



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

Permit & Request Application

RECEIVED

DEC 18 2014

CITY OF PACIFIC GROVE COMMUNITY DEV DEPT

Project Permit(s) & Fees

Permit:	Fee:	Multiple Permit Discount:	App. #:	14-015
AP	\$2,282	n/a	Date:	12/18/14
			Received By:	A. HUBSON
			Total Fee:	\$2,282

Project/Property Information

Project Address:	735 Bayview			APN:	006-142-045	
	Lot:	18	Block:	12	Tract:	Fairway Homes
	ZC:	R-1	GP:	17.4 Dular	Lot Size:	7,507.99 sq. ft.

Project

Description:

Applicant Name: SUSAN & PAUL MARTIN Phone #: 925 944-4700
 Mailing Address: 735 Bayview Ave
 Email Address: Soozle47@yahoo.com

Owner Name: SAM Phone #: —
 Mailing Address: —
 Email Address: —

Permit(s)/Request(s)

<input type="checkbox"/> CRD: Counter Determination	<input type="checkbox"/> UP: Use Permit	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> VAR: Variance
<input checked="" type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> AUP: Administrative UP	<input type="checkbox"/> HPP: Historic Preservation Permit	<input type="checkbox"/> AVAR: Administrative VAR
<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> UP-A: UP Amendment	<input type="checkbox"/> HDP: Historic Demolition Permit	<input type="checkbox"/> VAR-A: VAR Amendment
<input type="checkbox"/> ADC: AP Design Change	<input type="checkbox"/> AUP-A: AUP Amendment	<input type="checkbox"/> HRP: Historic Relocation Permit	<input type="checkbox"/> AVAR-A: AVAR Amendment
<input type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> C-1 Interp. of Permitted Uses	<input type="checkbox"/> HD: Historic Determination	<input type="checkbox"/> IS & ND/MND: Initial Study
<input type="checkbox"/> ASP: Administrative SP	<input type="checkbox"/> SU: Second Unit	<input type="checkbox"/> TPD: Tree Permit w/ Dev't	<input type="checkbox"/> EIR: Env. Impact Report
<input type="checkbox"/> TTM: Tentative Tract Map	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> PUU: Permit Undocumented Unit	<input type="checkbox"/> MMP: Mitigation Monitoring
<input type="checkbox"/> FTM: Final Tract Map	<input type="checkbox"/> LM: Lot Merger	<input type="checkbox"/> GPA: General Plan Amendment	<input type="checkbox"/> Other
<input type="checkbox"/> SPR: Site Plan Review	<input type="checkbox"/> COC: Certificate of Compliance	<input type="checkbox"/> ZCA: Zoning Code Amendment	<input type="checkbox"/> Other

CEQA Determination

Cat. Exempt, Class:
 ND: Negative Declaration
 MND: Mitigated ND
 EIR: Environmental Impact Report

Review Authority

Staff NRC
 ZA HRC
 SPRC PC
 ARB CC

Does the property have?

Active Planning Permit
 Active Building Permit
 Active Code Violation

Is the property within?

ASA: Archaeologically Sensitive Area¹
 CZ: Coastal Zone²
 ASBS: Drainage into ASBS Watershed
 HRI: Historic Resources Inventory^{3,4}
 BP: Butterfly Preserve Buffer

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

Applicant Signature

Date

Dec 18, 2014

Owner Signature (Required)

Date

Dec 18, 2014



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Initial Historic Screening Determination

Address: 735 Bayview Ave APN: 006-142-045
Owner: _____ Applicant: Susan Martin

HISTORIC RESOURCES COMMITTEE (HRC) RECOMMENDATION:

At the 6/25/14 HRC meeting, the Committee prepared the following Preliminary Determination of Ineligibility and forwarded the recommendation to the Community Development Director:

- Determined to be ineligible as an "Historical Resource," due to the following criteria:
 - 1. The property has undergone significant alterations to the primary or most visible façade, as evidenced through original plans, photographs or Sanborn maps.
 - _____ (description of known alteration)
 - _____ (type of documentation)
 - 2a. The property does not exhibit the architectural characteristics or styles described in Section 7.3 of the General Plan or Section IV of the Historic Context Statement;
or
 - 2b. The property does not exhibit unique architectural, site or locational characteristics described in Section 23.76.025 of the Zoning Ordinance.
 - 3. The property is not associated with important persons, events or architecture.
- Determination of ineligibility cannot be made.

HRC Comments:

Maureen Mason, HRC Chair

Date

COMMUNITY DEVELOPMENT DIRECTOR (CDD) DETERMINATION:

Based on the recommendation above, the CDD Director, or their designee:

- Made a determination of ineligibility, which will remain in effect for 5 years from the date of approval.
- Found that a determination of ineligibility cannot be made, and a Phase 1 Historic Assessment (DPR 523 form) is required.

Ashley Hobson, Contract Assistant Planner

6/25/14
Date

735 Bayview
Tree Assessment
Arborist report

Prepared for:

Paul and Susan Martin

Prepared by:

Frank Ono
Urban Forestry
Member Society of American Foresters # 48004
ISA Certified Arborist #536
1213 Miles Avenue
Pacific Grove, CA 93950

January 21, 2015

Owner:

Paul and Susan Martin
735 Bayview Avenue
Pacific Grove, CA 93950

Architect:

Michael Boudreau
1009 Morro Street
San Luis Obispo, CA 93401

Forester and Arborist

Frank Ono, Society of American Foresters # 048004, Certified Arborist #536
F.O. Consulting
1213 Miles Ave
Pacific Grove, CA 93950

SUMMARY

Development is proposed for this site requiring removal or four Victorian Box trees (*Pittosporum undulatum*). The trees are considered to be in fair or better condition both structurally and in health but are located within the building footprint. A Monterey cypress also needs crown reduction and thinning for hygiene and to enhance its health. A tree assessment/arborist report has been prepared identifying potential affects to existing tree resources on site and lists recommendations for the project.

INTRODUCTION

This tree assessment/arborist report is prepared for Paul and Susan Martin, the owners of the property located at 735 Bayview Avenue, Pacific Grove CA by Frank Ono, Urban Forester and Certified Arborist, (member Society of American Foresters #48004 and International Society of Arboriculture Certified Arborist #536) due to the proposed construction improvements to an existing structure. The Pacific Grove City Ordinances identify trees on private property, regardless of species, 12 inches or greater in trunk diameter, measured at 54 inches above native grade require protection and special consideration for management.

ASSIGNMENT/SCOPE OF PROJECT

Development of this parcel may have varied affects to trees adjacent construction. To ensure protection of the tree resources on site, the property owner, Paul and Susan Martin, have requested a tree resource assessment of the trees in proximity to proposed development areas to be documented in a report to be included as part of a tree removal permit for proposed construction. To accomplish this assignment, the following tasks have been completed;

- Evaluate health, structure and preservation suitability for trees within or adjacent (15 feet or less) to proposed development of trees protected by ordinance.
- Review proposed building site plans as provided by Michael Boudreau.

- Make recommendations for alternative methods and preconstruction treatments to facilitate tree retention.
 - Create preservation specifications, as it relates to a Tree Location/Preservation Map.
 - Determine the quantity of trees affected by construction meeting protected status as defined by the City of Pacific Grove Municipal Ordinance; as well as mitigation requirements for those to be affected.
 - Document findings in the form of a report as required by the City of Pacific Grove Planning Department.
- 8.h

LIMITATIONS

This assignment is limited to the review of plans submitted to me dated December 5, 2014 by Michael Boudreau to assess affects from potential construction to trees within or adjacent to construction activities. The assessment has been made of these plans specifically and no other plans were reviewed. Only minor grading and erosion details are discussed in this report as it relates to tree health.

PURPOSE

This tree Assessment/Arborist report is prepared for this parcel due to proposed construction activities that are intent on improving the existing structures located at 735 Bay View Avenue. The purpose of the report is to give an independent assessment of specified trees on site to determine if they will be affected by the proposed project.

GOAL

The goal of this report is to assist in urban forest protection and maintenance for the City of Pacific Grove through the adherence of development standards. Furthermore it is the intended goal of this report to aid in planning to offset any potential effects of proposed development on the property while encouraging the urban forested character of the property and the immediate vicinity.

SITE DESCRIPTION

- 1) Assessor's Parcel Number: 006-142-045
- 2) Location: 735 Bayview Avenue, Pacific Grove
- 3) Parcel size: Approximately .17 Acres
- 4) Existing Land Use: The parcel is zoned R-1 residential use
- 5) Slope: The parcel is mildly sloped, averaging approximately 5-10%, therefore erosion does not seem a factor
- 6) Soils: The parcel is located on soils classified by the Monterey County Soils report as Baywood Sand 2-15% slope. The Baywood series consists of somewhat excessively drained soils that formed in stabilized sand dunes. Slopes are 2 to 15 percent.
- 7) Vegetation: The vegetation associated with this soil type consists of manzanita, Chamise, annual grasses, and scattered oaks, however the site is disturbed. Vegetation found on site now are introduced planting composed primarily of two upper canopy Monterey cypress (*Cupressus macrocarpa*), Coast live oak (*Quercus agrifolia*) interspersed with Pittosporum species and ornamental planted understory.

BACKGROUND

I (Frank Ono, F.O. Consulting) have been requested to review and assess trees near the proposed project. A site visit was conducted understand the scope of construction and what treatments are needed for trees adjacent to proposed development on this property. The assessment of each tree concludes with an opinion of whether the tree should be removed, or preserved, based on the extent and effect of construction activity to the short and long term health of the tree. All meetings and field review focuses on the area immediately surrounding the proposed development.

OBSERVATIONS/DISCUSSION

The following list includes observations made while on site, and summarizes details discussed during this stage of the planning process.

- There are approximately 19 trees on this lot. Upper canopy trees consist of two Monterey cypress trees are located at the rear of the property outside the area of proposed development.
- Medium to lower canopy trees consist of a number of planted fast growing shrubs and trees are located near or within the proposed building footprint. There are also several (3) existing 6" diameter oak trees located under one of the Cypress trees. This Cypress tree is in need of hygienic pruning in the form of crown thinning and reduction.
- Four trees, all Pittosporum species, are located within the building footprint will be removed due to their position within the proposed building footprint. These trees are small sized introduced trees, ranging from fair to good health.

CONCLUSION/PROJECT ASSESSMENT

Whenever construction activities take place near trees, the potential for those trees to experience decline. The greatest attempt has been made to identify for removal trees likely to experience such a decline. This proposal to remove the four Pittosporum trees does not appear that it will have a significant effect to the urban- forest. The trees, according to the current tree ordinance, do not appear they are protected by ordinance because they are ornamental planted trees on private property that measure less than 12 inches in trunk diameter, measured at 54 inches above native grade. Site disturbance occurring during building construction will be confined to the construction envelope and immediate surroundings where four Pittosporum trees will be removed and some surrounding trees may have root systems reduced.

The cypress trees especially near the house appear they may need some pruning of their crowns (25% or less of the overall crown). Care must be taken when doing this, as pruning of tree crowns above 30% and reduction of root area may have a short term effects on those trees treated, including a reduction of growth, and potential limb dieback.

