



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Architectural Review Board

FROM: Laurel O'Halloran, Associate Planner

MEETING DATE: November 8, 2016

SUBJECT: Architectural Permit Application No. AP 16-862

ADDRESS: 1114 Crest Avenue. (APN 006-054-015)

**ZONING/
LAND USE:** R-1-H//Medium Density to 17.4 DU/ac

APPLICANT: Jeffrey Edmonds on behalf of Michael Markman, Owner

CEQA: Categorical Exemption, Section 15301(e)(1)

RECOMMENDATION

Receive report, hold public hearing, and approve AP 16-862 based on the findings and subject to the staff-recommended conditions.

BACKGROUND

On September 28, 2016, Jeffrey Edmonds applied for an architectural permit for additions to allow a first floor addition of 202 sf and a second story addition of 823 sf to an existing one story 1,764 sf residence for a total of a 2,789 sf two story residence; to also install all new doors, windows and wood siding

DISCUSSION

The residence was constructed circa 1950 according to information on file. The property is located in the R-1-H zone which requires additions to be constructed that enhance the architectural integrity of the neighborhood by allowing a feeling of open space. The property is located in an archaeologically sensitive area and an area of special biological resources.

2.4.4 General Policies

1. The City shall assist developers and landowners by providing early identification of sensitive sites so that archaeological resources can be considered and protected during the early phases of project design.

2.4.5 Specific Policies

1. Prior to the issuance of any permit for development or the commencement of any project within the areas designated on Figure 3, the Archaeological Sensitivity Map, the Archaeological Regional Research Center, shall:
 - a) Inspect the surface of the site and evaluate site records to determine the extent of the known resources.
 - b) Require that all sites with potential resources likely to be disturbed by the proposed project be analyzed by a qualified archaeologist with local expertise.
 - c) Require that a mitigation plan, adequate to protect the resource and prepared by a qualified archaeologist be submitted for review and, if approved, implemented as part of the project.

In accordance with the Pacific Grove General Plan, Chapter 7, Archaeological Resources and the Local Coastal Program Land Use Plan, an archaeological report has been prepared for this project by Susan Morley October 2016; a copy of the report is available for review in the Community and Economic Development Department. The report concluded that no evidence of potentially significant historic period archaeological resources exists on the property; however, a condition of approval has been recommended in order to protect any archaeological resources or human remains that may be encountered during project activities.

Zoning Code

The proposed project is in conformance with all requirements of the R-1-H zone, including but not limited to setbacks, height limits, and site coverage.

The proposed project will have a building coverage of 30%, which is within the allowable maximum building coverage of 35%, pursuant to P.G.M.C. 23.56.015 for two-story buildings. The proposed project will have a site coverage of 40%, which is within the allowable maximum site coverage of 60%. The proposed project will have a gross floor area 2,789 square feet, which is within the allowable maximum gross floor area of 3,097 square feet.

No portion of the roof above 18 feet has a pitch of less than 3:12. This is a special provision of the R-1-H zone. The intent here is to preserve the characteristic feeling of open space around dwellings, and public views of sky and trees. Therefore roof lines are meant to enhance the architectural integrity of the neighborhood.

Architectural Review Guidelines:

The project proposal appears to adhere to the following Architectural Review Guidelines:

Guideline #27: A building should be in scale with its site.

The proposed addition provides open space around the structure which complements the design by adding a 2nd story and not simply increasing the 1st floor area.

Guideline #28: An addition should complement and balance the overall form, mass, and composition of the existing building.

This has been achieved by using less than the allowed maximum lot coverage and incorporating a variable footprint within the required setbacks.

Guideline #31 Additions should be designed so that the pitch of the new roof matches or complements the pitch of the existing roof lines.

The new roof pitch matches the existing roof pitch.

Historic Review:

At the May 25, 2016 Historic Resources Committee meeting an Initial Historic Screening determined the property to be ineligible as a “Historic resource” because the property does not exhibit a unique architectural, site or locational characteristics.

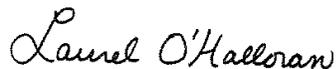
Environmental Determination:

The project qualifies for a Class 1 exemption from CEQA requirements, pursuant to Section 15301(e)(1) – Existing Facilities. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS

- A. Permit Application
- B. Project Data Sheet
- C. Draft Permit
- D. Initial Historic Screening
- E. Water Credit Form
- F. CEQA Documentation
- G. Project Plans

RESPECTFULLY SUBMITTED:



Laurel O'Halloran, Associate Planner



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Application # AP 16 Item 7b
 Date: 9/28/16
 Total Fees: 3,357.88
 Received by: _____

Project Address: 1114 CREST **APN:** 006-054-015

Project Description: Add 2nd Story Addition to SFD
Renodel 1st Floor, New Siding, New Chimney
All New Doors & Windows

APPLICANT/OWNER:	Applicant	Owner
Name:	<u>Jeffrey Edwards</u>	<u>Michael Markman</u>
Phone:	<u>831-402-1347</u>	<u>651-485-2707</u>
Email:	<u>jeffedwards@edwardsconstruction.com</u>	<u>RANDMARKMAN@GMAIL.COM</u>
Mailing Address:	<u>225 Congress Ave, PG</u>	<u>1114 Crest Avenue</u> <u>Pacific Grove, CA 93950</u>

Permit Request:

<input type="checkbox"/> CRD: Counter Determination	<input type="checkbox"/> AUP: Administrative UP	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> AVAR: Administrative VAR
<input checked="" type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> UP-A: UP Amendment	<input type="checkbox"/> HPP: Historic Preservation	<input type="checkbox"/> VAR-A: VAR Amendment
<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> AUP-A: AUP Amendment	<input type="checkbox"/> A: Appeal	<input type="checkbox"/> AVAR-A: AVAR Amendment
<input type="checkbox"/> ADC: Admin Design Change	<input type="checkbox"/> SU: Second Unit	<input type="checkbox"/> TPD: Tree Permit W/ Dev't	<input type="checkbox"/> MMP: Mitigation Monitoring
<input type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> PUU: Undocumented Unit	<input type="checkbox"/> Stormwater Permit
<input type="checkbox"/> UP: Use Permit	<input type="checkbox"/> LM: Lot Merger	<input type="checkbox"/> VAR: Variance	<input type="checkbox"/> Other:

PLANNING STAFF USE ONLY:

CEQA Determination:	Review Authority:	Active Permits:	Overlay Zones:
<input checked="" type="checkbox"/> Exempt	<input type="checkbox"/> Staff	<input type="checkbox"/> Active Planning Permit	<input type="checkbox"/> Butterfly Zone
<input type="checkbox"/> Initial Study & Mitigated Negative Declaration	<input type="checkbox"/> ZA	<input type="checkbox"/> Active Building Permit	<input type="checkbox"/> Coastal Zone
<input type="checkbox"/> Environmental Impact Report	<input type="checkbox"/> SPRC	<input type="checkbox"/> Active Code Violation Permit #: _____	<input checked="" type="checkbox"/> Area of Special Biological Significance (ASBS)
	<input type="checkbox"/> ARB		<input type="checkbox"/> Environmentally Sensitive Habitat Area (ESHA)

