary criteria for listing as an historic resource as defined by the California Environmental Quality Act(CEQA), or the Pacific Grove Historic Preservation Ordinance.
7. This project has been determined to be CEQA Exempt under CEQA Guidelines Section 15301.

FINDINGS

1. The proposed development will meet the development regulations set forth in the C-D zoning district and;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing building and other buildings in the neighborhood, and;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. The existing structure is not on the Historic Resources Inventory. The Historic Resources Committee could not make a determination of ineligibility as a “Historic Resource”. A historic review was completed by Kent L. Seavey on January 20, 2016, and determined that the building does not meet the necessary criteria for listing as an historic resource as defined by the California Environmental Quality Act(CEQA), or the Pacific Grove Historic Preservation Ordinance.

PERMIT

Architectural Permit (AP) 16-18:

To allow an upgrade of all windows to fiberglass bark colored casement windows with true simulated grids, keeping with existing dimensions to match the existing windows.

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CEDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Conformance with Plans Condition:** The design and materials must occur in strict compliance with the proposal set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
5. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes Approval of Architectural Permit (AP) 16-18 to allow a commercial property at 505 Central Avenue to allow an upgrade of all windows to fiberglass bark colored casement windows with true simulated grids, keeping with existing dimensions to match the existing windows.
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 9th day of February 2016, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

Rick Steres, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Sandra Pepe

Date



CITY OF PACIFIC GROVE

Item 6a

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

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NOTICE OF EXEMPTION FROM CEQA

Property Address/Location: 505 Central, Pacific Grove, CA 93950

Project Description: AP 160018

Description: Replace all windows with wood clad casement to match existing

APN: 006175010000

ZC: C-1

Lot Size: 2,893 sf

Applicant Name:	Nelson Vega	Phone #:	236-2535
Mailing Address:	444 pearl ave Ste D Monterey Ca 93940		
Email Address:	nelsonvega@redshift.com		

Public Agency Approving Project: City of Pacific Grove, Monterey County, California

Exempt Status (Check One):

- Ministerial (Sec. 21080(b)(1):15268))
- Declared Emergency (Sec. 21080(b)(3): 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption
Type and Section Number: Class 1 Section 15301
- Statutory Exemption
Type and Section Number:
- Other:

Exemption Findings:

Class 1 exemption from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The proposed alterations do not present any unusual circumstances that would result in a potentially significant environmental impact.

Contact: Laurel OHalloran, Planning Department, City of Pacific Grove

Contact Phone: (831) 648-3183

Signature: Laurel O'Halloran

Date: 2-2-16



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Initial Historic Screening Determination

Address: 505 Central Ave. APN: 006-175-010
 Owner: Sandra Pepe Applicant: Nelson Vega

HISTORIC RESOURCES COMMITTEE (HRC) RECOMMENDATION:

At the Jan. 27, 2016 HRC meeting, the Committee prepared the following Preliminary Determination of Ineligibility and forwarded the recommendation to the Community Development Director:

- Determined to be ineligible as an "Historical Resource," due to the following criteria:
 - 1. The property has undergone significant alterations to the primary or most visible façade, as evidenced through original plans, photographs or Sanborn maps.
 - _____ (description of known alteration)
 - _____ (type of documentation)
 - 2a. The property does not exhibit the architectural characteristics of the styles described in Section 7.3 of the General Plan or Section IV of the Historic Context Statement;
 - or
 - 2b. The property does not exhibit unique architectural, site or locational characteristics.
 - 3. The property is not associated with important persons, events or architecture.
- Determination of ineligibility cannot be made.

HRC Comments:



 Maureen Mason, HRC Chair

1/27/16

 Date

COMMUNITY DEVELOPMENT DIRECTOR (CDD) DETERMINATION:

Based on the recommendation above, the CDD Director, or their designee:

- Made a determination of ineligibility, which will remain in effect for 10 years from the date of approval.
- Found that a determination of ineligibility cannot be made, and a Phase 1 Historic Assessment (DPR 523 Form) is required.