Long Term Affects

No significant long-term affects to the urban forest ecosystem is anticipated and are evaluated in the following areas:

- Soil erosion – slopes are mild;
- Water Quality: The removal of the four trees will not substantially lessen the ability for the natural assimilation of nutrients, chemical pollutants, heavy metals, silt and other noxious substances from ground and surface waters;
- Ecological Impacts: The removals are of smaller diameter and crown. Their removal will not have a substantial adverse impact upon existing biological and ecological systems or climatic conditions which affect these systems. The removal will not create conditions which may adversely affect the dynamic equilibrium of associated systems;
- Noise Pollution: The removal will not significantly increase ambient noise levels to the degree that a nuisance is anticipated to occur;
- Air Movement: The removal will not significantly reduce the ability of the existing vegetation to reduce wind velocities to the degree that a nuisance is anticipated to occur;
- Wildlife Habitat: The removal will not significantly reduce available habitat for wildlife existence and reproduction or result in the immigration of wildlife from adjacent or associated ecosystems

RECOMMENDATIONS

Tree Removal

Four Pittosporum trees are proposed for removal and one tree to be pruned with this project.

ID	Species	Condition	Treatment
1	Pittosporum	Fair	Remove
2	Pittosporum	Fair	Remove
3	Pittosporum	Good	Remove
4	Pittosporum	Fair	Remove
5	Cypress	Fair	Prune

All other trees are to remain and be protected from construction affects when closer than 25 feet from construction.

Tree Replacement

Trees shall be replaced in accordance with City of Pacific Grove ordinances. It appears the site is over grown with vegetation in the rear yard (there are 16 trees remaining in the rear yard alone), so no replanting of trees is recommended. If re-planting is mandated it is recommended it should be with salt wind tolerant species of medium height on a 1:2 ratio (one tree for each two trees removed).

Tree Pruning

It is to be understood that the pruning of retained trees may be expected for this site, especially along the driveway and building construction areas. Pruning should include the larger canopied trees such as the cypress (#5) that have deadwood or are exhibiting some minor structural defect or minor disease that must be compensated. Those trees that require pruning and possible monitoring are closest to structures and over neighboring properties, where they will not receive more than 25% of the overall crown removed at one time in a year. Trees should be monitored on occasion for health and vigor after pruning. Should the health and vigor of any tree decline it will be treated as appropriately recommended by a certified arborist or qualified forester.

The following are offered as guidelines when pruning

- In general the trees will be pruned first for safety, next for health, and finally for aesthetics.
- Type of pruning is determined by the size of branches to be removed. General guidelines for branch removal are:
 1. Fine Detail pruning- limbs under 2 inch diameter are removed
 2. Medium Detail Pruning – Limbs between 2 and 4 inch diameter
 3. Structural Enhancement – limbs greater than 4 inch diameter.

4. Broken and cracked limbs-removed will be removed in high traffic areas of concern. 8.h

Crown thinning is the cleaning out of or removal of dead diseased, weakly attached, or low vigor branches from a tree crown

- All trees will be assessed on how a tree will be pruned from the top down.
- Trimmers will favor branches with strong, U- shaped angles of attachment and where possible remove branches with weak, V- shaped angles of attachment and/or included bark.
- Lateral branches will be evenly spaced on the main stem of young trees and areas of fine pruning.
- Branches that rub or cross another branch will be removed where possible.
- Lateral branches will be no more than one-half to three-quarters of the diameter of the stem to discourage the development of co-dominant stems where feasible.
- In most cases trimmers will not remove more than one-quarter of the living crown of a tree at one time. If it is necessary to remove more, it will be done over successive years.

Crown- raising removes the lower branches of a tree to provide clearance for buildings, vehicles, pedestrians and vistas.

- Live branches on at least two-thirds of a tree's total height will be maintained wherever possible. The removal of many lower branches will hinder the development of a strong stem.
- All basal sprouts and vigorous epicormic sprouts will be removed where feasible.

Crown reduction is used to reduce the height and/or spread of trees and is used for maintaining the structural integrity and natural form of a tree.

- Crown reduction pruning will be used only when absolutely necessary. Pruning cuts will be at a lateral branch that is at least one-third the diameter of the stem to be removed wherever possible.
- When it is necessary to remove more than half of the foliage from a branch it may be necessary remove the entire branch.

Crown restoration is used to improve the structure and appearance of trees that have been topped or severely pruned by the use of heading cuts. One of three sprouts on main branch stubs should be selected to reform a natural appearing crown. Selected vigorous sprouts may need to be thinned to ensure adequate attachment for the size of the sprout. Restoration may require several years of pruning.

Prior to the commencement of construction activities:

- Trees located adjacent to the construction area shall be protected from damage by construction equipment by the use of temporary fencing and through wrapping of trunks with protective materials.
- Fencing shall consist of chain link, snowdrift, plastic mesh, hay bales, or field fence. Existing fencing can also be used.
- Fencing is not to be attached to the tree but free standing or self-supporting so as not to damage trees. Fencing shall be rigidly supported and shall stand a minimum of height of six feet above grade.
- Soil compaction, parking of vehicles or heavy equipment, stockpiling of construction materials, and/or dumping of materials should not be allowed adjacent to trees on the property especially within fenced areas.
- Fenced areas and the trunk protection materials should remain in place during the entire construction period.

During grading and excavation activities:

- All trenching, grading or any other digging or soil removal that is expected to encounter tree roots should be monitored by a qualified arborist or forester to ensure against drilling or cutting into or through major roots.
- The project architect and qualified arborist should be on site during excavation activities to direct any minor field adjustments that may be needed.
- Trenching for the retaining wall and driveway located adjacent to any tree should be done by hand where practical and any roots greater than 3-inches diameter should be bridged or pruned appropriately.
- Any roots that must be cut should be cut by manually digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root pruning equipment.
- Any roots damaged during grading or excavation should be exposed to sound tissue and cut cleanly with a saw.

If at any time potentially significant roots are discovered:

- The arborist/forester will be authorized to halt excavation until appropriate mitigation measures are formulated and implemented.
- If significant roots are identified that must be removed that will destabilize or negatively affects the target trees negatively, the property owner will be notified immediately and a determination for removal will be assessed and made as required by law for treatment of the area that will not risk death decline or instability of the tree consistent with the implementation of appropriate construction design approaches to minimize affects, such as hand digging, bridging or tunneling under roots, etc..

Following construction, any above ground tree pruning/trimming should be delayed until one year after completion of construction. A qualified arborist should monitor trees adjacent to the improvements area and if any decline in health that is attributable to the construction is noted, additional trees should be planted on the site.

General Standards to Observe

The trees preserved around the construction site will have the greatest chance of success if the following practices are adhered to:

The health of trees remaining should not be affected if the following practices are adhered to:

- A) Do not deposit any fill around trees, which may compact soils and alter water and air relationships. Avoid depositing fill, parking equipment, or staging construction materials near existing trees. Covering and compacting soil around trees can alter water and air relationships with the roots. Fill placed within the drip-line may encourage the development of oak rot fungus (*Armillaria mellea*). As necessary, trees may be protected by boards, fencing or other materials to delineate protection zones.
- B) Pruning shall be conducted so as not to unnecessarily injure the tree. General principals of pruning include placing cuts immediately beyond the branch collar, making clean cuts by scoring the underside of the branch first, and for live oak, avoiding the period from February through May.
- C) Native live oaks are not adapted to summer watering and may develop crown or root rot as a result. Do not regularly irrigate within the drip line of oaks. Native, locally adapted, drought resistant species are the most compatible with this goal.
- D) Root cutting should occur outside of the springtime. Late June and July would likely be the best. Pruning of the live crown should not occur February through May.
- E) Oak material greater than 3 inches in diameter remaining on site more than one month that is not cut and split into firewood should be covered with black plastic that is dug in securely around the pile. This will discourage infestation and dispersion of bark beetles.
- F) A mulch layer up to approximately 4 inches deep should be applied to the ground under selected oaks following construction. Only 1 to 2 inches of mulch should be applied within 1 to 2 feet of the trunk, and under no circumstances should any soil or mulch be placed against the root crown (base) of trees. The best source of mulch would be from chipped material generated on site.
- G) If trees along near the development are visibly declining in vigor, a Professional Forester or Certified Arborist should be contacted to inspect the site to recommend a course of action.

Report Prepared By:


Frank Ono, SAF Forester #48004 and ISA Certified Arborist #536 January 21, 2015
 Date

PHOTOGRAPHS

Trees #1 and 2



Tree #1

8.h



Base of #1

8.h



Base of #2

8.h



Tree #3 and 4

8.h

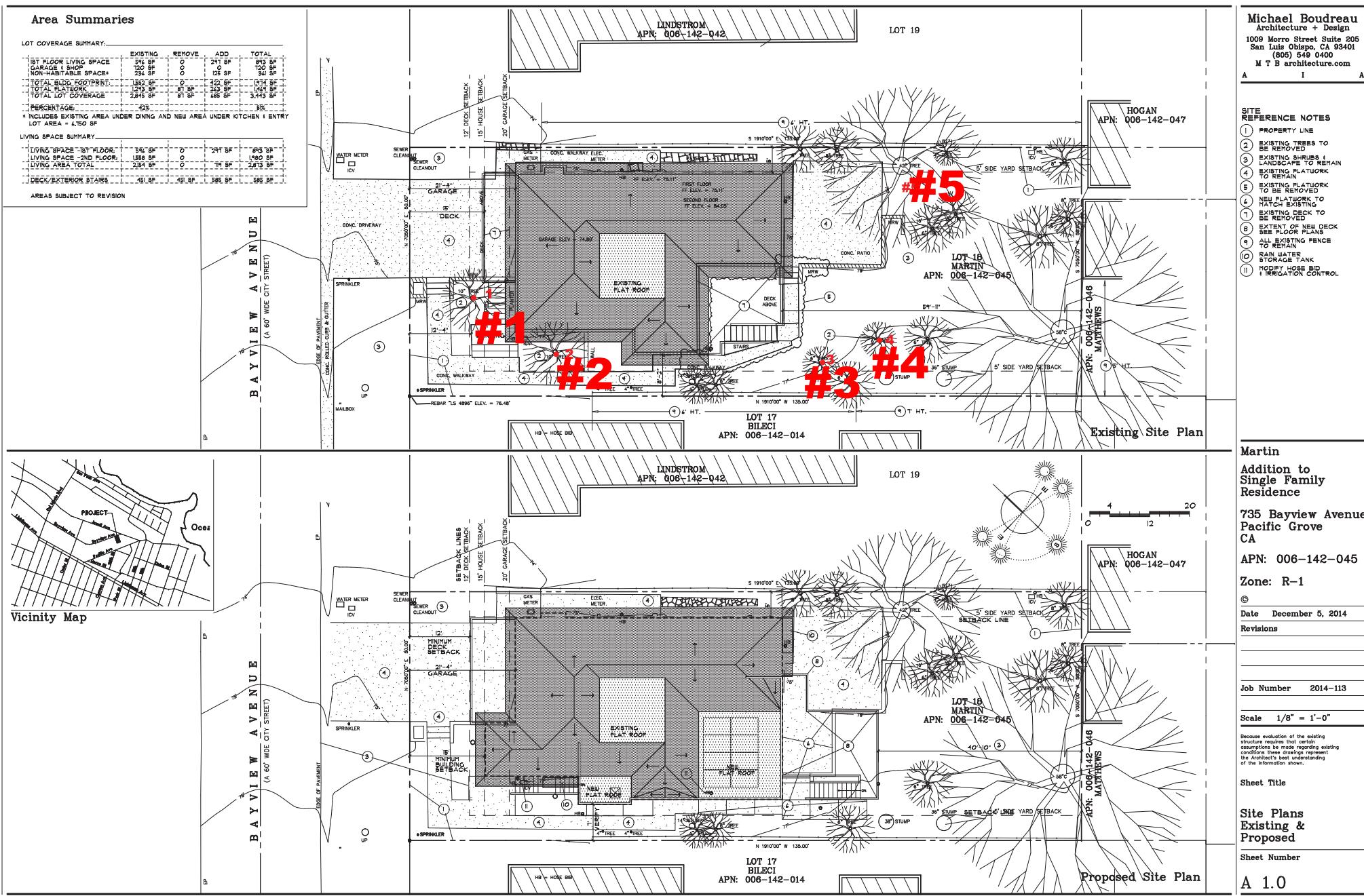


Trees #3 and 4.