Property Information

Lot: 15 Block: 352 Tract: FARWAY HOMES

ZC: R-1-H GP: MOR 17,4 DVIAE Lot Size: 6603 sq

Historic Resources Inventory Archaeologically Sensitive Area

Staff Use Only:

RECEIVED

OCT 3 2016

CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

\$ PAID
3,357.88
10/31/16

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

Applicant Signature: Jeffrey Edwards **Date:** 9/29/16

Owner Signature (Required): [Signature] **Date:** 26 Sept 2016

PROJECT DATA SHEET

Project Address: 1114 Crest Ave, PG APN-006-054-015
 Applicant(s): Jeff Edmonds, 225 Congress Ave, Pacific Grove, Ca. 831-402-1347
 Plan Submittal Date: 10/5/2016 Permit Types & Numbers:

Project Description: Build new 2nd story addition, remodel kitchen, master bath, add SF to garage.

	REQUIRED Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-1-H	R-1-H	R-1-H	
Building Site	6603	6603	6603	
Density (multi-family projects only)	n.a.	n.a.	n.a.	
Building Coverage	2641	1764	1966	ExistHouse+202
Paving Coverage		551	551	Driveway
Site Coverage	3961	2315	2517	House-1966/drive-551
Gross Floor Area	3097	1764	2789	House inc.garage
Square Footage not counted towards Gross Floor Area	0	0	0	
Impervious Surface Area Created and/or replaced		551	551	Repave driveway
Exterior Lateral Wall Length to be Demolished in feet & % of total		0	34'/17%	ExistLatWall=199.
Exterior Lateral Wall Length to be built		0	166'	1 st -38' / 2 nd -128'
Building Height	25'	13'1"	25'	Top of Chimney
Number of stories	-	1	2	
Front Setback	12'	29'	29'	
10%*66 Side Setback (right side)	6'6"	13'3"	13'3"	
10%*66 Side Setback (left side)	6'6"	10'	10'	
Rear Setback	8'	9'	9'	Existing
Garage Door Setback	20'	29'	29'	Existing
Covered Parking Spaces	1	2	2	Existing
Uncovered Parking Spaces	1	2	2	Existing
Parking Space Size (Interior measurement)	9' x20'	9'X21'	9' x 21'	
Number of Driveways	1	1	1	
Driveway Width(s)	10'	18'6"	18'6"	
Back-up Distance				
Eave Projection (Into Setback)	3' maximum	0	0	
Distances Between Eaves And Property Lines	3' minimum	n/a	n/a	
Open Porch/Deck Projections				
Architectural Feature Projections				
Number & Category of Accessory Buildings	-	0	0	0
Accessory Building Setbacks		0	0	0
Distance Between Buildings				
Accessory Building Heights	-			
Fence Heights	6'	6'	6'	



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

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NOTICE OF EXEMPTION FROM CEQA

Property Address/Location: 1114 Crest Ave, Pacific Grove, CA 93950

Project Description: AP 160862

To allow the addition of a 2nd story addition to existing Single Family Residence for a total Description: residence of 2,789 sf; to also remodel the 1st floor add new siding, chimney, doors and windows.

APN: 006054015000

ZC: R-1-H

Lot Size: 6.603 sf

Applicant Name:	Jeffrey Edmonds	Phone #:	(831) 402-1347
Mailing Address:	225 Congress		
Email Address:	jeffedmonds@edmondsconstruction.com		

Public Agency Approving Project: City of Pacific Grove, Monterey County, California

Exempt Status (Check One):

- Ministerial (Sec. 21080(b)(1):15268))
- Declared Emergency (Sec. 21080(b)(3): 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption
Type and Section Number: Class 1. Section 15301(e)(1)
- Statutory Exemption
Type and Section Number:
- Other:

Exemption Findings:
The proposed alterations do not present any unusual circumstances that would result in a potentially significant environmental impact

Contact: Laurel OHalloran, Planning Department, City of Pacific Grove

Contact Phone: (831) 648-3183

Signature: Laurel O'Halloran

Date: 11-1-16



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

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Initial Historic Screening Determination

Address: 1114 Crest Avenue APN: 006-054-015
Owner: Mike and Anne Markman Applicant: Jeff Edmonds

HISTORIC RESOURCES COMMITTEE (HRC) RECOMMENDATION:

At the May 25, 2016 HRC meeting, the Committee prepared the following Preliminary Determination of Ineligibility and forwarded the recommendation to the Community Development Director:

- Determined to be ineligible as an "Historical Resource," due to the following criteria:
 - 1. The property has undergone significant alterations to the primary or most visible façade, as evidenced through original plans, photographs or Sanborn maps.
 - _____ (description of known alteration)
 - _____ (type of documentation)
 - 2a. The property does not exhibit the architectural characteristics of the styles described in Section 7.3 of the General Plan or Section IV of the Historic Context Statement;
 - or
 - 2b. The property does not exhibit unique architectural, site or locational characteristics.
 - 3. The property is not associated with important persons, events or architecture.
- Determination of ineligibility cannot be made.

HRC Comments:

Maureen Mason, HRC Chair

5/25/16
Date

COMMUNITY DEVELOPMENT DIRECTOR (CDD) DETERMINATION:

Based on the recommendation above, the CDD Director, or their designee:

- Made a determination of ineligibility, which will remain in effect for 10 years from the date of approval.
- Found that a determination of ineligibility cannot be made, and a Phase 1 Historic Assessment (DPR 523 Form) is required.