 Mark Brodeur, CEDD Director

1/20/16

 Date

KENT L. SEAVEY
310 LIGHTHOUSE AVENUE
PACIFIC GROVE, CALIFORNIA 93950
(831)375-8739

Item 6a

January 20, 2016

Mrs. Sandra Pepe & Bonnie Clark
9401 Holt Road
Carmel, CA 93923

Dear Mrs. Pepe & Ms. Clark:

Thank you for the opportunity to provide a Preliminary Historic Review of your commercial property located at 505 Central Ave. (APN# 006-175-010) in Pacific Grove.

According to the Monterey County Assessor's and Pacific Grove building records the subject property was constructed in 1964 (PGBP #343). Minor additions and alterations were made in 1970 (PGBP # 154) and in 2002 (PGBP# 02-0796). The building was constructed by the Granada Building Corporation for the Granada Building Corporation, and is known as the Central Medical Clinic.

The subject property is a nondescript three-story masonry commercial building, slightly irregular in plan, resting on a concrete foundation. The exterior wall-cladding is slump stone. The roof is flat, with a very low pitched tiled roof overhang to take water away from the building envelope. Fenestration is symmetric, with fixed and casement type multi-paned industrial steel windows. Simple, metal balconies are found along the front (north) and east side-elevations, Except for minimal planting areas along these two elevations, the box-like building envelope appears to occupy the maximum square footage allowed by zoning.

The Assessor's and Pacific Grove building files are void of any mention of actual or potential historical significance, nor is the subject property listed in either the 2007 Pacific Grove Historic Resources Survey or the 2011 Pacific Grove Historic Context Statement.

In its design, the commercial building at 505 Central Ave. lacks both architectural style and aesthetic expression. No event of importance to the nation, state or region, nor have any significant individuals during the productive period of their lives been identified with the property. Therefore the building does not meet the necessary criteria for listing as an historic resource as defined by the California Environmental Quality Act (CEQA), or the Pacific Grove Historic Preservation Ordinance.

Respectfully Submitted,

K. L. Seavey



Photo #1. Looking NE at the north facing facade, Kent Seavey, January 14, 2016.



Photo #2. Looking SW at the east side-elevation, Kent Seavey, January 14, 2016.

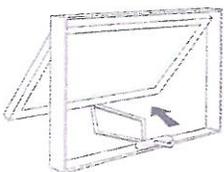
Operating Styles

Item 6a

Define Your Home with Windows

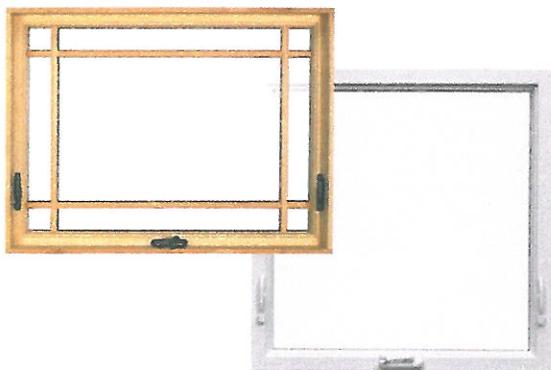
Carefully chosen windows can make any home spectacular and make a statement about your style.

Since every Milgard window is custom built to your order, you have the freedom to think outside the box. Mix and match window styles and configurations to achieve just the result you're looking for.



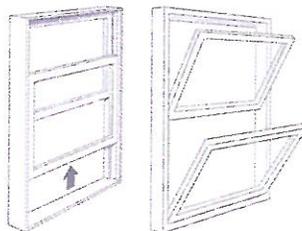
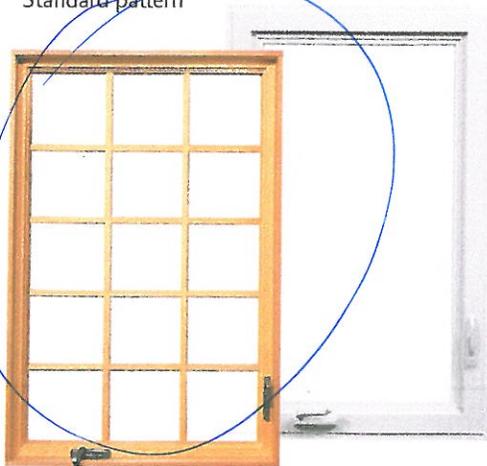
Awning

WoodClad shown with Vintage Grid in a Perimeter pattern



Casement *Fiberglass*

WoodClad shown with Vintage Grids in a Standard pattern



Single Hung Double Hung

WoodClad shown with Flat Grids in a Standard pattern



Glass

As one of the most important components of your window or door, glass can also offer you decorative options and energy efficiency advantages.