8.h



Cypress tree (#5) to be pruned for crown thinning and reduction.





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300 Forest Avenue, Pacific Grove, CA 93950

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ARCHITECTURAL PERMIT #14-615

FOR A PROPERTY LOCATED AT 735 BAYVIEW AVE TO

ADD 719 SQUARE FEET OF LIVING SPACE TO AN EXISTING 2,154 SQUARE FOOT HOUSE, INCLUDING THE ADDITION OF A SECOND STORY DECK, AND THE REMOVAL OF 4 VICTORIAN BOX TREES.

FACTS

1. The subject site is located at 735 Bayview Ave, Pacific Grove, 93950 APN 006-142-045
2. The subject site has a designation of Medium Density on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-1 zoning district.
4. The subject site is 7,507 square feet.
5. The subject site is developed with a single family dwelling.
6. The subject site was determined ineligible for the Historic Resources Inventory on 6/25/2014.
7. This project has been determined to be CEQA Exempt under CEQA Guidelines 15301(e)(1), Class 1.

FINDINGS

1. The proposed development will meet the development regulations set forth in the R-1 zoning district including setbacks and height requirements and;
2. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines and;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. The Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.
5. The proposed tree removal of 4 Victorian Box Trees is in conformance with the findings and regulations set forth in Title 12 of the Municipal Code.

PERMIT

Architectural Permit (AP) to allow:

A property located at 735 Bayview Ave. to add 719 square feet of living space to an existing 2,154 square foot house, including the addition of a 2nd story deck and the removal of 4 Victorian Box Trees.

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and

conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.

4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approved plans for "Martin Residence" dated December 5, 2014, on file with the Community Development Department and to the Building Code, with the exception of any subsequently approved changes.
6. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
7. **Lighting:** All exterior lighting must conform to Architectural Review Guidelines Nos. 10,11,12.
8. **Tree Replacement:** Removal of any Protected Tree on a property that does not meet the canopy coverage goals, as defined in Municipal Code Section 12.20.080, shall require ***one replacement tree shall be required for each protected tree removed***. Replacement trees shall be of a suitable species and planted in a suitable location, as agreed to by the city arborist and the property owner. For upper canopy trees on lots with available landscape area in excess of 2,000 square feet, at least half of all replacement trees shall be native trees.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes Approval of AP 14-615 to allow a property located at 735 Bayview Ave. to add 719 square feet of living space to an existing 2,154 square foot house, including the addition of a 2nd story deck and the removal of 4 Victorian Box Trees.
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 10th Day of February, 2015, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Susan Martin, Owner

Date

Area Summaries

	EXISTING	REMOVE	ADD	TOTAL
1ST FLOOR LIVING SPACE	594 SF	0	291 SF	885 SF
GARAGE & SHOP	120 SF	0	125 SF	245 SF
NON-HABITABLE SPACE*	234 SF	0	341 SF	575 SF
TOTAL BLDG FOOTPRINT:	1,521 SF	81 SF	422 SF	1,942 SF
TOTAL FLATWORK:	1,213 SF	243 SF	485 SF	1,641 SF
TOTAL LOT COVERAGE	2,845 SF	81 SF	685 SF	3,443 SF
PERCENTAGE:	42%		5%	

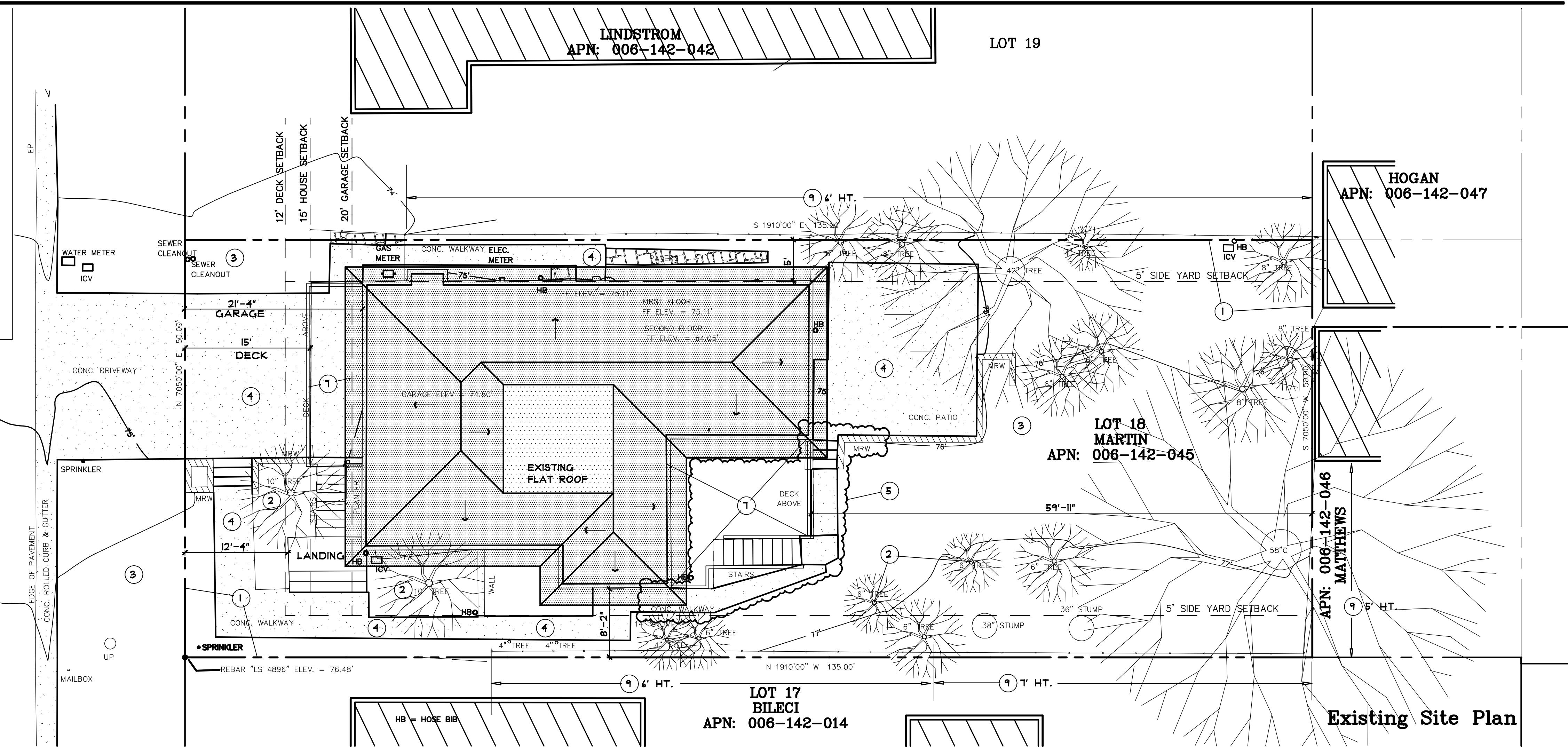
* INCLUDES EXISTING AREA UNDER DINING AND NEW AREA UNDER KITCHEN + ENTRY
LOT AREA = 4,750 SF

LIVING SPACE SUMMARY

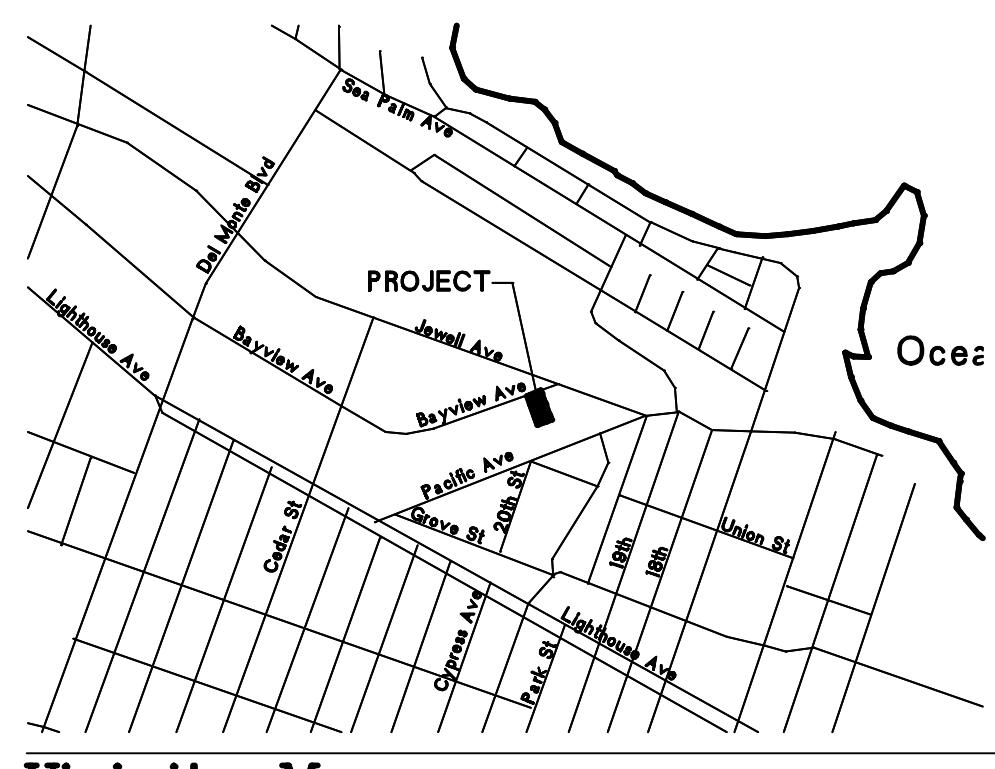
LIVING SPACE -1ST FLOOR:	594 SF	O	291 SF	883 SF
LIVING SPACE -2ND FLOOR:	1,558 SF	O	1,190 SF	2,813 SF
LIVING AREA TOTAL:	2,152 SF	O	119 SF	
DECK/EXTERIOR STAIRS	151 SF	O	585 SF	585 SF

AREAS SUBJECT TO REVISION

BAYVIEW AVENUE
(A 60' WIDE CITY STREET)