Mark Brodeur, CDD Director

5/26/16
Date

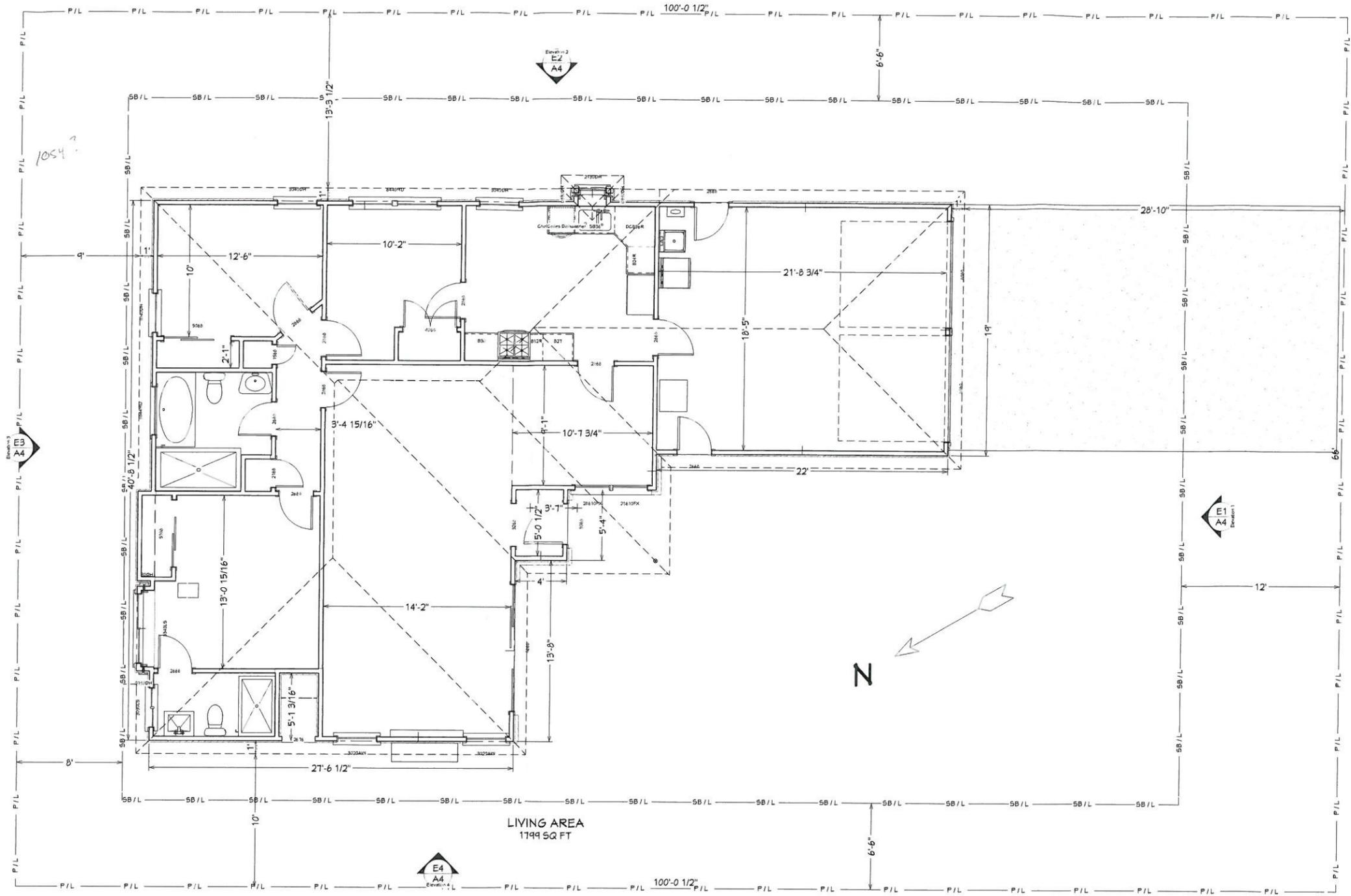
PROJECT DATA SHEET

Project Address: 1118 Crest Ave, PG APN: 006-054-015
 Applicant(s): Jeff Edmonds, 225 Congress Ave, Pacific Grove, Ca. 831-402-1347
 Plan Submittal Date: 10-2-2016 Permit Type & Number:
 Project Description: Build new 2nd story addition, remodel kitchen, master bath, add SF to garage.

	RFQI USED	Existing Permitted	Proposed Condition	Notes
Zone District	R-1-H	R-1-H	R-1-H	
Building Site	6603	6603	6603	
Density (multi-family projects only)	n.a.	n.a.	n.a.	
Building Coverage	2641	1794	2012	House
Paving Coverage		551	551	Driveway
Site Coverage	3904	2345	2563	House 2013/drive-550
Gross Floor Area	3097	1794	2809	House inc garage
Square Footage not counted towards Gross Floor Area	0	0	0	
Impervious Surface Area Created and/or replaced		551	551	Repave driveway
Exterior Lateral Wall Length to be Demolished in feet & % of total		0	12'-6"	
Exterior Lateral Wall Length to be built		0	17'-0"	1'-48" / 2'-48" / 12'-0"
Building Height	25'	13'-1"	25'	
Number of Stories	-	1	2	
Front Setback	12'	29'	29'	
10' x 66' Side Setback (right side)	6'-6"	13'-3"	13'-3"	
10' x 66' Side Setback (left side)	6'-6"	10'	10'	
Rear Setback	8'	9'	9'	Existing
Garage Door Setback	20'	29'	29'	Existing
Covered Parking Spaces	1	2	2	Existing
Uncovered Parking Spaces	1	2	2	Existing
Parking Space Size (Interior measurement)	9' x 20'	9' x 21'	9' x 21'	
Number of Driveways	1	1	1	
Driveway Width(s)	10'	18'-6"	18'-6"	
Back-up Distance				
Eave Projection (into Setback)	3' maximum	0	0	
Distances Between Eaves And Projections, 1 line	3' minimum	0/0	0/0	
Open Porch/Deck Projections				
Architectural Feature Projections				
Number & Category of Accessory Buildings	-	0	0	0
Accessory Building Setbacks	-	0	0	0
Distance Between Buildings	-			
Accessory Building Heights	-			
Fence Heights	6'	6'	6'	

Project Description- APN

006-054-015
 Add 2nd story addition to SFD.
 Remodel 1st floor. New siding,
 New chimney.
 All new doors & windows.
 Existing footprint to remain.



As-Built 1st floor

GENERAL NOTES

VERIFY ALL DIMENSIONS AND CONDITIONS (INCLUDING EXISTING FRAMINGS). PROCEEDING, ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE (CBC), INCLUDING OTHER LOCAL CODES AND ORDINANCE PRESENTLY ENFORCED:

- ALL CONSTRUCTION SHALL MEET OR EXCEED THE LATEST EDITION OF CODES ADOPTED BY THE LOCAL GOVERNING AGENCIES. THESE SHALL INCLUDE (BUT ARE NOT LIMITED TO): California Building Code, California Residential Code, California Mechanical Code, California Plumbing Code, California Electric Code, AND ALL OTHER HEALTH AND SAFETY CODES, ORDINANCES AND REQUIREMENTS ADOPTED BY GOVERNING AGENCIES.
- THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT EXHAUSTIVELY DETAILED, NOR FULLY SPECIFIED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SELECT, VERIFY, RESOLVE, AND INSTALL ALL MATERIALS AND EQUIPMENT.
- THE DESIGNER WILL NOT BE OBSERVING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE QUALITY CONTROL AND CONSTRUCTION STANDARDS FOR THIS PROJECT.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH ALL RECOMMENDATIONS OF THE SOILS REPORT, IF PROVIDED FOR THE PROJECT.

"Archaeological Resources: If archaeological resources or human remains are unexpectedly discovered during construction, work shall be halted on the project parcel until it can be evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated, with the approval of the lead agency, and implemented."