Decorative & Tinted Glass

Add privacy or a touch of flare with our many styles of decorative glass. Tinted glass provides additional shading from direct sunlight and warm conditions.



Crystal Groove

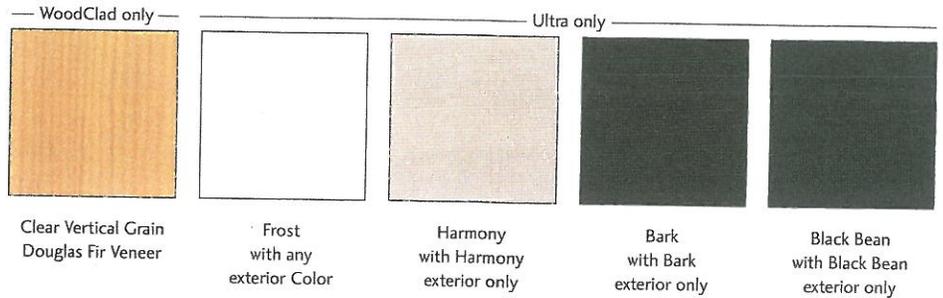
Craftsmanship and artistry are combined for distinctive elegance with Milgard Crystal Groove, adding an extra spectrum of light and design that will bring any room to life.

Review from milgard.com—

We replaced 31 windows of various types with Milgard Ultra products and have superb noise and harmful ray reduction. They open and shut with the precision of a bank vault and are clearly built to last a very long time.