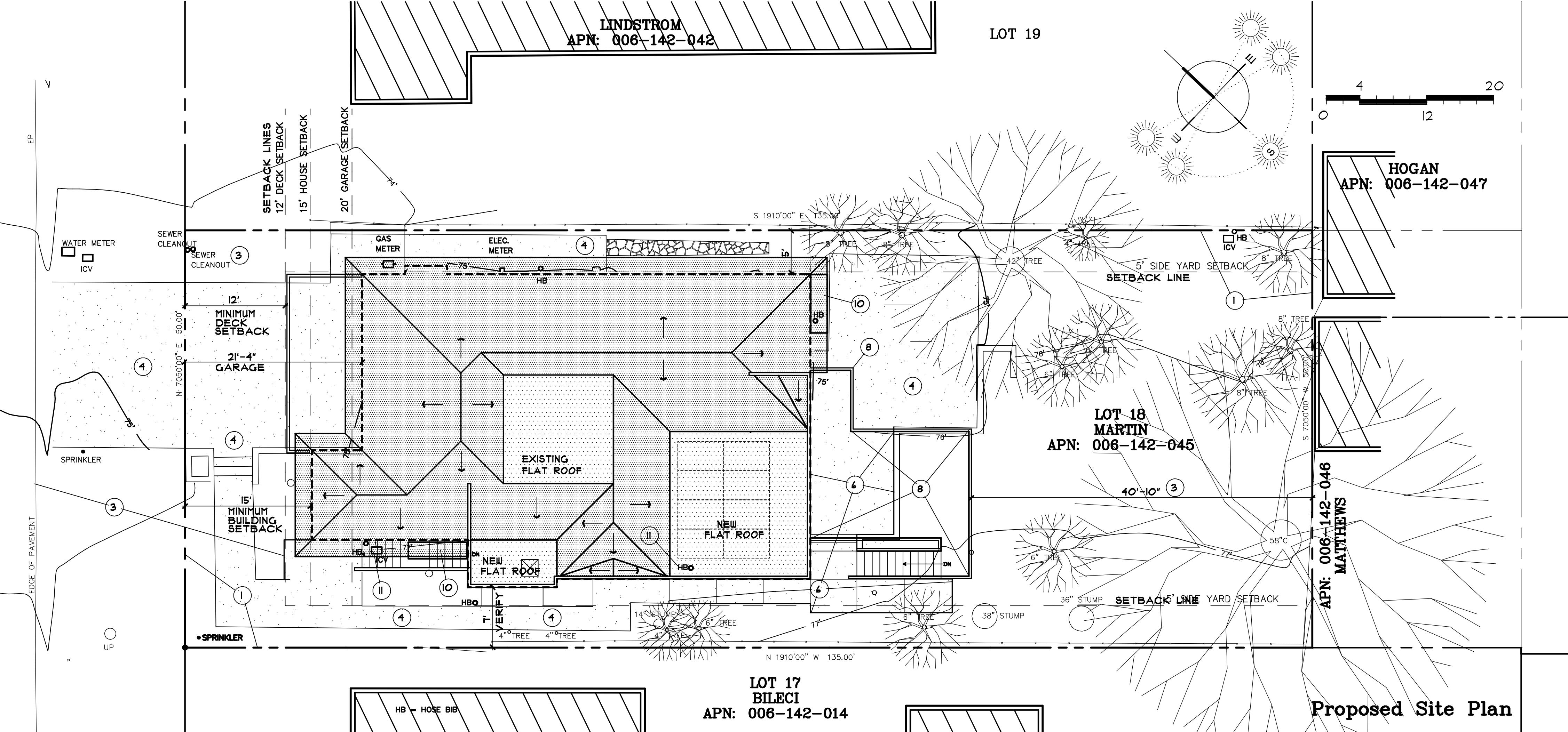


Existing Site Plan



Vicinity Map

BAYVIEW AVENUE
(A 60' WIDE CITY STREET)



Proposed Site Plan

Michael Boudreau
Architecture + Design
1009 Morro Street Suite 205
San Luis Obispo, CA 93401
(805) 549 0400
M T B architecture.com

SITE REFERENCE NOTES

- 1 PROPERTY LINE
- 2 EXISTING TREES TO BE REMOVED
- 3 EXISTING SHRUBS & LANDSCAPE TO REMAIN
- 4 EXISTING FLATWORK TO REMAIN
- 5 EXISTING FLATWORK TO BE REMOVED
- 6 NEW FLATWORK TO MATCH EXISTING
- 7 EXISTING DECK TO BE REMOVED
- 8 EXTENT OF NEW DECK SEE FLOOR PLANS
- 9 ALL EXISTING FENCE TO REMAIN
- 10 RAIN WATER STORAGE TANK
- II MODIFY HOSE BIB & IRRIGATION CONTROL

Martin

Addition to Single Family Residence

735 Bayview Avenue
Pacific Grove
CA

APN: 006-142-045

Zone: R-1

© Date December 5, 2014

Revisions

Job Number 2014-113

Scale 1/8" = 1'-0"

Because evolution of the existing structure requires that certain assumptions be made regarding existing conditions these drawings represent the Architect's best understanding of the information shown.

Sheet Title

Site Plans
Existing & Proposed

Sheet Number

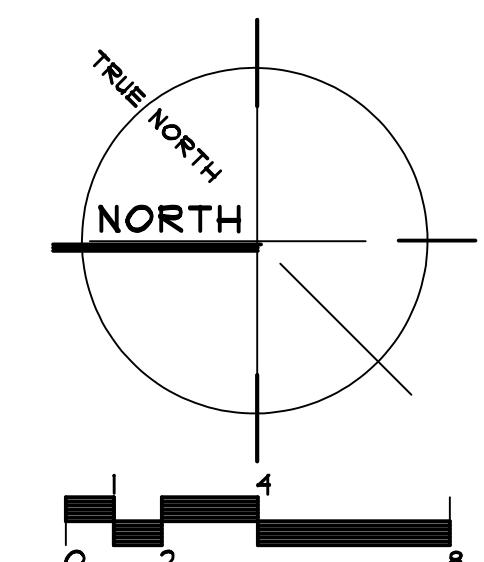
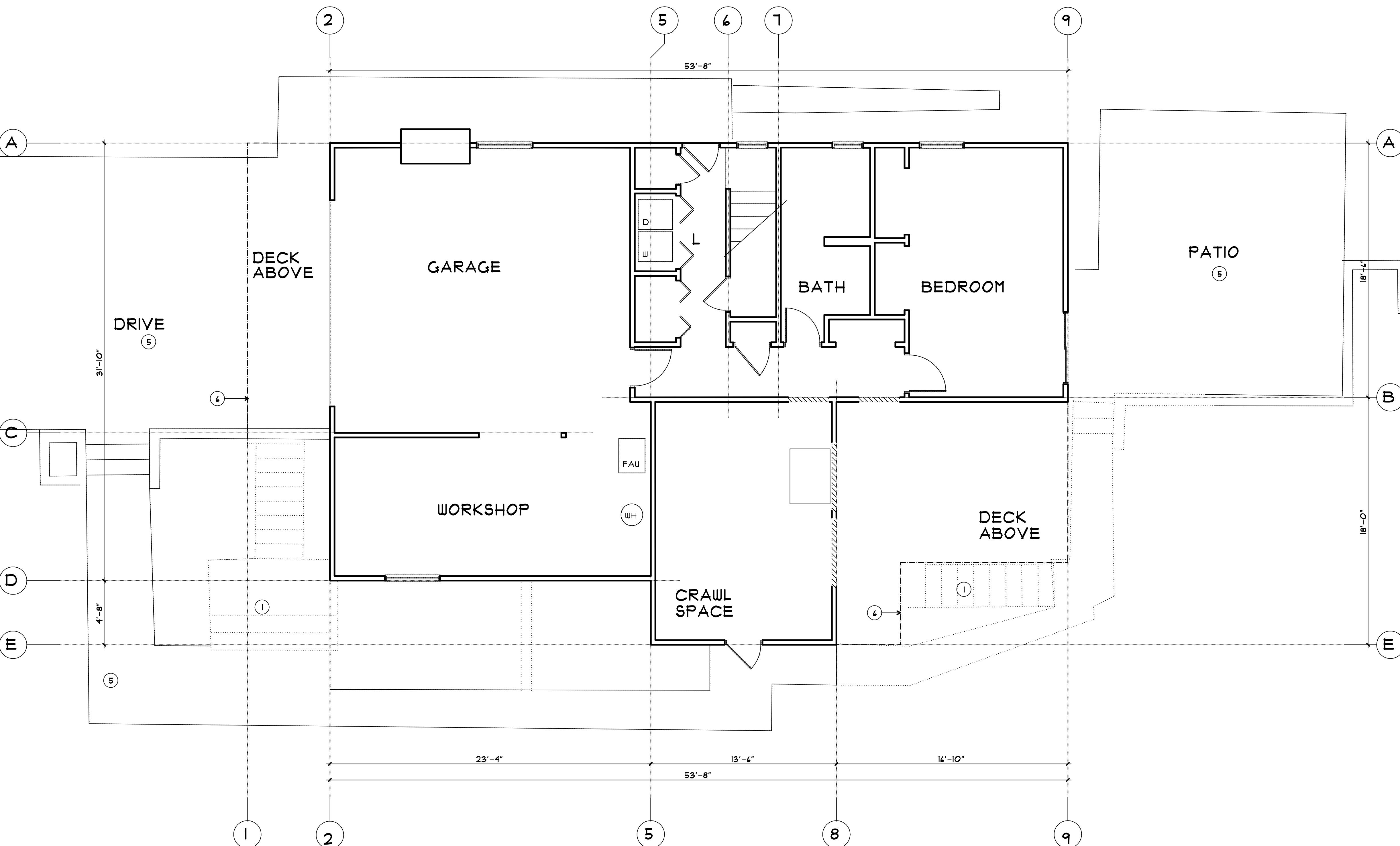
A 1.0

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- PLAN REFERENCE NOTES:**
- (1) EXTENT OF DEMOLITION SHOWN DASHED
 - (2) EXISTING DOOR/WINDOW TO BE REMOVED AND RETAINED FOR RELOCATION
 - (3) NOT USED
 - (4) NOT USED
 - (5) EXISTING FLATWORK TO REMAIN
 - (6) EXISTING DECK OVERHANG
 - (7) DECK/2nd FLOOR OVERHANG