Label	Title
A-1	Site Plan/Existing Floor Plan/Project Data
A-2	Remodel Floor Plan
A-3	2nd Floor Plan/ Roof Plan
A-4	Elevations
A-5	Sections/ Views

REVISIONABLE	NUMBER	DATE	DESCRIPTION

Site Plan, Project Data

Mike & Anne Markman
 1114 Crest Ave, Pacific Grove
 Home Remodel



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DATE:
 9/28/2016

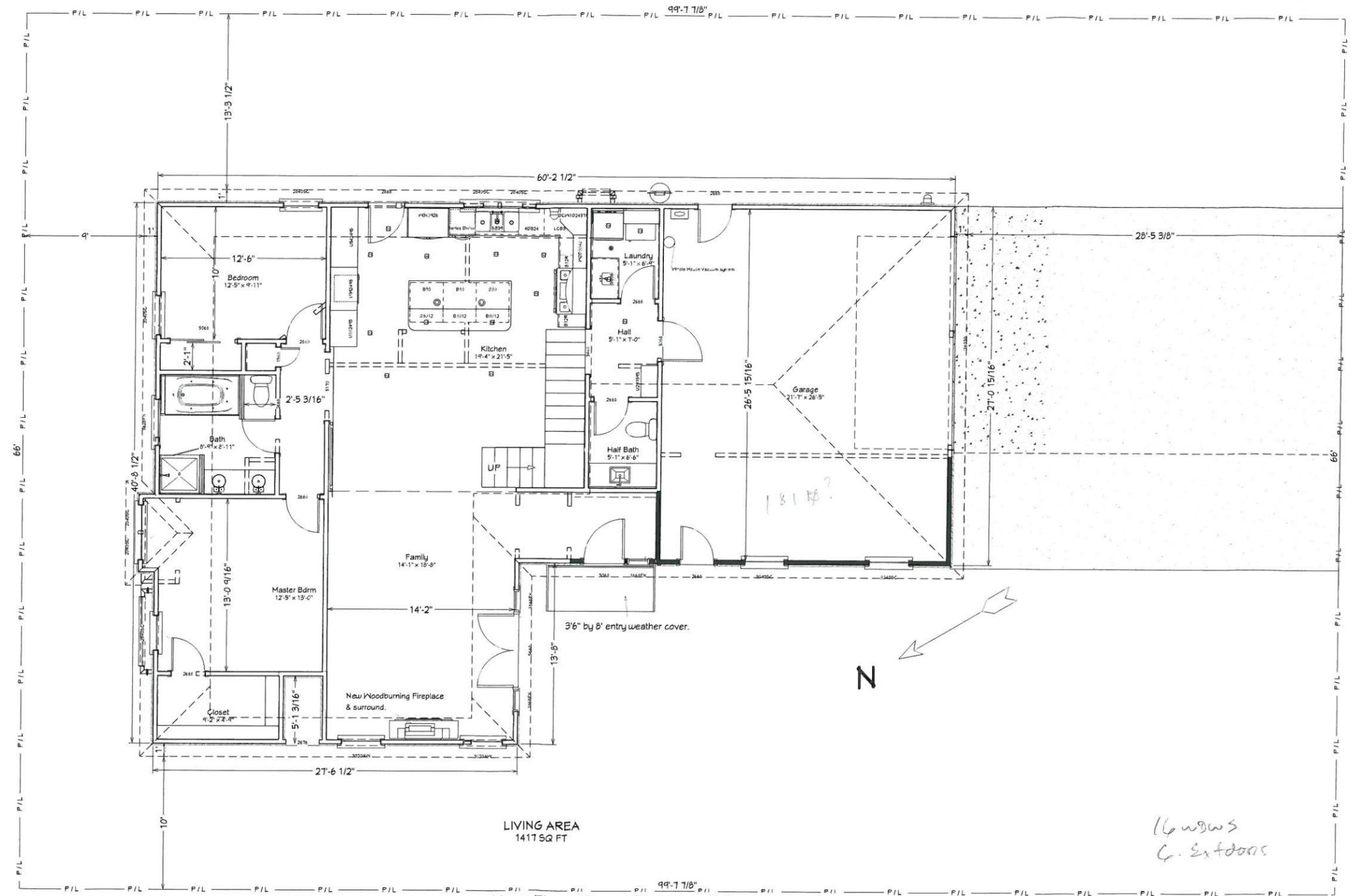
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LIVING AREA
1417 SQ FT

New Floor Plan with Demolished walls shown

■ New Walls
- - - Demolish Walls

Layout Page Table	
Label	Title
A-1	Site Plan/Existing Floor Plan/Project Data
A-2	Remodel Floor Plan
A-3	2nd Floor Plan/ Roof Plan
A-4	Elevations
A-5	Sections/ Views

REVISION TABLE	
NUMBER	DATE

New Floor Plan
Demo Plan

Mike & Anne Markman
1114 Crest Ave, Pacific Grove
Home Remodel



DATE:

9/28/2016

SCALE:

1/4" = 1'

SHEET:

A-2

*16 windows
C. Extensions*

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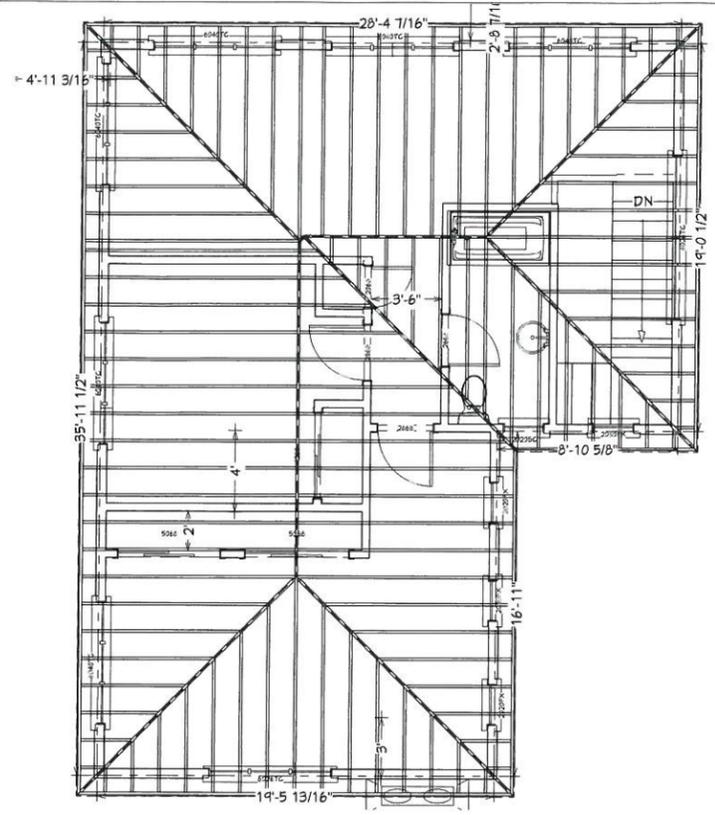
REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION