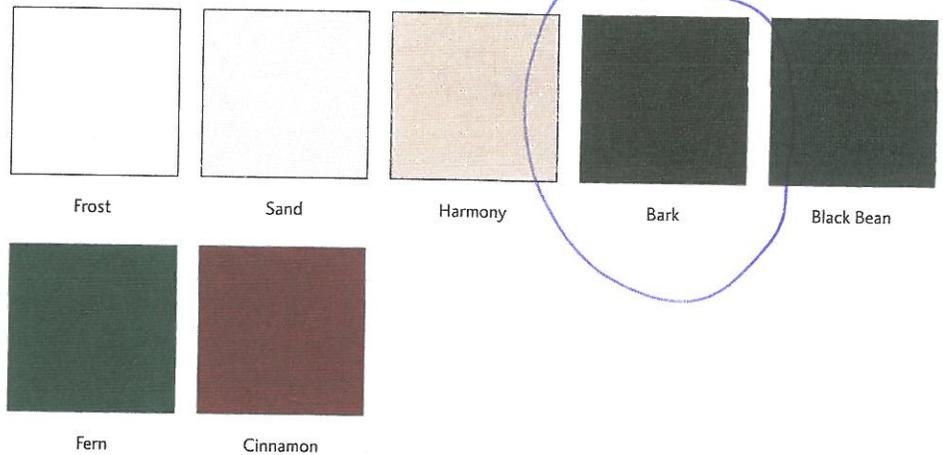
—Seattle WA

Interior Colors



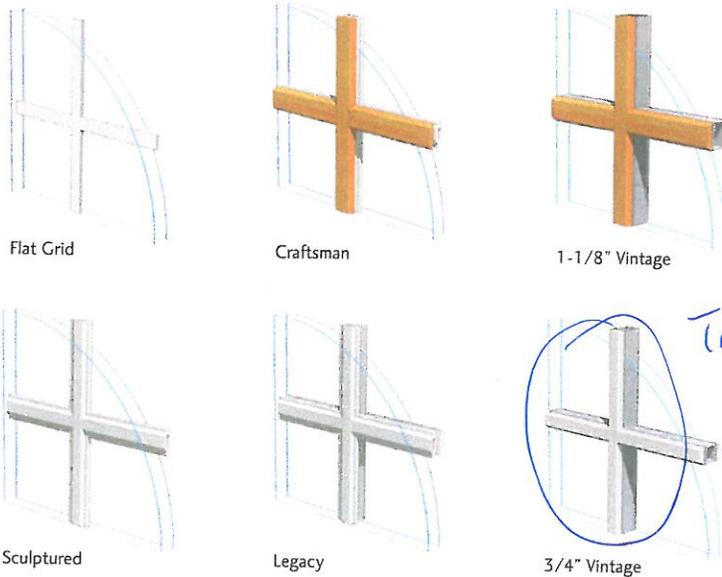
Exterior Colors

Choose from seven standard exterior colors. All colors come with white interiors. Tan, Brownstone and Matte Black can be color matched interior and exterior.

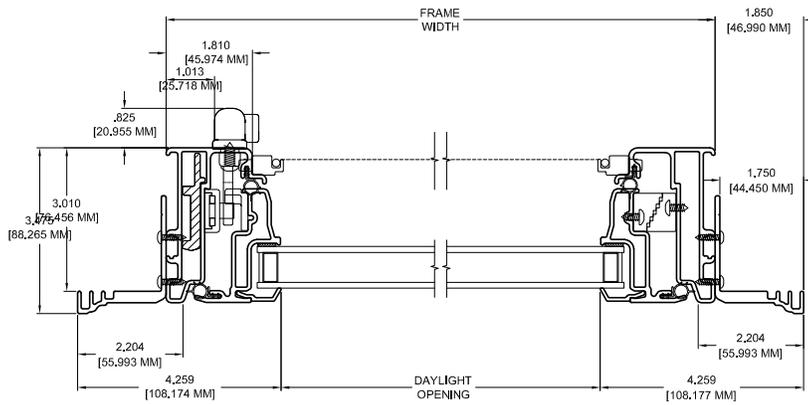
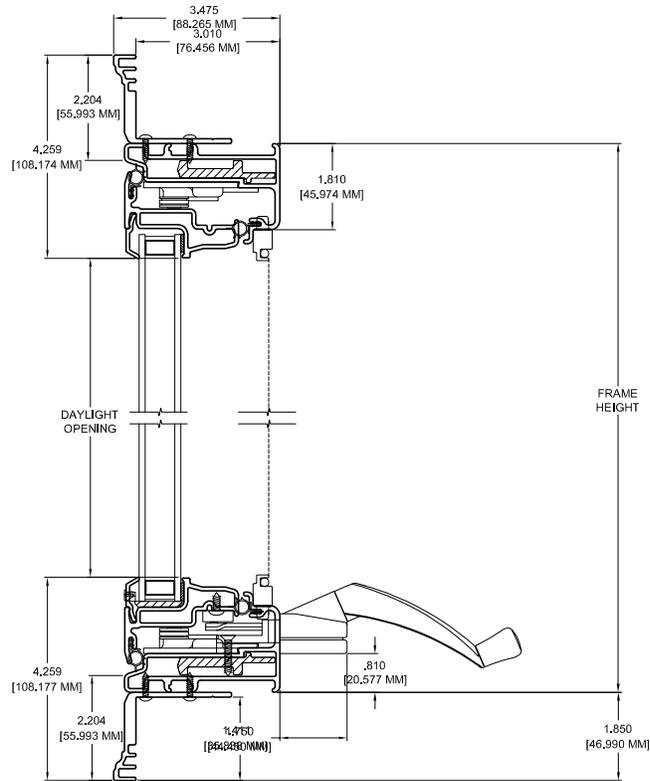


Grids

Express your creativity and dramatically increase your home's curb appeal with our virtually endless grid options. Choose grids inside our insulated glass units for easy cleaning.



Colors shown are approximate due to printing limitations.



Scale: 3" = 1'-0"

Z BAR CASEMENT FIBERGLASS - MILGARD

505 Central Ave. Pacific Grove, Ca.