FLOOR PLAN LEGEND

—	EXISTING WALL TO REMAIN
---	EXISTING TO BE REMOVED
~~~~~	EXISTING TO BE ALTERED
██████	NEW WALL

**Existing/Demolition First Floor Plan**

Sheet Number

**A 2.1**

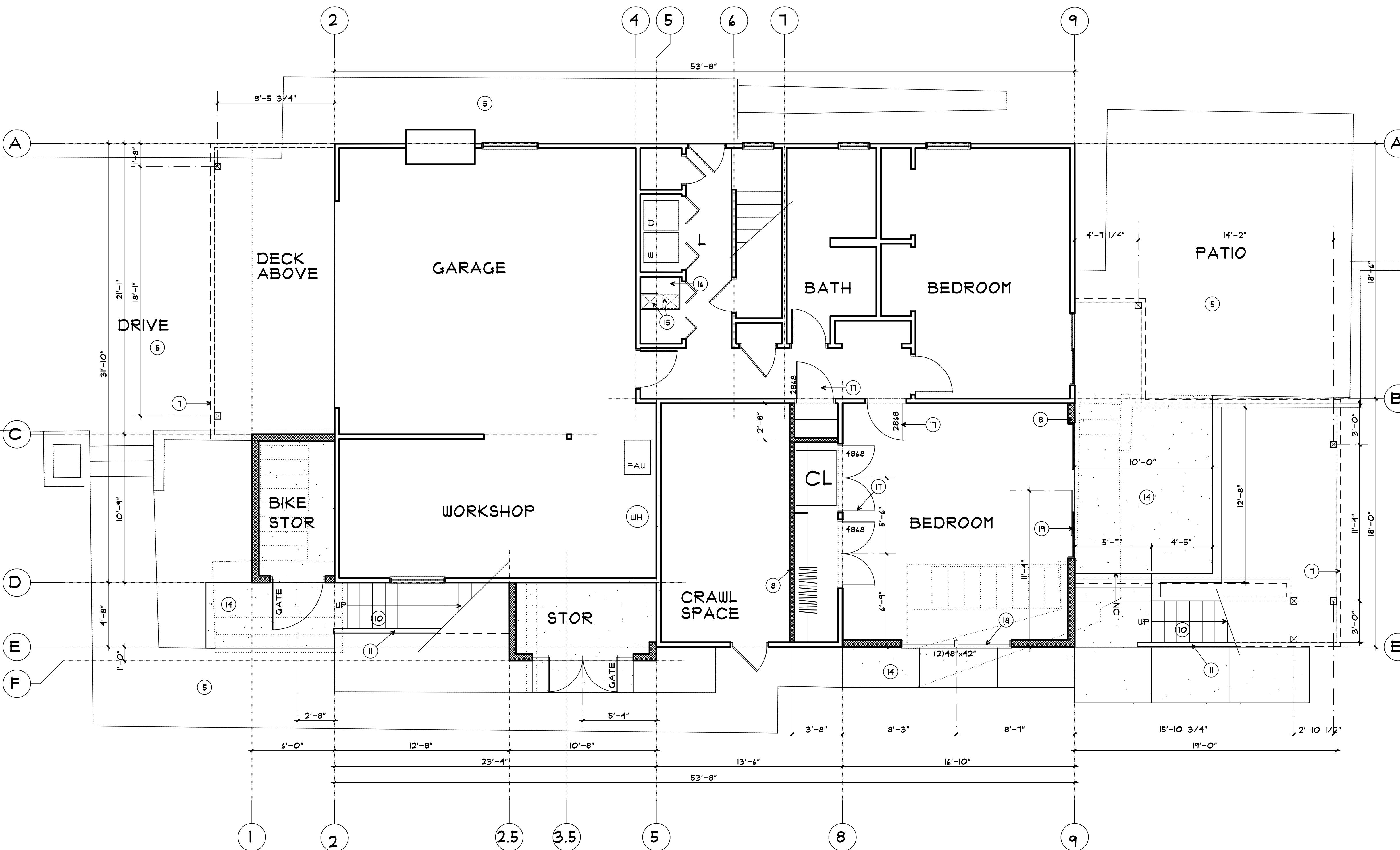
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**PLAN REFERENCE NOTES**

- ⑤ EXISTING FLATWORK TO REMAIN
- ⑥ EXISTING DECK OVERHANG
- ⑦ DECK/2nd FLOOR OVERHANG
- ⑧ NEW WALL FRAMING:  
2x4 16"oc INTERIOR, 2x6 EXTERIOR  
WALL FINISH TO MATCH (E)  
ADJACENT FINISH
- ⑨ WATERPROOF DECKING SYSTEM  
SLOPES AWAY FROM BUILDING,  
FLASHED EXTERIOR RATED TILE  
FINISH TO BE SELECTED
- ⑩ NEW STAIR: T-3/4 MAX RISER  
11" TREAD
- ⑪ STAIR HANDRAIL
- ⑫ GUARDRAIL
- ⑬ NEW CONCRETE SLAB
- ⑭ CONCRETE SLAB, SLOPE AWAY  
FROM BUILDING 1/4" PER FOOT  
SCORE LINES 6'oc EA. WAY MAX
- ⑮ 12"x 14" SHAFT LAUNDRY CHUTE
- ⑯ NEW CASEWORK
- ⑰ NEW DOOR AND FRAME, S.C.  
WOOD FINISH TO BE SELECTED  
NEW DUAL PANE WINDOW
- ⑱ RELOCATED DOOR/WINDOW SYSTEM
- ⑲ NEW SLIDING GLASS DOOR SYSTEM  
DUAL GLASS-TEMPERED  
SHOWER ENCLOSURE
- ⑳ NEW PLUMBING FIXTURES



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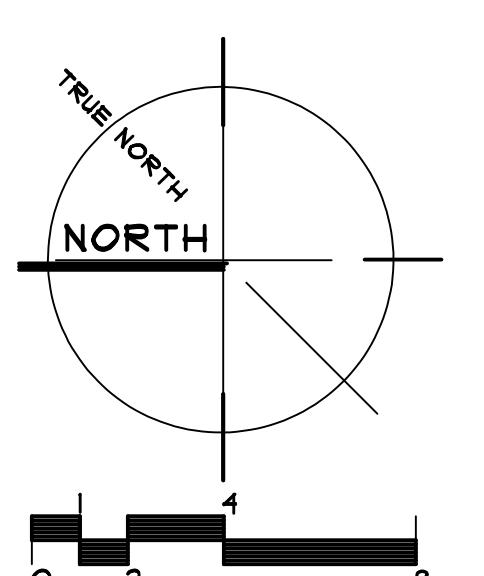
Date December 5, 2014

**Revisions**

Job Number 2014-113

Scale 1/4" = 1'-0"

**Sheet Title**



**FLOOR PLAN LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING TO BE REMOVED
- :::::: EXISTING TO BE ALTERED
- █████ NEW WALL

**New First Floor Plan**

Sheet Number

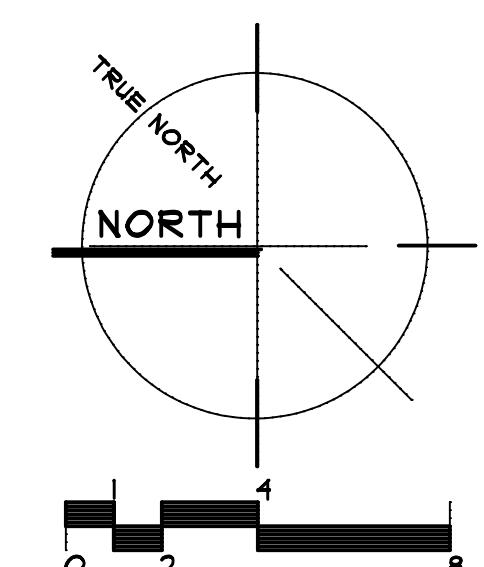
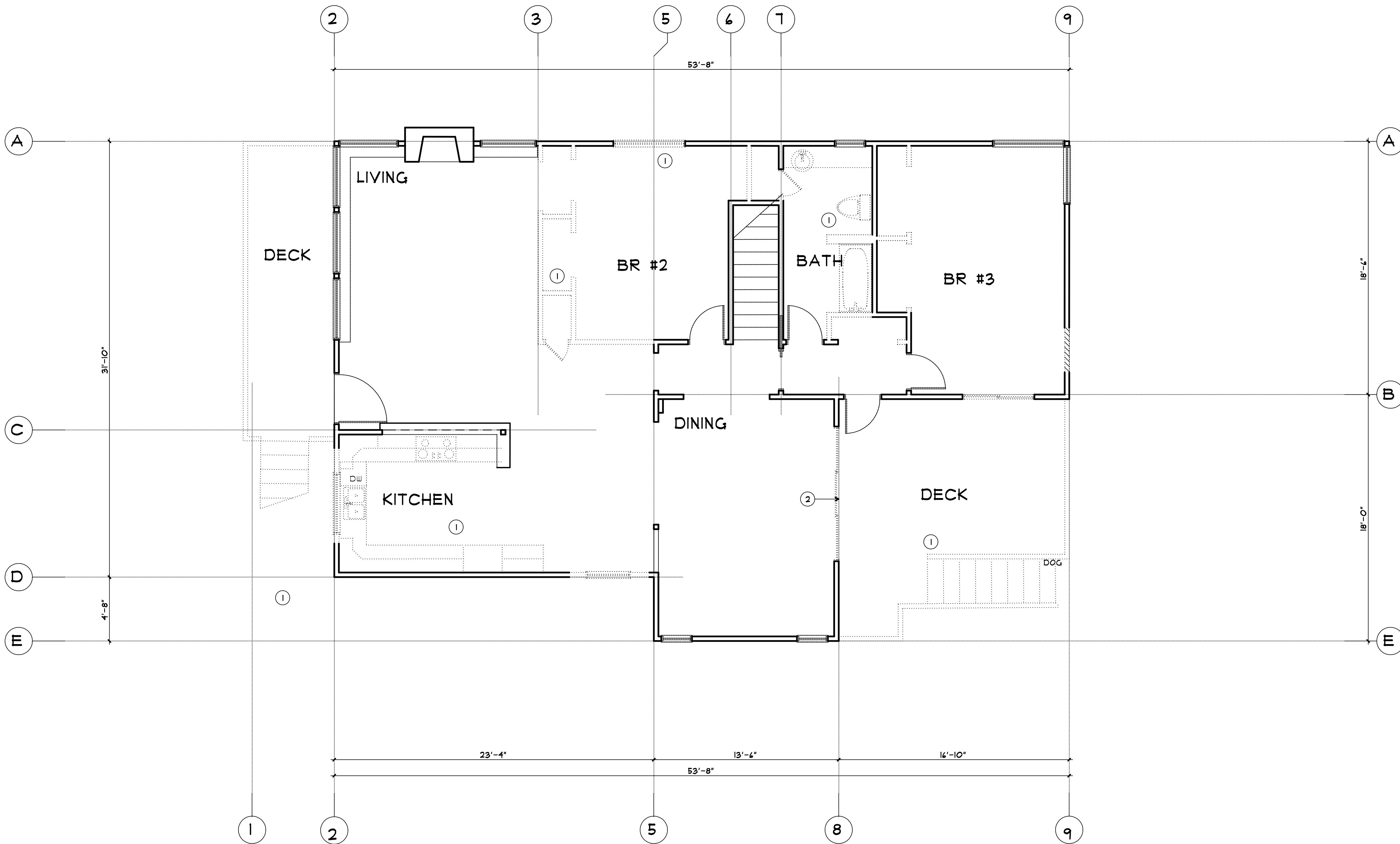
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- PLAN REFERENCE NOTES:**
- (1) EXTENT OF DEMOLITION SHOWN DASHED
  - (2) EXISTING DOOR/WINDOW TO BE REMOVED AND RETAINED FOR RELOCATION
  - (3) NOT USED
  - (4) NOT USED
  - (5) EXISTING FLATWORK TO REMAIN
  - (6) EXISTING DECK OVERHANG
  - (7) DECK/2nd FLOOR OVERHANG



**FLOOR PLAN LEGEND**

—	EXISTING WALL TO REMAIN
---	EXISTING TO BE REMOVED
~~~~~	EXISTING TO BE ALTERED
██████	NEW WALL

Existing/Demolition Second Floor Plan

Sheet Number

A 2.2



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- PLAN REFERENCE NOTES**
- ⑤ EXISTING FLATWORK TO REMAIN
 - ⑥ EXISTING DECK OVERHANG
 - ⑦ DECK/2nd FLOOR OVERHANG
 - ⑧ NEW WALL FRAMING:
2x4 16"oc INTERIOR, 2x6 EXTERIOR
WALL FINISH TO MATCH (E)
ADJACENT FINISH
 - ⑨ WATERPROOF DECKING SYSTEM
SLOPES AWAY FROM BUILDING,
FLASHED EXTERIOR RATED TILE
FINISH TO BE SELECTED
 - ⑩ NEW STAIR: T-3/4 MAX RISER
11" TREAD
 - ⑪ STAIR HANDRAIL
 - ⑫ GUARDRAIL
 - ⑬ NEW CONCRETE SLAB
 - ⑭ CONCRETE SLAB, SLOPE AWAY
FROM BUILDING 1/4" PER FOOT
SCORE LINES 6"oc EA. WAY MAX
 - ⑮ 12"x 14" SHAFT LAUNDRY CHUTE
 - ⑯ NEW CASEWORK
 - ⑰ NEW DOOR AND FRAME, S.C.
WOOD FINISH TO BE SELECTED
NEW DUAL PANE WINDOW
 - ⑱ RELOCATED DOOR/WINDOW SYSTEM
 - ⑲ NEW SLIDING GLASS DOOR SYSTEM
DUAL GLASS-TEMPERED
SHOWER ENCLOSURE
 - ⑳ NEW PLUMBING FIXTURES