2nd Floor Plan
 Roof Plan

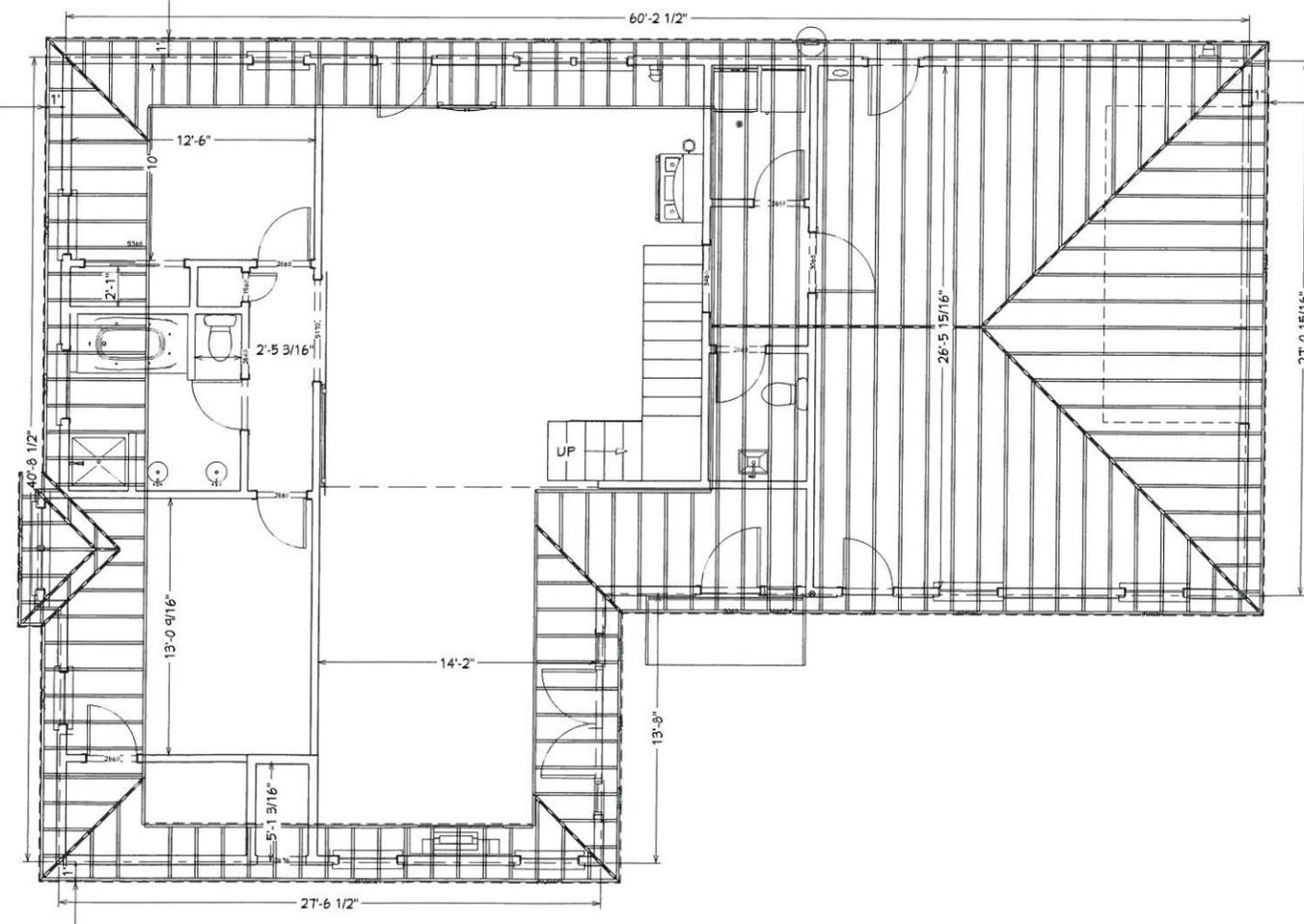
Mike & Anne Markman
 1114 Crest Ave, Pacific Grove
 Home Remodel



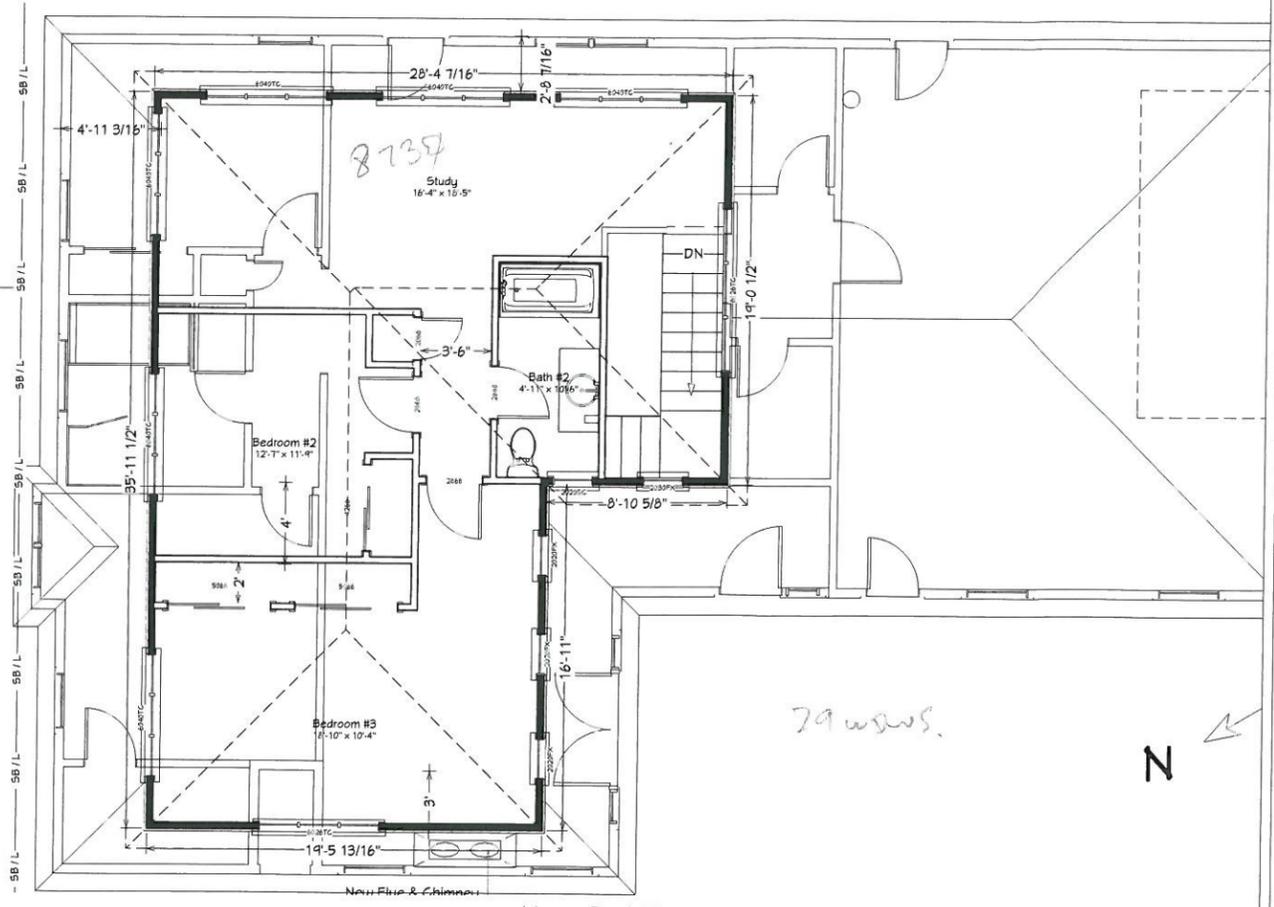
DATE:
 9/28/2016
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 A-3



Upper Roof Framing Plan

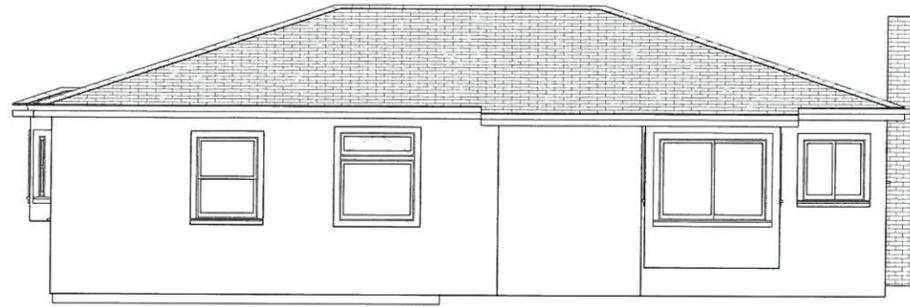


Lower Roof Framing Plan



New 2nd Floor

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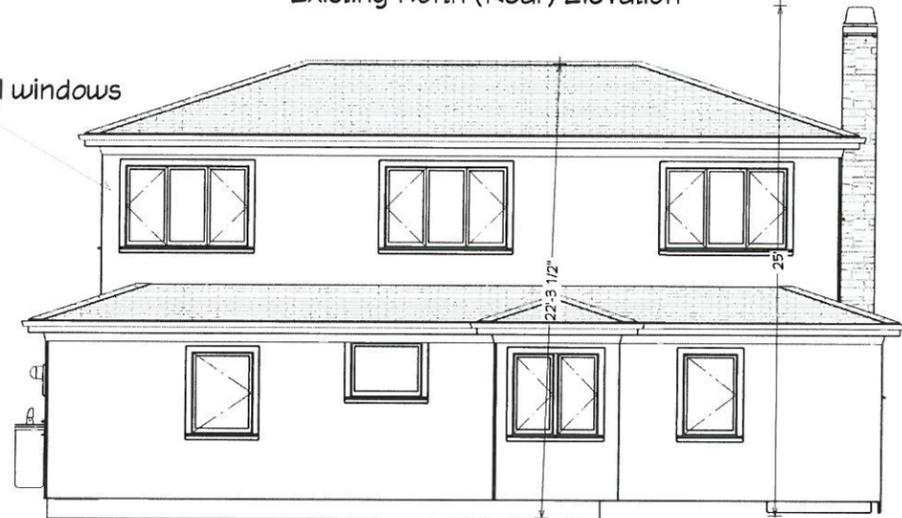


Existing North (Rear) Elevation



Existing South (Front) Elevation

All Stucco Siding
All new Milgard Vinyl windows



New North (Rear) Elevation

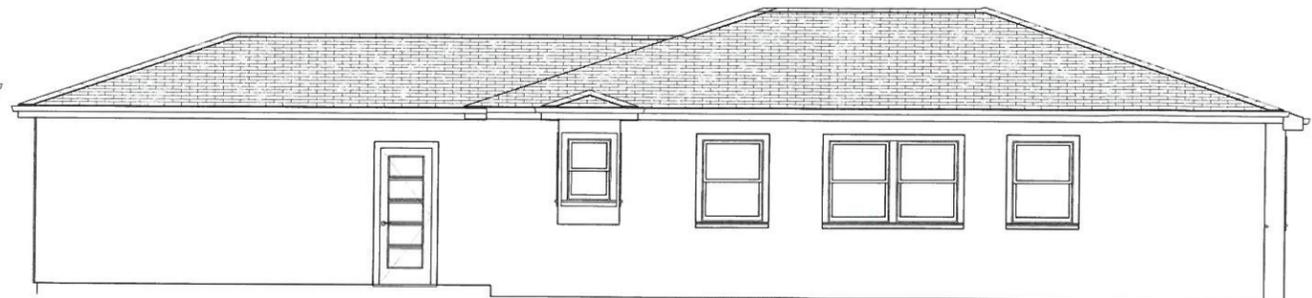
All Stucco Siding
All new Milgard Vinyl windows