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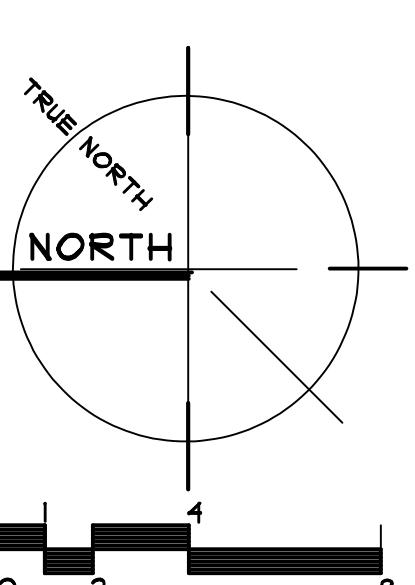
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Sheet Title

New
Second Floor Plan

Sheet Number

A 2.2.1

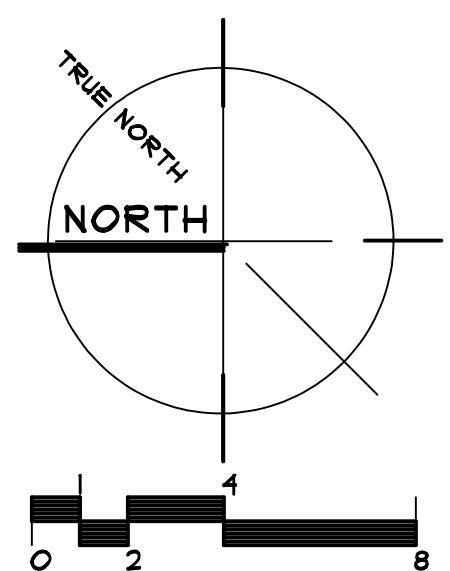
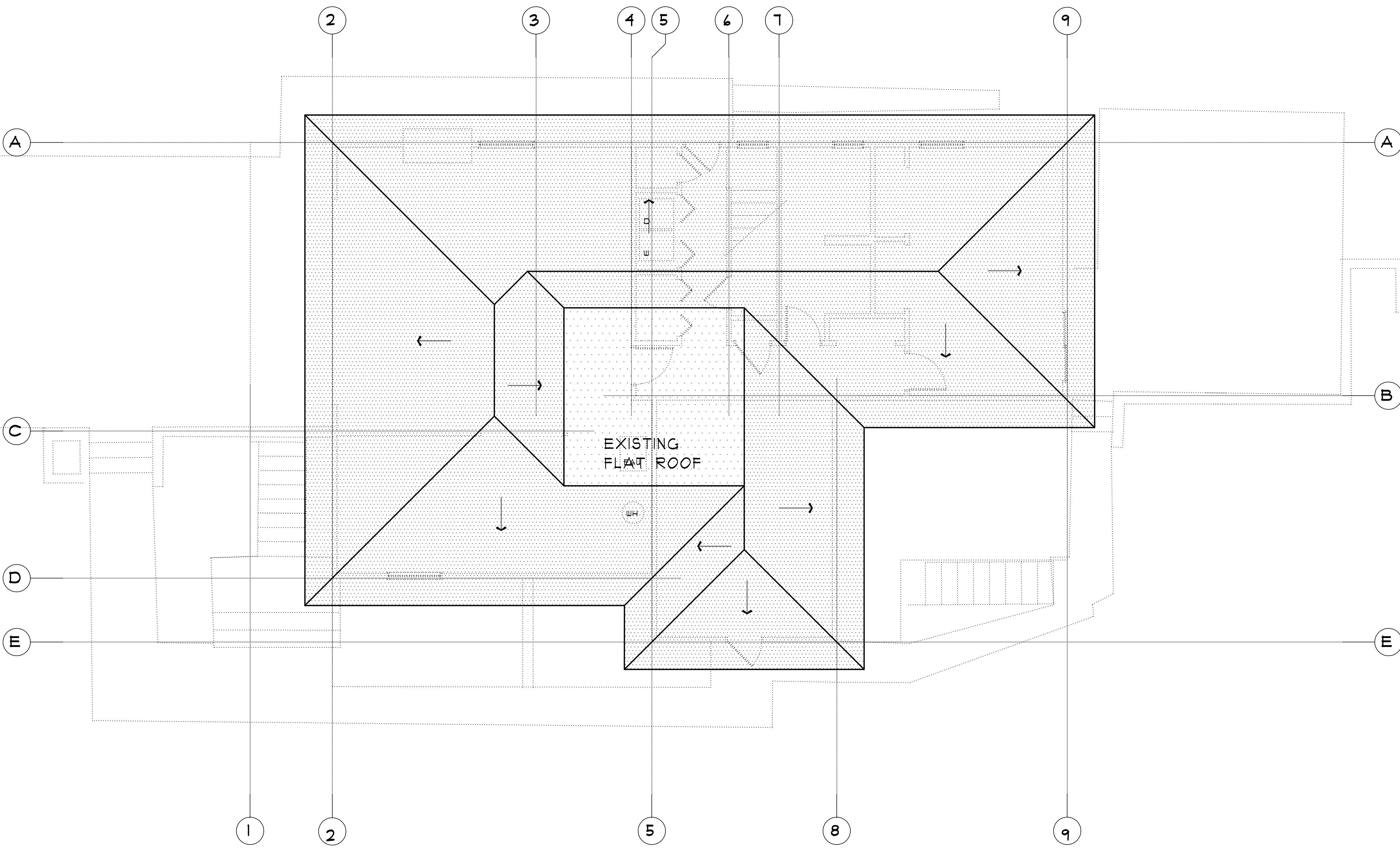


FLOOR PLAN LEGEND

—	EXISTING WALL TO REMAIN
---	EXISTING TO BE REMOVED
~~~~~	EXISTING TO BE ALTERED
=====	NEW WALL

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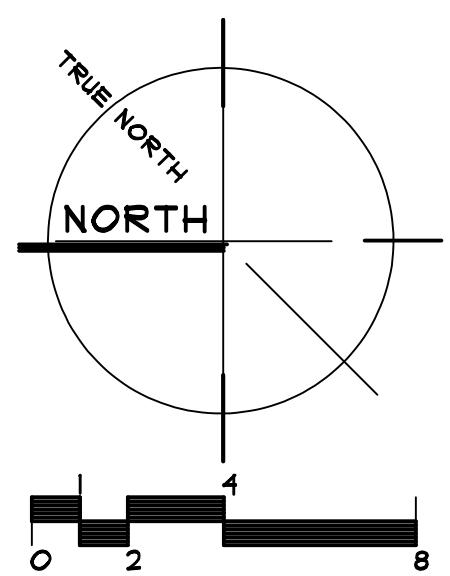
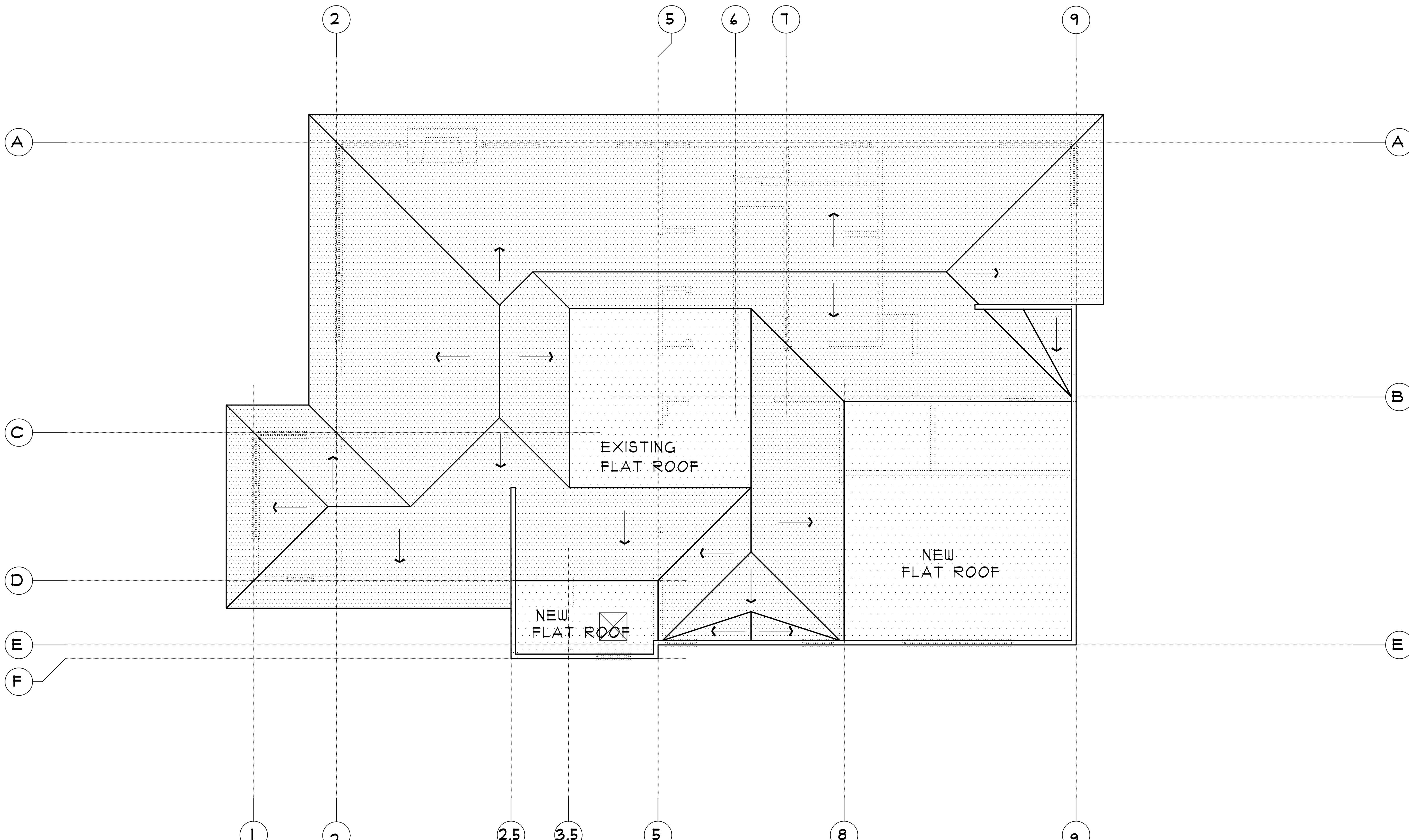
#### Existing Roof Plan

Sheet Number

A 2.3

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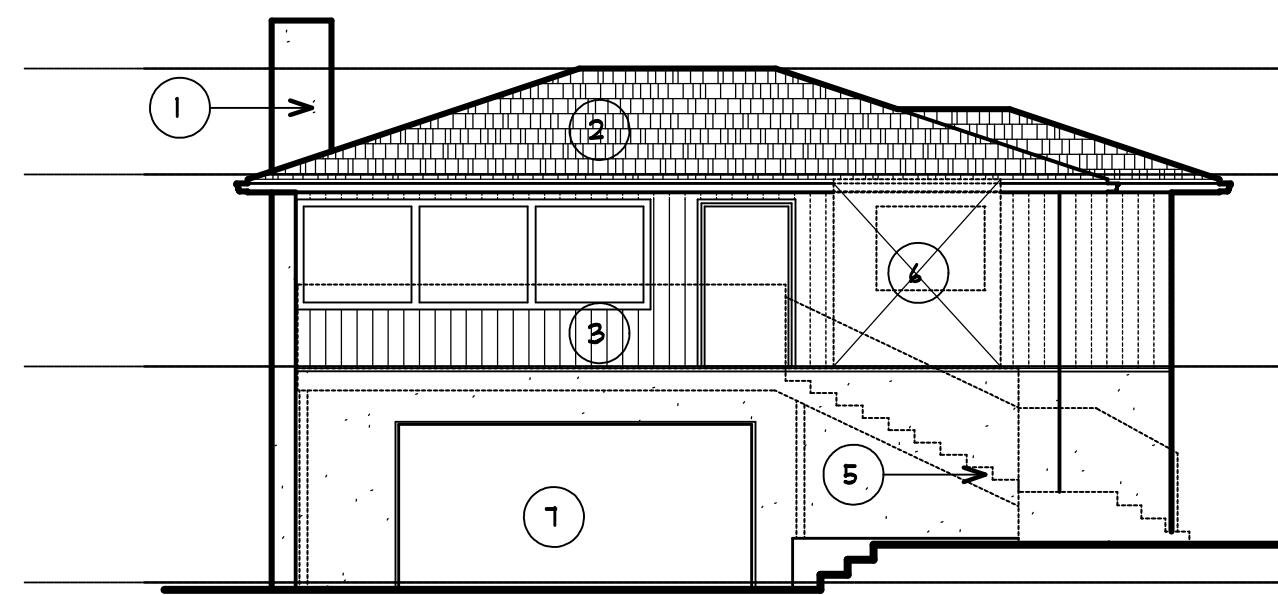
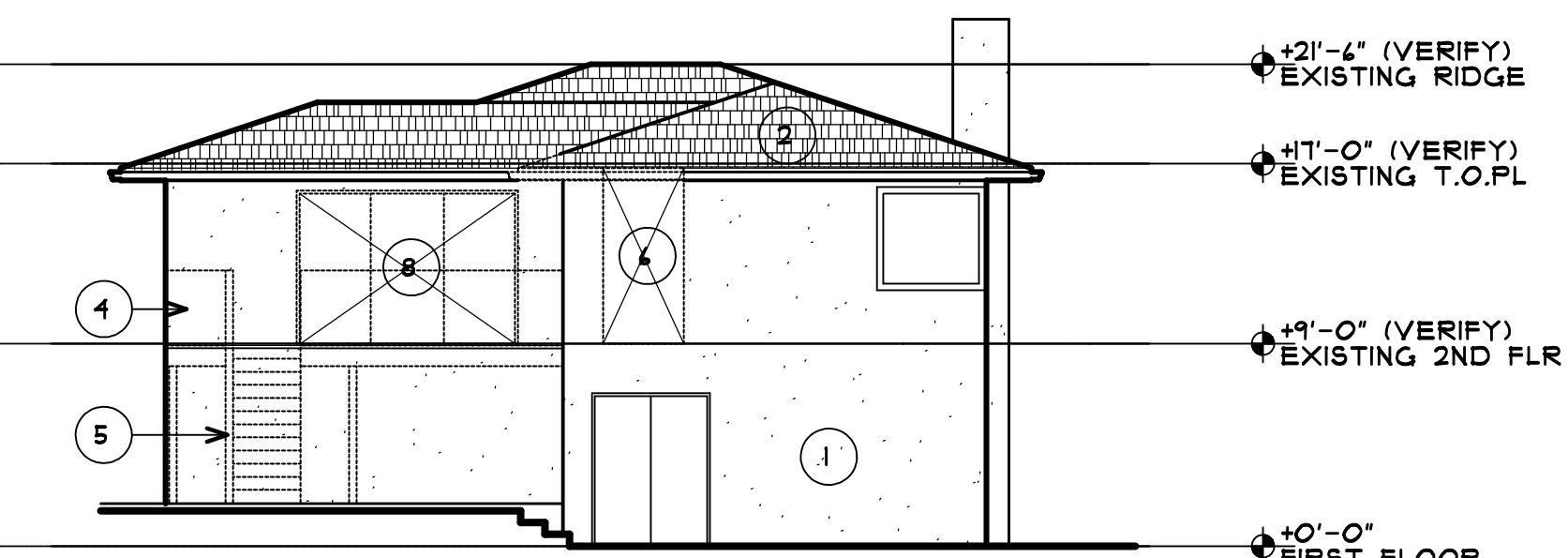
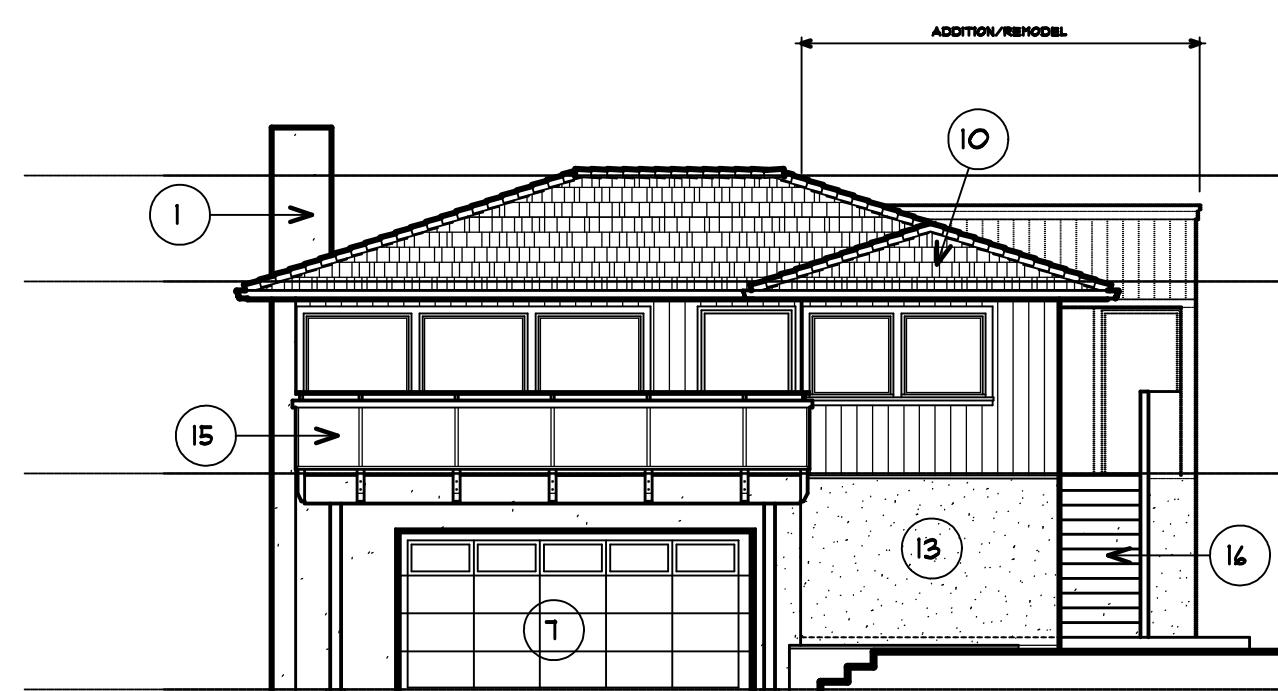
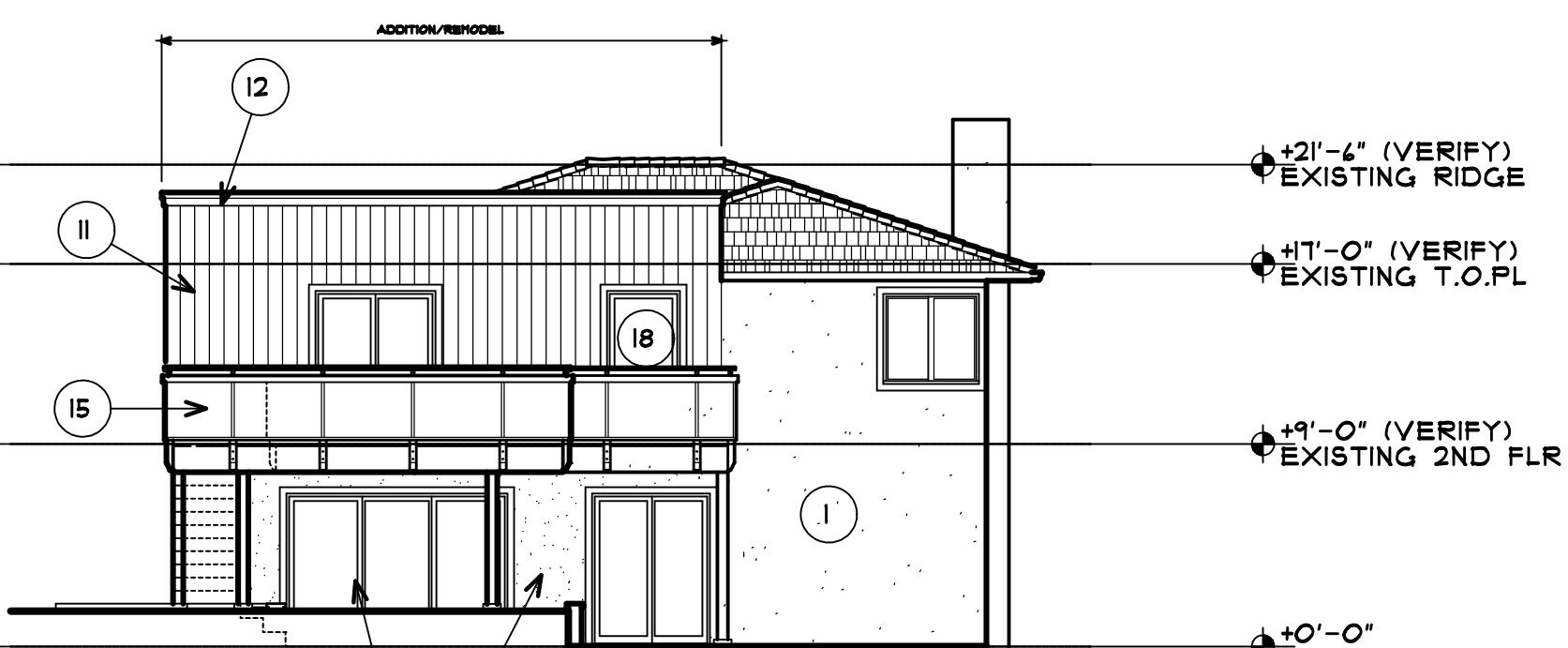
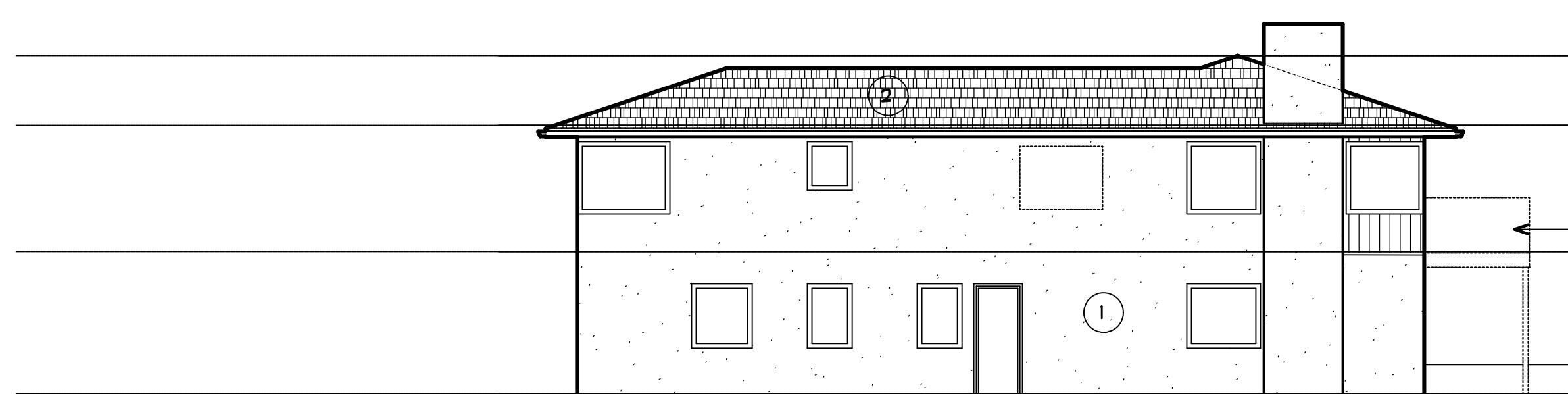
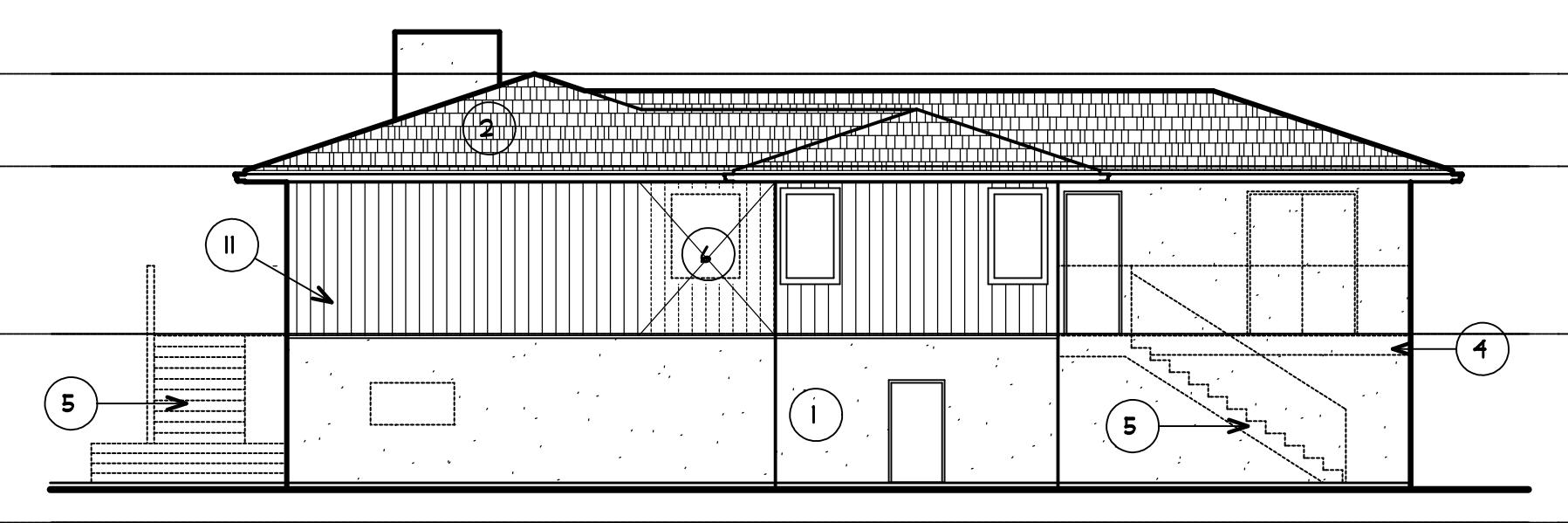
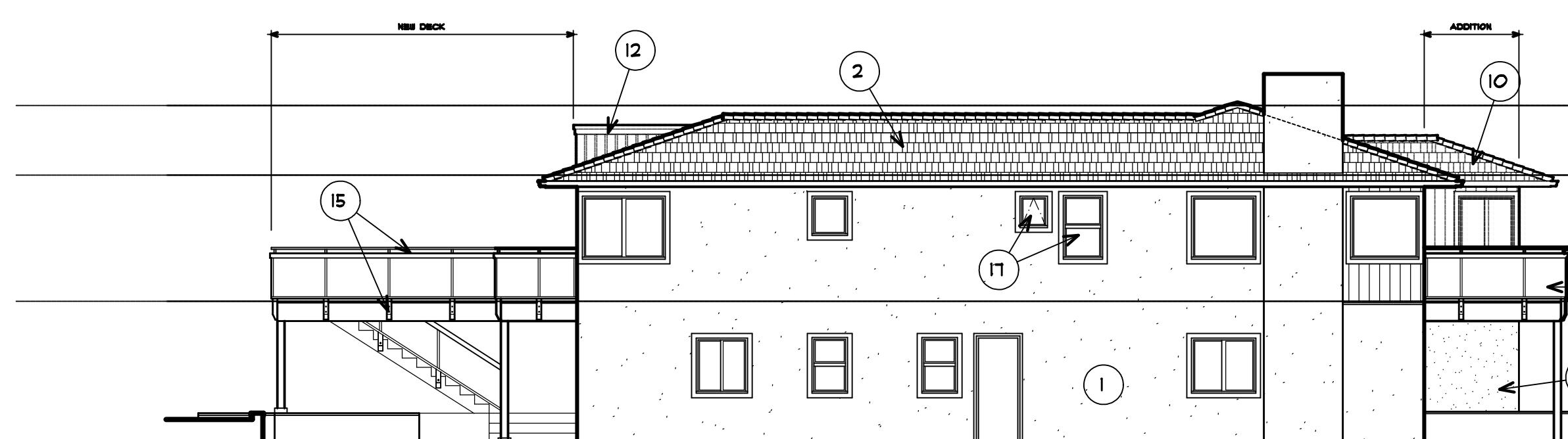
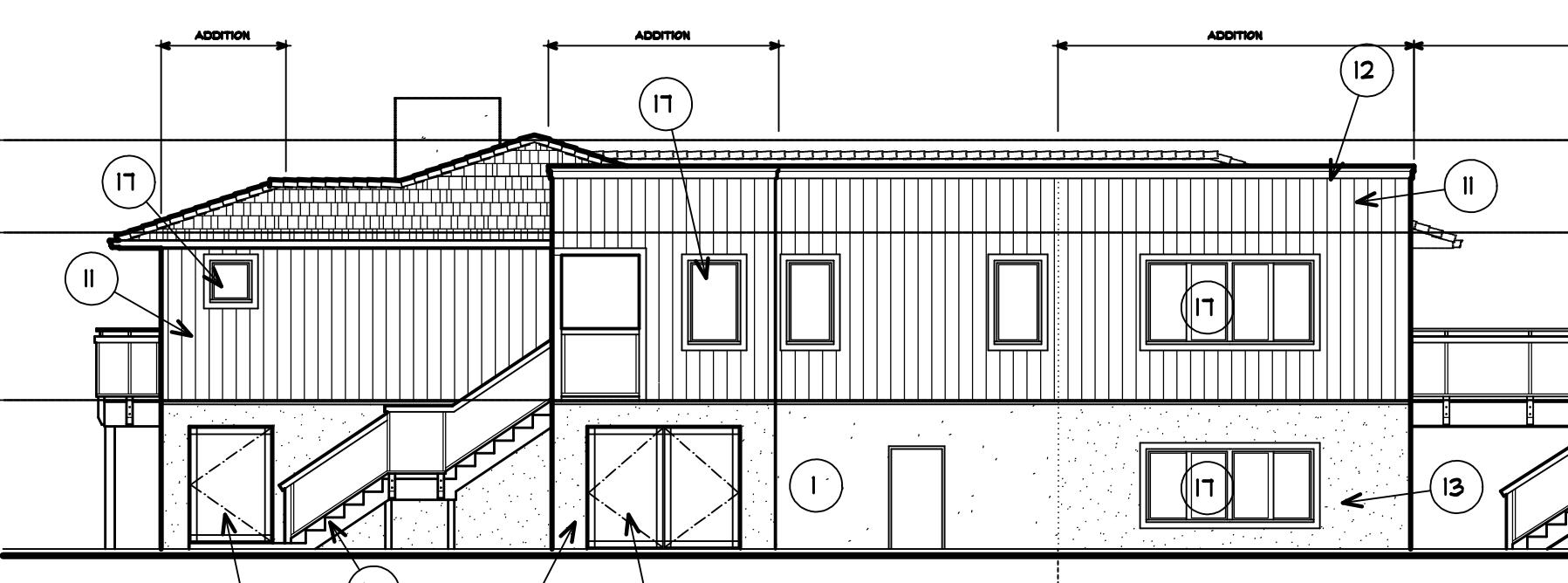
New  
Roof Plan

Sheet Number _____

A 2.3.1



- ELEVATION REFERENCE NOTES**
- ① EXISTING CEMENT PLASTER SYSTEM TO REMAIN
  - ② EXISTING COMP. SHINGLE ROOF SYSTEM TO REMAIN
  - ③ EXISTING WOOD SIDING TO REMAIN
  - ④ REMOVE EXISTING WD FRAME DECK AND GUARDRAIL
  - ⑤ REMOVE EXISTING WD FRAMED STAIRS AND GUARDRAIL