New South (Front) Elevation



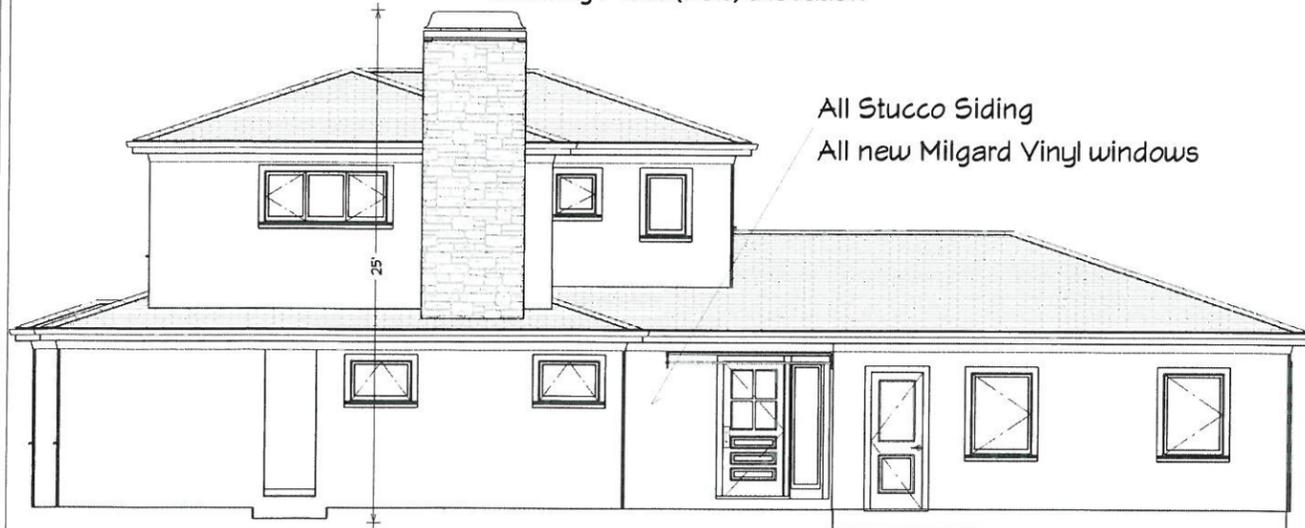
Existing West (Left) Elevation



Existing East (Right) Elevation

All Stucco Siding
All new Milgard Vinyl windows

All Stucco Siding
All new Milgard Vinyl windows



New West (Left) Elevation



New East (Right) Elevation

REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

Elevations

Mike & Anne Markman
1114 Crest Ave, Pacific Grove
Home Remodel



DATE:
9/28/2016

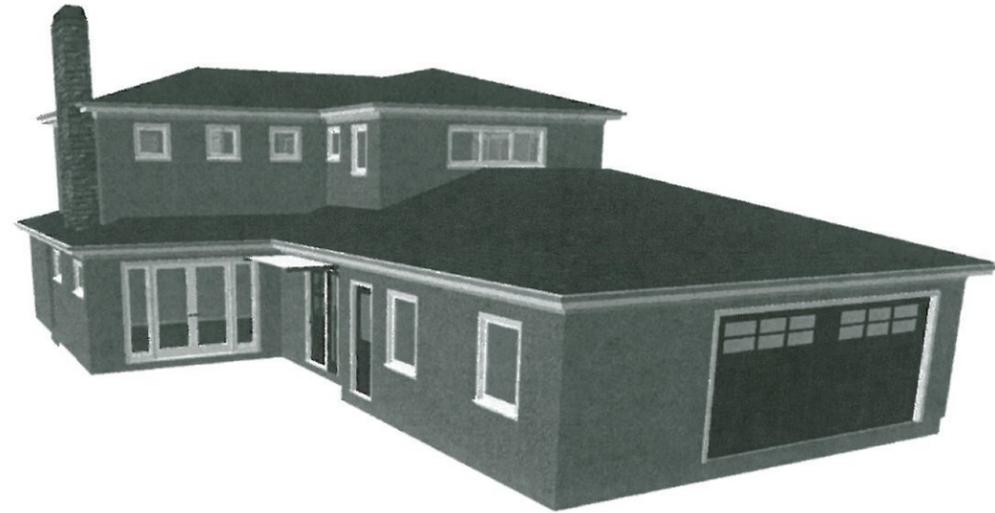
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OCT 3 2016

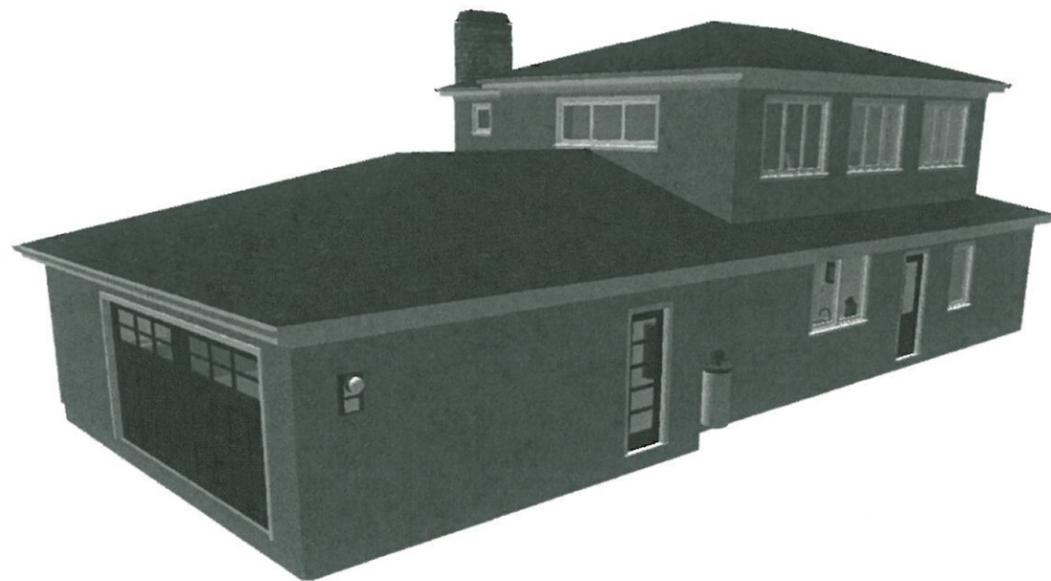
CITY OF PACIFIC GROVE
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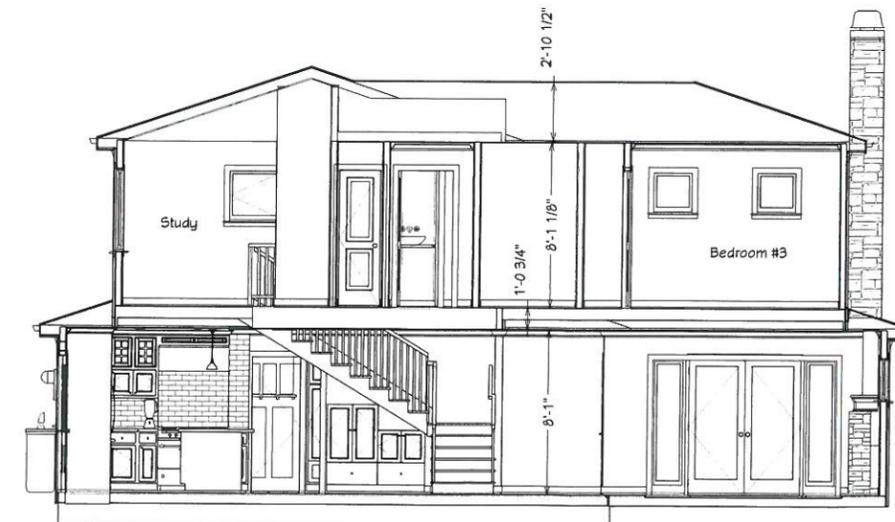
New Street View-West Side



East/West Section



New Street View-East Side



North/South Section

REVISION TABLE	REVISION BY	DESCRIPTION
NUMBER	DATE	

Mike & Anne Markman
1114 Crest Ave, Pacific Grove
Home Remodel



DATE:

9/28/2016

SCALE:

SHEET:

A5

**MONTEREY PENINSULA WATER MANAGEMENT DISTRICT
RESIDENTIAL WATER RELEASE FORM AND WATER PERMIT APPLICATION**

NOTE: When approved and signed by the jurisdictions, this form must be submitted with final and complete Construction Plans to:

Monterey Peninsula Water Management District Permit Office
5 Harris Court, Bldg. G - Monterey, CA 93940 - (831) 658-5601 ~ www.mpwmd.dst.ca.us

Completing the Water Release Form & Water Permit Application does not guarantee issuance of a Water Permit.

ALL SPACES BELOW MUST BE COMPLETED OR THE APPLICATION MAY NOT BE PROCESSED. (Please print firmly)

1. OWNERSHIP INFORMATION:

Name: Michael Markman
Daytime telephone: 651-455-2907
Mailing Address: 1114 Crest Avenue
Pacific Grove, CA 93950

2. AGENT/REPRESENTATIVE INFORMATION:

Name: Jeff Edwards
Daytime telephone: 831-402-1347
Mailing Address: 225 Congress Ave PG

3. PROPERTY INFORMATION:

What year was the house constructed? 1950 Existing Square-footage 1794 Proposed Square-footage 2809
Address: 1114 Crest Ave PG Assessor Parcel Number 006-054-015

Is a water meter needed? (Circle one) YES NO If yes, how many meters are requested? _____

Water company serving parcel: CALAM

NOTE: Separate water meters are required for each User. Residential uses require separate meters for all auxiliary housing that includes a kitchen.

4. PROJECT DESCRIPTION (Be thorough and detailed):

Add 2nd floor Addition
Remodel 1st floor new siding, new chimney
All new doors & windows

5. INSTRUCTIONS: Table #1 should list the fixtures on the property as they exist before the project. Table #2 should reflect all fixtures on the property after the project is completed. Only one Master Bathroom can be designated per residence.

Table No. 1 Existing Property Fixture Count
(All fixtures before project)

Type of Fixture	Fixture	Value	Count
Washbasin	x 1.0	=	2
Two Washbasins in the Master Bathroom*	x 1.0	=	1
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)	x 1.7	=	5.4
Toilet, High Efficiency (HET)*	x 1.3	=	
Urinal (1.6 gallon-per-flush)	x 1.0	=	
Urinal (0.5 gallon-per-flush)	x 0.5	=	
Zero Water Consumption Urinal*	x 0.0	=	
Masterbath (one per Dwelling); Tub & separate shower*	x 3.0	=	
Large Bathub (may have Showerhead above)	x 3.0	=	3.0
Standard Bathub (may have Showerhead above)	x 2.0	=	4.0
Shower, Separate Stall (one Showerhead)	x 2.0	=	
Shower, each additional fixture (heads, body spray)	x 2.0	=	
Shower system Rain Bars or Custom Shower (spec)	x 2.0	=	
Kitchen Sink (with optional Dishwasher)	x 2.0	=	2.0
Kitchen Sink with High Efficiency Dishwasher*	x 1.5	=	
Dishwasher, each additional (with optional sink)	x 2.0	=	
Dishwasher, High Efficiency (with opt. sink)*	x 1.5	=	
Laundry Sink/Utility Sink (one per Residential Site)	x 2.0	=	3.0
Clothes Washer	x 2.0	=	3.0
Clothes Washer, 5.0 water factor or less*	x 1.0	=	
Bidet	x 2.0	=	
Bar Sink	x 1.0	=	
Entertainment Sink	x 1.0	=	
Vegetable Sink	x 1.0	=	
Swimming Pool (each 100 sq-ft of pool surface)	x 1.0	=	
Other	x	=	
Other	x	=	
Other	x	=	

* Use this fixture count if a previous Permit was issued under Ordinance 80 to utilize the Master Bathroom Credit. (Tub may be large.) See District staff for more information.

Table No. 2 Post Project Fixture Count
(All fixtures after project)

Type of Fixture	Fixture	Value	Count
Washbasin	x 1.0	=	2
Two Washbasins in the Master Bathroom	x 1.0	=	1
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)	x 1.7	=	
Toilet, High Efficiency (HET)*	x 1.3	=	3.7
Urinal (1.0 gallon-per-flush)	x 1.0	=	
Urinal (0.5 gallon-per-flush)	x 0.5	=	
Zero Water Consumption Urinal*	x 0.0	=	
Masterbath (one per Dwelling); Tub & separate shower*	x 3.0	=	
Large Bathub (may have Showerhead above)	x 3.0	=	3
Standard Bathub (may have Showerhead above)	x 2.0	=	20
Shower, Separate Stall (one Showerhead)	x 2.0	=	
Shower, each additional fixture (heads, body spray)	x 2.0	=	
Shower system Rain Bars or Custom Shower (spec)	x 2.0	=	
Kitchen Sink (optional dishwasher)	x 2.0	=	
Kitchen Sink with Ultra Low Cons. Dishwasher*	x 1.5	=	1.5
Dishwasher, each additional (optional sink)	x 2.0	=	
Dishwasher, ultra-low (with opt. sink)*	x 1.5	=	
Laundry Sink/Utility Sink (one per Site)	x 2.0	=	2.0
Clothes Washer	x 2.0	=	2.0
Clothes Washer, 5.0 water factor or less*	x 1.0	=	
Bidet	x 2.0	=	
Bar Sink	x 1.0	=	
Entertainment Sink	x 1.0	=	
Vegetable Sink	x 1.0	=	
Instant Access Hot Water System (fixture credit)	x <0.5>	=	0.5
Outdoor Water Uses New Connection - Lot 10,000 sf or less		=	
1) 50% of interior fixtures or	x	=	
2) 25% of interior when native plants	x	=	
Lots over 10,000 sq-ft, see Water Budget Information for MAWA before proceeding.		=	
Outdoor Water Uses New Connection - Lot greater than 10,000 sf		=	
1) 50% interior, plus MAWA over 50%	x	=	
2) 25% of interior when native plants	x	=	
Substantial proposed fixtures		=	
Swimming Pool (ea. 100 sq. ft. of surface)	x 1.0	=	16.9

EXISTING FIXTURE UNIT COUNT TOTAL 18.4

PROPOSED FIXTURE UNIT COUNT TOTAL = 16.9

***DEED RESTRICTION REQUIRED WHEN CREDIT IS APPLIED FOR ULF APPLIANCES-EXPECT PERMIT PROCESS TO TAKE THREE WEEKS**

In completing the Water Release Form, the undersigned acknowledges that any discrepancy or mistake may cause rejection or delay in processing of the application. Additionally, the undersigned is responsible for accurately accounting for all water fixtures. If the fixture unit count changes without notification to the District, or if a difference in fixtures is documented upon official inspection, Water Permits for the property may be canceled. In addition, water fixtures installed without a Water Permit may be cause for interruption of the water service to the Site, additional fees and penalties, the imposition of a lien on the property, and deduction of water from the local Jurisdiction's Allocation. The property owner/Applicant is required to notify the District and provide Architectural Drawings as appropriate for each change in the Project made prior to use or occupancy that may affect the Project's Capacity to use water.

6. I certify, under penalty of perjury, that the information provided on this Water Release Form & Water Permit Application is to my knowledge correct, and the information accurately reflects water use presently planned for this property.

Signature of Owner/Agent
Michael Markman
Print Name

26 Sept 2016 Monterey Peninsula Water Mgmt. Dist.
Jeff Edwards - 9/25/16
Date Location Where Signed

File or Plan Check Number

AUTHORIZATION FOR WATER PERMIT - JURISDICTION USE ONLY

AF Paralta Allocation _____ AF Public Allocation _____ AF 2nd Bathroom Protocol _____
AF Pre-Paralta _____ WDS (Private Well) _____ Water Entitlement _____ No water needed _____

NOTES: _____ Authorized by: _____ Date: _____

This form expires one year from date of authorization for this project by the jurisdiction.

White copy-MPWMD

Yellow copy-applicant

Pink copy-jurisdiction