  - ⑥ REMOVE PORTION OF WALL/ROOF OVERHANG
  - ⑦ EXISTING GARAGE DOOR TO REMAIN
  - ⑧ REMOVE (E) DOOR SYSTEM RETAIN FOR RELOCATION
  - ⑨ -
  - ⑩ NEW CLASS 'A' RATED COMP SHINGLE ROOF SYSTEM TO MATCH EXISTING
  - ⑪ NEW WOOD SIDING TO MATCH EXISTING
  - ⑫ WALL CAP/S.M. COPING AT NEW PARAPET
  - ⑬ NEW HAND FINISHED PLASTER SYSTEM TO MATCH EXISTING
  - ⑭ -
  - ⑮ NEW WOOD FRAME DECK AND GUARDRAIL
  - ⑯ NEW STAIR AND GUARDRAIL
  - ⑰ NEW DUAL PANE WINDOW SEE FLOOR PLAN
  - ⑱ NEW DOOR OPENING WITHIN (E) WALL. SEE FLOOR PLAN
  - ⑲ RELOCATED SLIDING DOOR SYSTEM. SEE FLOOR PLAN
  - ⑳ NEW STEEL GATE SYSTEM

**EXISTING NORTH ELEVATION****EXISTING SOUTH ELEVATION****NEW NORTH ELEVATION****NEW SOUTH ELEVATION****EXISTING EAST ELEVATION****EXISTING WEST ELEVATION****NEW EAST ELEVATION****NEW WEST ELEVATION****Martin Addition**

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**Exterior Elevations**

Sheet Number

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